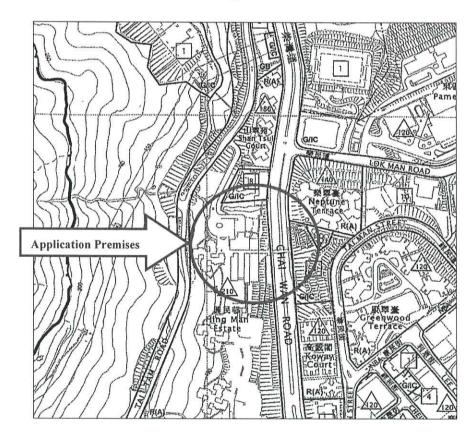


Planning Application under Section 16 of the Town Planning Ordinance (Cap. 131)

Proposed Temporary Public Vehicle Park
(for Parking of 19-Seat School Bus and/or Goods Vehicle)
For a Period of 6 Years
Goods Vehicle Parking Space Nos. L1 to L6 and L12 to L14 at Level 3,
and Goods Vehicle Parking Space Nos. L7 to L11
and Two Loading/Unloading Bays at Level 5
Commercial / Car Park Block and Open Car Parks
Hing Man Estate
188 Tai Tam Road, Chai Wan
(Portion of Chai Wan Inland Lot No. 179)

Planning Statement



Prepared by

LANBASE Surveyors Limited

May 2024

EXECUTIVE SUMMARY

The Application Premises ("the Premises") comprises Goods Vehicle Parking Space Nos. L1 to L6 and L12 to L14 at Level 3, and Goods Vehicle Parking Space Nos. L7 to L11 and Two Loading/Unloading Bays at Level 5, Commercial / Car Park Block and Open Car Parks, Hing Man Estate, 188 Tai Tam Road, Chai Wan (Portion of Chai Wan Inland Lot No. 179). It is located within Hing Man Estate and immediate west of Chai Wan Road. It is proposed to apply for the use of "Temporary Public Vehicle Park (for Parking of 19-Seat School Bus and/or Goods Vehicle)" for a period of 6 years at the Premises. The Premises involves 14 nos. of goods vehicle parking spaces and 2 nos. of loading/unloading spaces with a total floor area of about 375.0272m².

In accordance with the Draft Chai Wan Outline Zoning Plan (OZP) No. S/H20/26 gazetted on 12.5.2023, the Premises falls within an area zoned "Residential (Group A)" ("R(A)") in which "Public Vehicle Park (excluding Container Vehicle)" is a column 2 use. A planning permission for the proposed use from the Town Planning Board ("the Board") is required.

The subject application is justified on the following grounds: 1) No Contravention to Long-term Planning Intention of the "R(A)" Zone; 2) Same Nature to the Existing Use; 3) Compatible with Surrounding Land Uses; 4) Coping with Shortage of Parking Spaces for Student Service Vehicles; 5) Low Demand for Goods Vehicle Parking Space; 6) No Adverse Traffic Impact; 7) No Impact to the Users of Hing Man Estate; 8) Previous Temporary Waiver Approval for Parking of Light Buses and Buses; and 9) Provision of Effective Fire Services Installations.

申請摘要

申請場地位於香港柴灣大潭道興民村商業停車場大樓及露天停車場三樓貨車泊車位編號L1至L6及L12至L14,及五樓貨車泊車位編號L7至L11及兩個上落貨車位(柴灣內地段179號部份)。其座落於興民村及前臨柴灣道西面。現擬議把申請場地申請用作「臨時公眾停車場(供19座校巴及/或貨車停泊)」用途,為期六年。申請場地牽涉14個貨車泊車位及兩個上落貨車位,佔地面面積約375.0272平方米。

根據2023年5月12日刊憲的柴灣分區計劃大綱草圖編號:S/H20/26,是項申請場地位於「住宅(甲類)」地帶之內。而「公眾停車場(貨櫃車除外)」屬第二欄用途。是項申請用途須要向城市規劃委員會獲取規劃許可。

是項申請的理由如下:1)沒有違反「住宅(甲類)」地帶之長遠規劃意向;2)與現有用途的性質相同;3)符合附近的土地用途;4)應對學生服務車輛車位短缺情況;5)貨車車位需求低;6)不會帶來不良的交通影響;7)不會影響興民邨的用家;8)之前已有批出短期豁免書准許停泊小巴及巴士;及9)提供有效的消防裝置。

CONTENTS

			Page				
1.	Introduction	l .	1				
2.	Application Premises 2						
3.	Locality and	l Accessibility	3				
4.	Town Plann	ing	4				
5.	The Propose	ed Use	6				
6.	Justification	S	7				
7.	Conclusion						
LIST	OF APPENDI	CES					
Apper	ndix 1	Extract of Draft Chai Wan Outline Zoning Plan No. S/H5/26 gaz on 12.5.2023 and the Relevant Notes	etted				
Apper	ndix 2	Location Plan					
Apper	Appendix 3 Lot Index Plans						
Apper	Appendix 4 Extract of General Building Plans (GBP)						
Appendix 5 Proposed Layout Plans							
Appendix 6		Parking Survey for Number of Goods Vehicle Parking					
Apper	ndix 7	Approved GBP with FSIs and the Relevant Fire Certificates					
Appendix 8 Site Photos							



1. INTRODUCTION

- 1.1 The Application Premises ("Premises") comprises Goods Vehicle Parking Space Nos. L1 to L6 and L12 to L14 at Level 3, and Goods Vehicle Parking Space Nos. L7 to L11 and Two Loading/Unloading Bays at Level 5, Commercial / Car Park Block and Open Car Parks, Hing Man Estate, 188 Tai Tam Road, Chai Wan (Portion of Chai Wan Inland Lot No. 179). In accordance with the Draft Chai Wan Outline Zoning Plan (OZP) No. S/H20/26 gazetted on 12.5.2023, the Premises falls within an area zoned "Residential (Group A)" ("R(A)"). Extract of the said OZP and the relevant Notes are enclosed at **Appendix 1**.
- 1.2 The subject building is a 6-storey integrated commercial / car park accommodation building completed in 1982. The Premises comprises Goods Vehicle Parking Space Nos. L1 to L6 and L12 to L14 at Level 3, and Goods Vehicle Parking Space Nos. L7 to L11 and Two Loading/Unloading Bays at Level 5. A planning permission is required for the proposed use of "Temporary Public Vehicle Park (for Parking of 19-Seat School Bus and/or Goods Vehicle)" under the "R(A)" zone in the said OZP.
- 1.3 The Applicant, also the registered owner, Ace Ample Hong Kong Limited, has commissioned Lanbase Surveyors Limited on its behalf to submit the subject planning application for "Temporary Public Vehicle Park (for Parking of 19-Seat School Bus and/or Goods Vehicle)" use under Section 16 of the Town Planning Ordinance (Cap. 131).
- 1.4 This Planning Statement serves to describe the applied use, existing condition of the Premises, and to provide planning justifications for the consideration of the Board.



2. APPLICATION PREMISES

- 2.1 The Premises comprises Goods Vehicle Parking Space Nos. L1 to L6 and L12 to L14 at Level 3, and Goods Vehicle Parking Space Nos. L7 to L11 and Two Loading/Unloading Bays at Level 5, Commercial / Car Park Block and Open Car Parks, Hing Man Estate, 188 Tai Tam Road, Chai Wan (Portion of Chai Wan Inland Lot No. 179). Please refer to Location Plan at Appendix 2, Lot Index Plans at Appendix 3 and General Building Plans (GBP) at Appendix 4. The Premises involves 14 nos. of goods vehicle parking spaces and 2 nos. of loading/unloading spaces with a total floor area of about 375.0272m², as indicated in the Proposed Layout Plans at Appendix 4.
- 2.2 The subject building is located within Hing Man Estate and immediate west of Chai Wan Road. Please refer to Lot Index Plans at **Appendix 3** and Site Photos at **Appendix 8**.
- 2.3 The subject building is a 6-storey integrated commercial / car park accommodation building completed in 1982.
- 2.4 The subject building is held under the Government Lease of Chai Wan Inland Lot No. 179 and is restricted to non-industrial (excluding godown, hotel and petrol filling station) purposes and for the purposes of commercial and welfare facilities, and some other ancillary facilities.
- 2.5 Under Clause No. 3.22 of the Lease, the Premises is restricted to the use of goods vehicle park spaces.



3. LOCALITY & ACCESSIBILITY

- 3.1 The subject building is located within Hing Man Estate and immediate west of Chai Wan Road.
- 3.2 It is also located at about 80m southwest of Neptune Terrace.
- 3.3 There are mainly residential buildings together with community centre and playground located at the surrounding areas.
- 3.4 The accessibility of the Premises is good. There are various types of public transport such as buses, minibuses and taxis serving the area.



4. TOWN PLANNING

- 4.1 According to the Draft Chai Wan Outline Zoning Plan (OZP) No. S/H20/26 gazetted on 12.5.2023, the Site falls within an area zoned "Residential (Group A)" ("R(A)"). Please refer to an extract of the OZP at Appendix 1.
- 4.2 This zone is intended primarily for high-density residential developments. Commercial uses are always permitted on the lowest three floors of a building or in the purpose-designed non-residential portion of an existing building.
- 4.3 On the land designated "R(A)", no new development, or addition, alteration and/or modification to or redevelopment of an existing building shall result in a total development and/or redevelopment in excess of a maximum building height in terms of metres above Principal Datum, as stipulated on the Plan, or the height of the existing building, whichever is the greater.
- 4.4 On the land designated "R(A)1", no new development, or addition, alteration and/or modification to or redevelopment of an existing building shall result in a total development and/or redevelopment in excess of a maximum building height in terms of metres above Principal Datum, as stipulated on the Plan.
- 4.5 A minimum 30m wide non-building area to the south of Hing Man Estate shall be provided as stipulated on the Plan. In addition, a minimum 20m wide non-building area shall be provided within Tsui Wan Estate (covering part of Tsui Wan Street), and a minimum 10m wide non-building area shall be provided from the lot boundary of Greenwood Terrace fronting Hong Man Street as stipulated on the Plan.
- 4.6 Based on the individual merits of a development or redevelopment proposal, minor relaxation of the building height restrictions stated in paragraph 4.3 and 4.4 above may be considered by the Town Planning Board on application under section 16 of the Town Planning Ordinance.
- 4.7 Under exceptional circumstances, for a development or redevelopment proposal, minor relaxation of the non-building area restrictions as stipulated on the Plan or state in paragraph 4.5 above may be considered by the Town Planning Board on application under section 16 of the Town Planning Ordinance.



4.8 In accordance with the Notes of the OZP at Appendix 1, "Public Vehicle Park (excluding Container Vehicle)" use is under Column 2 and the temporary use exceeding 5 years which requires planning permission from the Board.



5. THE PROPOSED USE

5.1 The Applied Use

- 5.1.1 It is proposed to temporarily convert the existing 14 nos. of goods vehicle parking spaces to co-parking spaces of 19-seat school bus and goods vehicle for public use.
- 5.1.2 It is also proposed to temporarily accommodate night-time parking of goods vehicle for public use during the night-time period (00:00 to 06:00) at the existing 2 nos. of loading/unloading bays.

5.2 Application Area

The Premises involves 14 goods vehicle parking spaces and 2 nos. of loading/unloading spaces with a total floor area of about 375.0272m². Please refer to GBP at **Appendix 4** and the Proposed Layout Plans at **Appendix 5**.

5.3 Parking Mode

Monthly parking mode would be adopted for the proposed co-parking spaces of school bus and goods vehicle, there would be low frequency of transportation i.e. about 2 times a day for each parking space.



6. JUSTIFICATIONS

6.1 No Contravention to Long-Term Planning Intention of the "R(A)" Zone

In accordance with the Draft Chai Wan Outline Zoning Plan (OZP) No. S/H20/26 gazetted on 12.5.2023, the Site falls within an area zoned "Residential (Group A)" ("R(A)"). This zone is intended primarily for high-density residential developments. Commercial uses are always permitted on the lowest three floors of a building or in the purpose-designed non-residential portion of an existing building. However, "Public Vehicle Park" is categorized as Column 2 use which is allowed for application to the Board. In addition, the proposal only involves the use of "Temporary Public Vehicle Park (for parking of 19-seat School Bus and/or Goods Vehicle)" for a period of 6 years. Therefore, long-term planning intention of the subject zone would not be contravened.

6.2 Same Nature to the Existing Use

The existing use of the Premises is goods vehicle parking space. The current proposal only involves temporary conversion of the existing goods vehicle parking spaces to co-parking spaces of 19-seat school bus and goods vehicle, and temporary night-time goods vehicle parking spaces at the existing loading/unloading bays. The nature of the existing use and the proposed use is same. Therefore, the proposed temporary use should be acceptable.

6.3 Compatible with Surrounding Land Uses

The Premises is situated at a 6-storey integrated commercial / car park accommodation building and the dominant use of the building is car parking. Therefore, the proposed temporary parking use is compatible with the surrounding uses.

6.4 Coping with Shortage of Parking Spaces for Student Service Vehicles

According to Education Bureau Circular Memorandum No. 26/2019, there is government policy of opening up school parking spaces to student service vehicles scheme during non-school hours to alleviate the shortage of parking spaces for student service vehicles (i.e. school buses and private light buses). The proposed "Temporary Public Vehicle Park (for parking of 19-seat School Bus and/or Goods Vehicle)" should be able to cope with the consistent shortage of parking space for student service vehicles.



6.5 Low Demand for Goods Vehicle Parking Space

According to the Parking Survey Records of Goods Vehicle provided at Appendix 6, there were only 5 nos. of goods vehicle parking spaces occupied at maximum during overnight time (00:00 to 06:00) during both weekday and weekend. Due to this low demand for the goods vehicle parking spaces, it is proposed to temporarily convert the existing goods vehicle parking spaces to the shared parking spaces of school bus and goods vehicle parking spaces to help alleviate the shortage of parking space for student service vehicles. To make more efficient use of the existing resources, it is also proposed to make use of the existing two loading/unloading bays for night-time parking of goods vehicles in order to cope with the sudden demand if the parking spaces are mostly occupied by school bus.

6.6 No Adverse Traffic Impact

- 6.6.1 According to the Parking Survey Records of Goods Vehicle provided at **Appendix 6**, there were only 5 nos. of goods vehicle parking spaces occupied at maximum during overnight time (00:00 to 06:00) during the weekdays. There would be a total of 10 trips per day during the weekdays (i.e. 2 times a day for each goods vehicle).
- 6.6.2 With reference to the above, it is assumed that there would be 11 parking spaces available for school bus use. In this connection, there would be a total of 22 trips per day during the school days (i.e. 2 times a day for each school bus for accommodating the school pick up / drop off times (i) the school bus would be driven out at around 05:45 and driven in at around 10:00 in the morning school hours; and the school buses would be driven out at around 14:00 and driven in at around 17:00 in the afternoon school hours).
- 6.6.3 Therefore, the frequency of transportation is low and no adverse traffic impact is anticipated.

6.7 No Impact to the Users of Hing Man Estate

Monthly parking mode would be adopted for the subject parking spaces. In order to avoid any impacts to the users from Hing Man Estate, priority application for renting parking spaces would be offered to them and priority waiting list would also be offered to them when the car parking spaces are fully occupied. As the subject parking spaces and the subject building are all owned and managed by the same registered owner, this arrangement manageable.



6.8 Previous Temporary Waiver Approval for Parking of Light Buses and Buses

There was a temporary waiver granted by Lands Department in 2016 to permit parking of light buses (including both private and public), buses (including both private and public), special purpose vehicles all licensed under the Road Traffic Ordinance on the subject goods vehicle parking spaces L1 to L6. As the nature of the proposed parking of school bus and the waiver permitted parking of light bus and bus is similar, the proposed "Temporary Public Vehicle Park (for parking of 19-seat School Bus and/or Goods Vehicle)" at the Premises should be acceptable.

6.9 Provision of Effective Fire Service Installations

Effective fire services installations (FSIs) have been provided on the subject property. If required, approved condition with regard to submission and implementation of fire service installations proposal for the planning permission is acceptable. Please see the approved GBP with FSIs and the relevant fire certificates FS 251 at **Appendix 7**. In addition, there are no electric vehicle charging facilities provided in the Premises. Therefore, no additional fire service requirement is required.



7. CONCLUSION

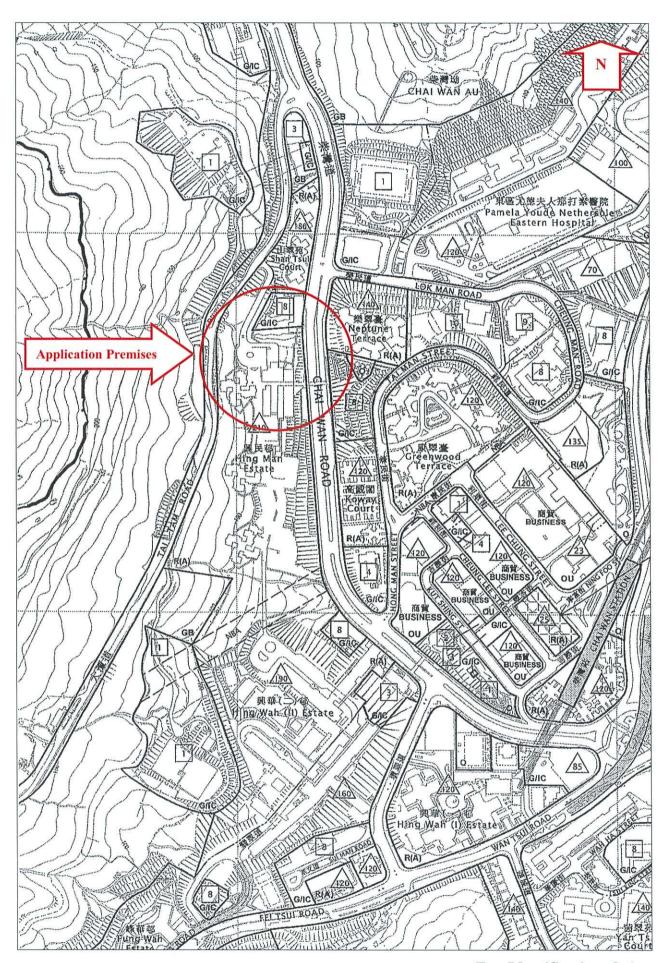
7.1 The Applicant applies to the Board for the use of "Temporary Public Vehicle Park (for Parking of 19-seat School Bus and/or Goods Vehicle)" for a period of 6 years in the Application Premises under Section 16 of the Town Planning Ordinance.

7.2 With regard to the followings:

- no contravention to long-term planning intention of the "R(A)" zone;
- same nature to the existing use;
- compatible with surrounding land uses;
- coping with shortage of parking spaces for student service vehicles;
- low demand for goods vehicle parking space;
- no adverse traffic impact;
- no impact to the users of Hing Man Estate;
- previous temporary waiver approval for parking of light buses and buses; and
- provision of effective fire service installations,

the Board is requested to approve the proposed "Temporary Public Vehicle Park (for Parking of 19-seat School Bus and/or Goods Vehicle)" at the Application Premises.

Extract of Draft Chai Wan Outline Zoning Plan ("OZP") No. S/K5/39 gazetted on 12.5.2023 and the Relevant Notes



For Identification Only

4 - <u>S/H20/26</u>

RESIDENTIAL (GROUP A)

Column 1 Uses always permitted

Column 2
Uses that may be permitted with or without conditions on application to the Town Planning Board

Ambulance Depot

Flat

Government Use (not elsewhere specified)

House

Library

Market

Place of Recreation, Sports or Culture

Public Clinic

Public Transport Terminus or Station

(excluding open-air terminus or station)

Residential Institution

School (in free-standing purpose-designed

building only) Social Welfare Facility

Utility Installation for Private Project

Commercial Bathhouse/Massage Establishment

Eating Place

Educational Institution

Exhibition or Convention Hall

Government Refuse Collection Point

Hospital

Hotel

Institutional Use (not elsewhere specified)

Mass Transit Railway Vent Shaft and/or Other Structure

above Ground Level other than Entrances

Office

Petrol Filling Station

Place of Entertainment

Private Club

Public Convenience

Public Transport Terminus or Station

(not elsewhere specified)

Public Utility Installation

Public Vehicle Park (excluding container vehicle)

Religious Institution

School (not elsewhere specified)

Shop and Services (not elsewhere specified)

Training Centre

(please see next page)

- 5 - <u>S/H20/26</u>

RESIDENTIAL (GROUP A) (cont'd)

In addition, the following uses are always permitted (a) on the lowest three floors of a building, taken to include basements; or (b) in the purpose-designed non-residential portion of an existing building, both excluding floors containing wholly or mainly car parking, loading/unloading bays and/or plant room:

Eating Place
Educational Institution
Institutional Use (not elsewhere specified)
Off-course Betting Centre
Office
Place of Entertainment
Private Club
Public Convenience
Recyclable Collection Centre
School
Shop and Services
Training Centre

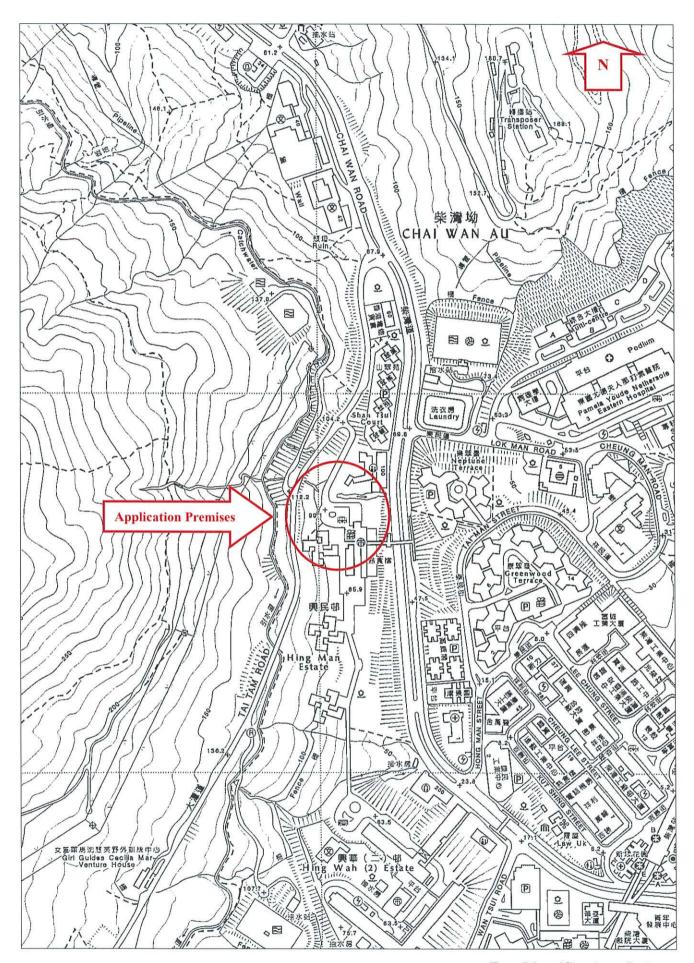
Planning Intention

This zone is intended primarily for high-density residential developments. Commercial uses are always permitted on the lowest three floors of a building or in the purpose-designed non-residential portion of an existing building.

Remarks

- (1) On land designated "Residential (Group A)" ("R(A)"), no new development, or addition, alteration and/or modification to or redevelopment of an existing building shall result in a total development and/or redevelopment in excess of the maximum building height in terms of metres above Principal Datum, as stipulated on the Plan, or the height of the existing building, whichever is the greater.
- (2) On land designated "R(A)1", no new development, or addition, alteration and/or modification to or redevelopment of an existing building shall result in a total development and/or redevelopment in excess of the maximum building height, in terms of metres above Principal Datum, as stipulated on the Plan.
- (3) A minimum 30m wide non-building area to the south of Hing Man Estate shall be provided as stipulated on the Plan. In addition, a minimum 20m wide non-building area shall be provided within Tsui Wan Estate (covering part of Tsui Wan Street), and a minimum 10m wide non-building area shall be provided from the lot boundary of Greenwood Terrace fronting Hong Man Street as stipulated on the Plan.
- (4) Based on the individual merits of a development or redevelopment proposal, minor relaxation of the building height restrictions stated in paragraphs (1) and (2) above may be considered by the Town Planning Board on application under section 16 of the Town Planning Ordinance.
- (5) Under exceptional circumstances, for a development or redevelopment proposal, minor relaxation of the non-building area restrictions as stipulated on the Plan or stated in paragraph (3) above may be considered by the Town Planning Board on application under section 16 of the Town Planning Ordinance.

Location Plan



For Identification Only

Lot Index Plans

*CWIL 123 L1 to L6 at Level 3 (Floor Area: 145.248m²) L12 to L14 at Level 3 (Floor Area: 49.5792m²) 與民邨 *CWIH179 Man Estate ПППП 8 D Z ROAD

地段索引圖 LOT INDEX PLAN

摘要說明:本地段索引圖在其背景的地形圖上標示了各種永久和短期持有的土地的圖像界線。這些土地包括私人地段、政府撥地、短期租約批地,以及其他作核准用途的土地。請注意:(1)本索引圖上的資料會被不時更新而不作事先通知;(2)索引圖的更新或會延後於有關資料的實際變更;以及(3)本索引圖中顯示的界線僅供識別之用,資料是否準確可靠,應徵詢專業土地測量師的意見。免責說明:如因使用本地段索引圖,或因所依據的本索引圖資料出錯、遺漏、過時或有誤差而引致任何損失或損害,政府概不承擔任何法律責任。

Explanatory notes: This plan shows the graphical boundaries of different kinds of permanent and temporary land holdings with the topographic map in the backdrop. The land holdings as shown may include private lots, government land allocations, short term tenancies and other permitted uses of land. It must be noted that: (1) the information shown on this plan is subject to update without prior notification; (2) there may be time lag between an update and the related changes taken place; and (3) the graphical boundaries as shown are for identification purpose only and interpretation of their accuracy and reliability requires the advice from professional land surveyor. Disclaimer: The Government shall not be responsible for any loss or damage howsoever arising from the use of this plan or in reliance upon its correctness, completeness, timeliness or accuracy.

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地政總署測繪處 Survey and Mapping Office Lands Department

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> 比例尺 SCALE 1:1000 ※ metres 10 0 10 20 30 40 50 metres

Locality:

Lot Index Plan No. : ags_S00000122141_0001

District Survey Office : Lands Information Center

Date: 09-Jan-2024

Reference No.: 11-SE-18B,11-SE-19A

*CWIL 123 即民商品 **Application Premises** L7 to L11 at Level 5 (Floor Area: 129.2m²) **Application Premises** Two L/UL Bays at Level 5 (Floor Area: 51m²) ТППП 與民邨 *CWILIT79 Man Estate 8 ROAD 842

地段索引圖 LOT INDEX PLAN

摘要說明:本地段索引圖在其背景的地形圖上標示了各種永久和短期持有的土地的圖像界線。這些土地包括私人地段、政府撥地、短期租約批地,以及其他作核准用途的土地。請注意:(1)本索引圖上的資料會被不時更新而不作事先通知;(2)索引圖的更新或會延後於有關資料的實際變更;以及(3)本索引圖中顯示的界線僅供識別之用,資料是否準確可靠,應徵詢專業土地測量師的意見。免責說明:如因使用本地段索引圖,或因所依據的本索引圖資料出錯、遭漏、過時或有誤差而引致任何損失或損害,政府概不承擔任何法律責任。

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> 此例尺 SCALE 1:1000 ※ metres 10 0 10 20 30 40 50 metres

Locality:

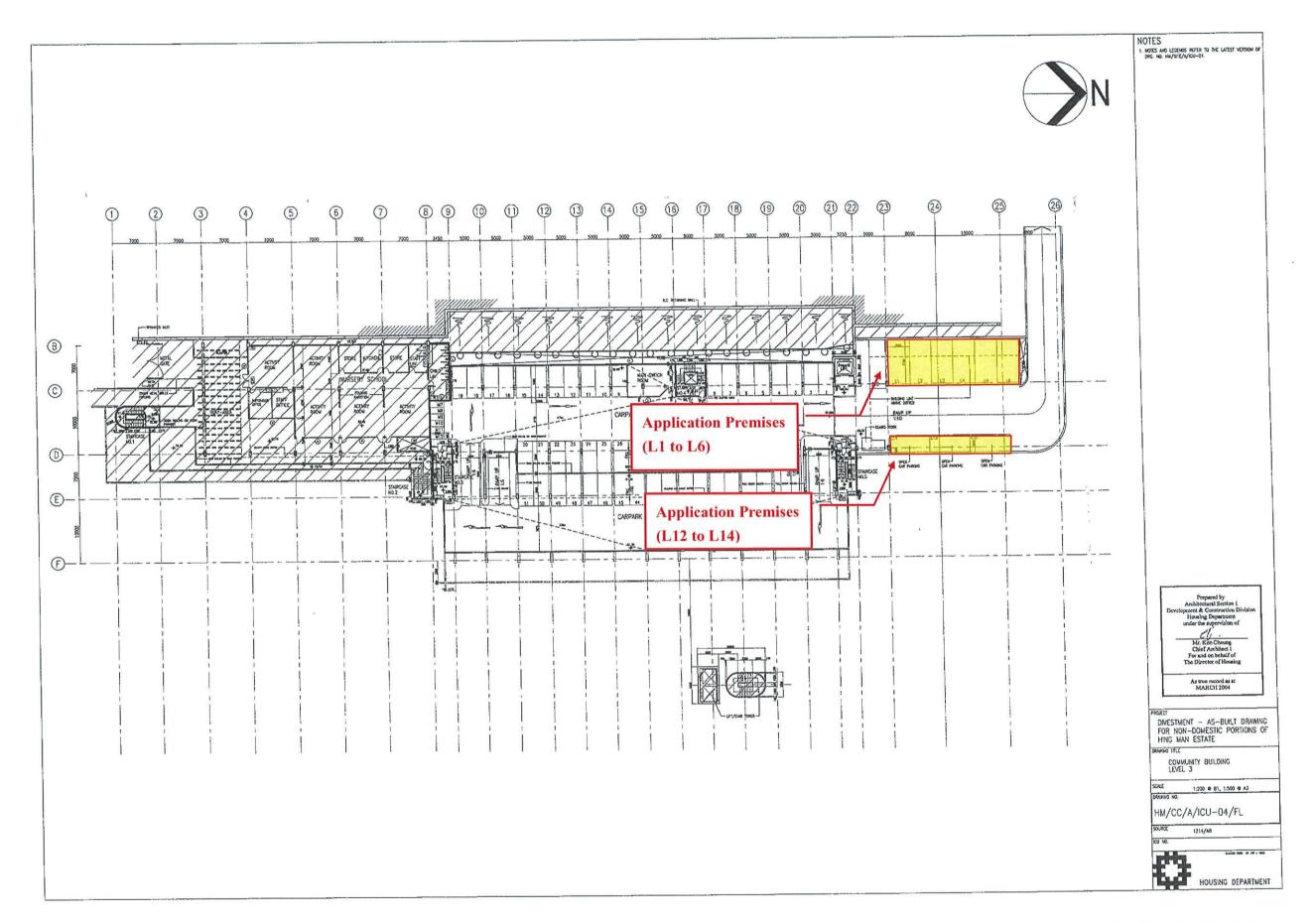
Lot Index Plan No. : ags_S00000122141_0001

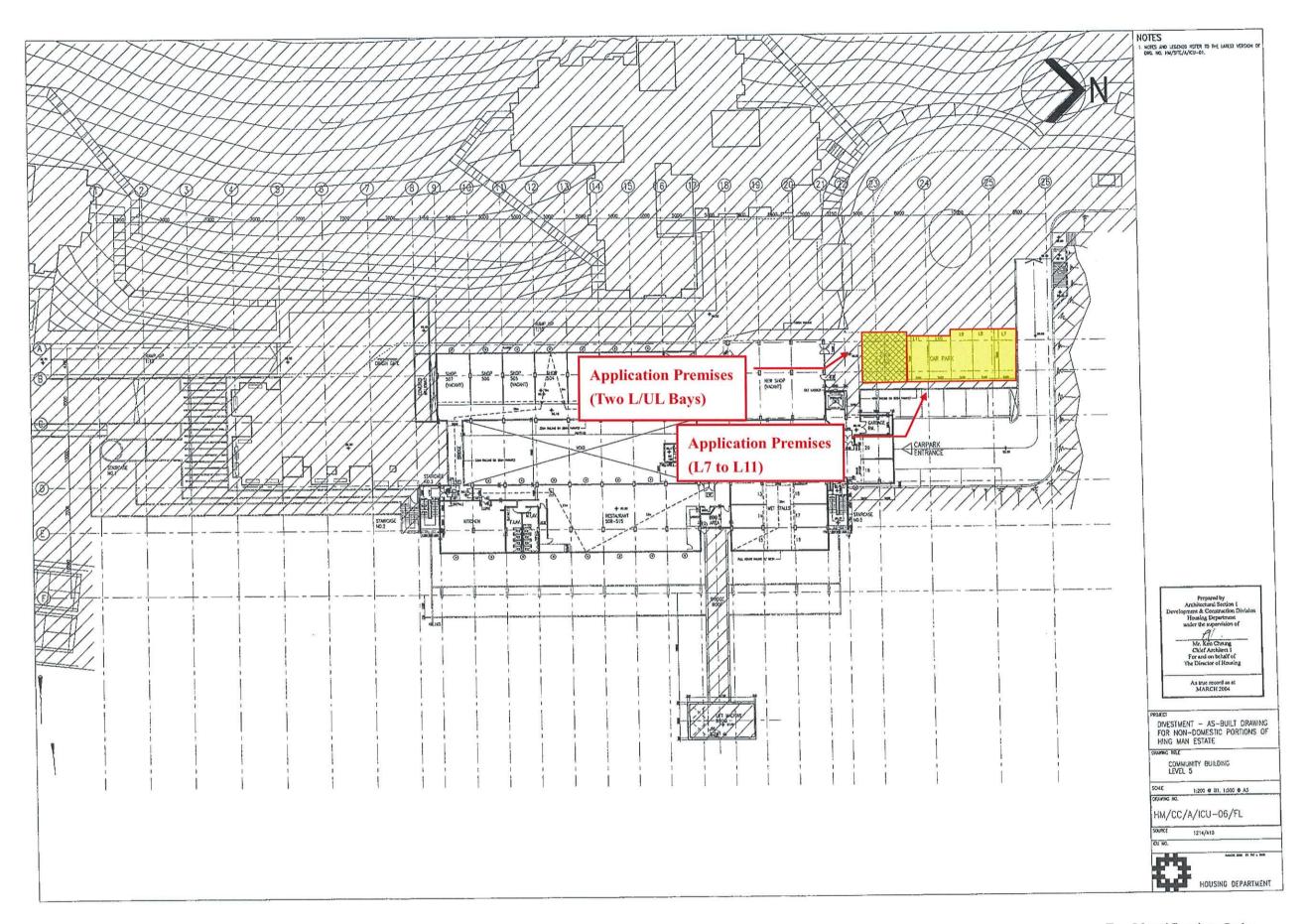
District Survey Office : Lands Information Center

Date: 09-Jan-2024

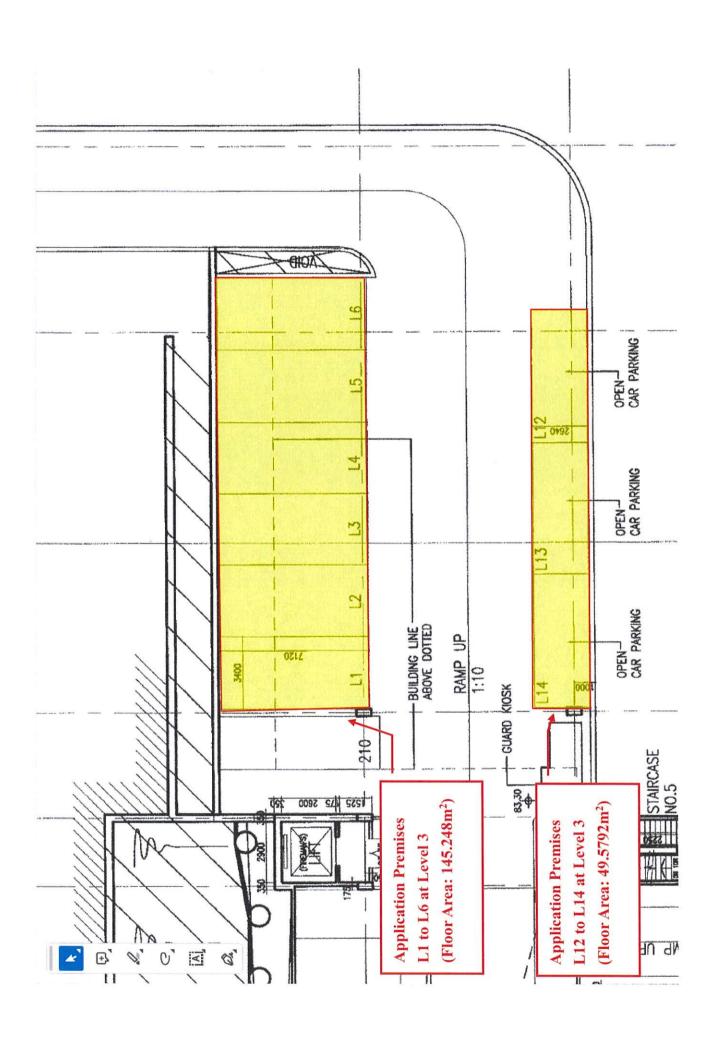
Reference No.: 11-SE-18B,11-SE-19A

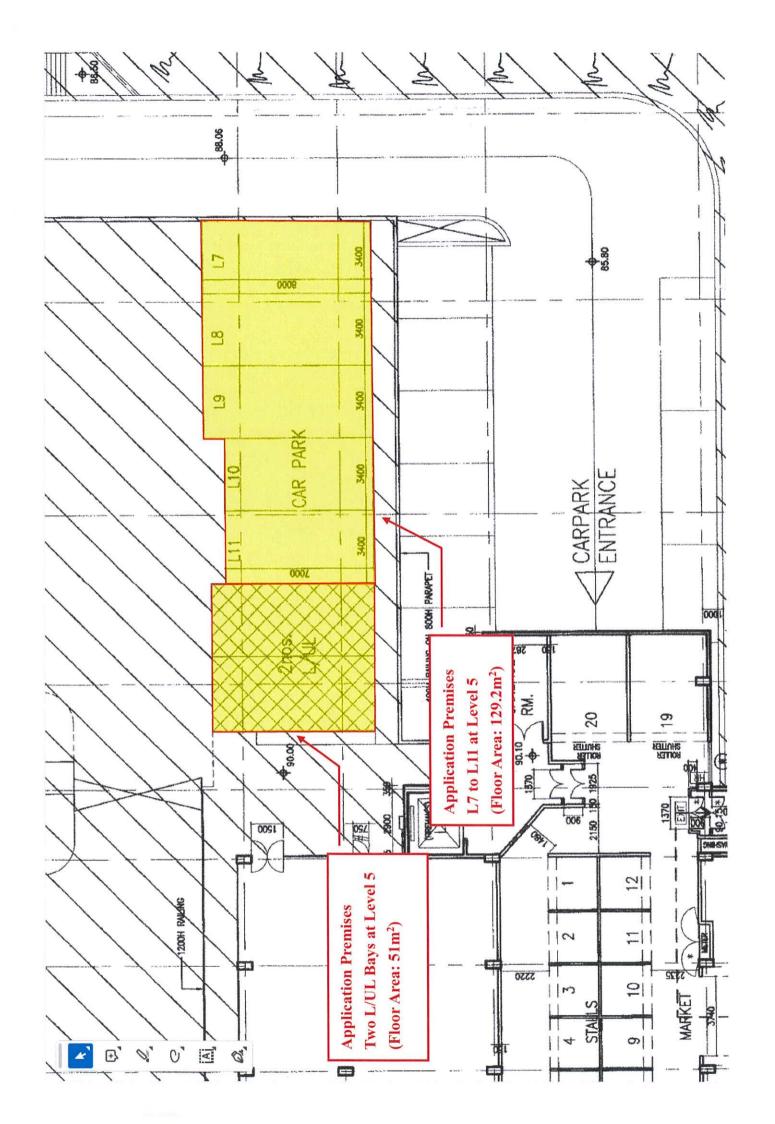
Extract of General Building Plan





Proposed Layout Plans





Parking Survey for Number of Goods Vehicle Parking

Parking Survey for No. of Goods Vehicle Parking

1/3 (Fri)	Parking No.	2/3 (Sat)	Parking No.	4/3 (Mon)	Parking No.
0:00	4	0:00	5	0:00	5
1:00	4	1:00	5	1:00	5
2:00	4	2:00	5	2:00	5
3:00	4	3:00	5	3:00	5
4:00	4	4:00	5	4:00	5
5:00	4	5:00	5	5:00	5
6:00	4	6:00	5	6:00	5
9:00	3	9:00	1	9:00	0
10:00	1	10:00	0	10:00	0
11:00	0	11:00	0	11:00	. 0
12:00	1	12:00	2	12:00	2
13:00	0	13:00	0	13:00	2
14:00	0	14:00	0	14:00	2
15:00	1	15:00	0	15:00	2
16:00	0	16:00	3	16:00	2

Approved GBP with FSIs and the Relevant Fire Certificates

FIRE SERVICE (INSTALLATIONS AND EQUIPMENT) REGULATIONS 消防 (裝置及設備)規例 (Regulation 9(1)) (第九條(1)款)

A 9309416

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	2017 BA 134 A- 44,	. — 6 A-Y 1177111

	f Client :		消防装	E 及設備證書	•	
顧客姓		igis racility M	anagement	Limited O/B Ace P	recision Invertment	s Limited
樓宇名:		Hing Man Sh	opping Cer	ntre & Carpark		
門牌號	o./Town Lot: 數/市地段		Street/Ro 街道	pad/Estate Name:	Hing M	an Estate
Block: 座		District 分區	<u> </u>	Chai Wan	rea: MK C	」 大龍 □ NT 新界
	Building 樓字類型:□Ind			Domestic住宅	te綜合 Licensed premise	es持牌城所 Institutional
第-	rt 1 Annual Inspection (一部 只適用於年校	文事項 once state	oment which is installed in every 12 months. 12個月由一名註刊	sion 8(b) of Fire Service (Installations d in any premises shall have such fire se 根據消防(衰坚及設備) 规例鎮八 承鮮商檢查該等消防裝置或設備)	and Equipment) Regulations, the owner rvice installation or equipment inspecte 统伪数、拥有装置在任何短所内 至少一次。	er of any fire service installation of d by a registered contractor at least 的任何将的裝置或設備的人。
Code斯列 (1-35)	Type of FSI 装置類型	Location(s) 位置	Comment of	on Condition 狀況評述	Completion Date 完成日期(DD/MM/YY)	Next Due Date 下次到期日(DD/MM/YY)
		ĺ				
			İ			}
				NIL	ĺ	
					[
					·	
n o fels					<u></u>	
	二部 Installation / Mod	lification / Repair	/ Inspection	work 裝置/改裝/修	理/檢查工作	
(1-35)	Type of FSI 装置類型 Portable Fire Extinguisher	Location(s) 位置		k Carried out 完成之工作内容	Comment on Condition 383	R評述 Completion Date 完成日期(D1XMM/YY)
~	r oterove 1.nd uxunikminet.	G/F	Supply & rep x 1 no.	lace f kg CO2 (gas) type F.E.	Conforms with FSD	02 Nov, 2023
25	Portable Hand-operated	requirements		Conforms with FSD	02 Nov. 2023	
25	Approved Appliance Portable Hand-operated L2/F		Supply & replace sand bucket x 2 nos.		requirements Conforms with PSD	
	Approved Appliance			2277 3223 DUCKET & 2 1103.	requirements	02 Nov. 2023
.]						
				,		·
					·	
	三部 Defects 損壞事項					
ode網碼 (1-35)	Type of FSI 装置類型	Location(s) 位置	Outstandi	ig Defects 未修缺點	Comment on Def	ects 缺點評述
			<u></u>			,,,,,
ŀ	ì			•		
	ļ			NIL		
	ĺ			, , , , , , , , , , , , , , , , , , ,		
	ify that the above installations/equip					N For Feb
a hill and h	rector of Fire Services. Defects are list	U Intialiations and Course	ent published from	and Signature: time 受權人簽署	Sma[[]	工程作图 For FSD use only:
人籍此證	明以上之消防装置及否有	·胡林路,枫州从·	能良好,符	Name: 姓名	CHAN KING SUN	
η仿庭庭 設備之檢	長不時公佈的最低限度之 查测试及保養守則的規格	- 消防装置及设债: · 损填事项列於第	守则典装置 [三部。	FSD/RC No.: 消防處註冊號碼	RC3/819	Inspected
如禮	書涉及年檢事項 之所當眼處以供	[,應張肽於	シ大庫	Company Name: 公司名称	Galaxy Engineering Hold Company Limited	tag Key-in
This c	ertificate should be displayed at promine for FSD's inspection if any annual m	iot location of the hubbles or	premises	Telephone: 「 聯絡電話	9107 9494 / 2529 4	!
251 (Rev. 1/20				Date: [日期	02 Nov, 2023	Verified

Lef.:

1

A 9299785

,庭横號			(Regu	lation 9(1))			A J	23310
	CER	TIFICATE OF F	IRE SERVIC	條(1)款) E INSTALLATION	N AND E	QUIPMENT		
Name of	Client:			【及設備證書				
顧客姓名	名 Syner	gis Facility Ma	ınagement I	imited O/B Ace	Precisi	on Invertments	s Limited	
Name of 棋字名和	Building;	Hing Man Sho	pping Cent	re & Carpark				
	o./Town Lot: 数/市地段			d/Estate Name: /屋苑名稱		Hing M	an Estate	
Block : District					Area:	LZ(HK L	JK [—————— ¬NT
座 Type of I	 3ulldIng 複字類型:□ind	分區 ustrial工業 □Comm	nercial 可樂 [][心區 posite综合	□Licensed premis		新界
Par	t 1 Annual Inspection (一部 只適用於年檢	ONLY In acc	cordance with Regulation	on 8(b) of Fire Service (Installation in any premises shall have such fir 我被消防(数置及設備)提門的 影商機查該等消防裝置或設	ons and Equips	ment) Regulations, the own	er of any lire service	
Code網碼 (1-35)	Type of FSI 裝置類型	Location(s) 位置		Condition 狀況評述		Completion Date 日期(DD/MM/YY)	Next Du 下次到期日	c Date
			<u> </u>			(1) //(NO/MARK L)	1 (0.2199)	(DEAMNUTT)
•								
				NIL				
								
Part 2 第 Code知時	二部 Installation / Moo					渣工作	·	
(1-35)	Type of FSI 裝置類型	Location(s) 位置		Carried out 完成之工作员		nent on Condition 狀		letion Date (KDD/MM/YY)
13	Fire Alarm System (MFA) Fire Alarm System (MFA)	1.4/P 1.4/P	Supply & replace breakglass unit x 1 no. Supply & replace battery x 2 nos.		1	1		ov, 2023 ov, 2023
15 16	Fire Detection System FH/HR System	L3/F. L5/F	Supply & replace heat detector x 2 nos.		Confe	Conforms with FSD requirements		ov, 2023
16	FH/HR System	L3/F, L1/F L3/F, L2/F, L1/F	Supply & replace nozzle box x 2 nos. Supply & replace hose guide x 5 nos.			Conforms with FSD requestionis Conforms with FSD requestionis		ov, 2023 ov, 2023
16 20	PH/HR System	L5/F	Overhaul F.S. inlet x 4 nos.			Conforms with FSD requirements		ov, 2023 ov, 2023
28 28	Sprinkler System Sprinkler System	LAIF LAIF	Overhaul sprinkler inlet x 2 nos. Overhaul sprinkler control valve x 2 nos.		1	Conforms with FSD requirements Conforms with FSD requirements		ov, 2023
					·	And the factories	112 N	ov, 2023
L								
Part 3 第 Code網解	三部 Defects 損壞事項	T						
(1-35)	Type of FSI 裝置類型	Location(s) 位置	Outstandir	g Defects 未修缺點	_	Comment on De	elects 缺點評	述
[
								İ
ļ				NIL.				
I/We hereby ce	rify that the above installations/equi	pment have been tested ar	l nd found to be in eff	icient Authorized			7 10 in	
working order Equipment and	in accordance with the Codes of Pr. Inspection, Testing and Maintenance	actice for Minimum Fire of Installations and Equip	Service Installations	and Signature) : [المسندر		For FSD use only:
-	Piroctor of Fire Services, Defects are lis 登明以上之消防装置及数		生能良好,故	Name 姓名	። የ፡	NG TIN YAU		
合消防虚点	5.長不時公佈的最低限度.	之消防装置及设備	中川與装置	FSD/RC No. 消防廈註冊號碼		2 1/488, RC 2/6	61	Inspected
	·查测试及保養守則的規模 □ 14: 13: 14: 14: 15: 16: 16: 16: 16: 16: 16: 16: 16: 16: 16		· ,	Company Name	,	axy Engineering H		¦
	≹書涉及年檢事□ 處所當眼處以供			公司名称		npany Limited		Key-in
This	certificate should be displayed at promi	nent location of the building	or premises	Telephone 播線預算	: <u> 91</u> 0	07 9494 / 2529	4885	1

02 Nov, 2023

F.S. 251 (Rev. 1/2016)

. SD Ref.: 消防废檔號

A 9203001

FIRE SERVICE (INSTALLATIONS AND EQUIPMENT) REGULATIONS 消防(裝置及設備)規例 (Regulation 9(1)) (第九條 (1) 款) CERTIFICATE OF FIRE SERVICE INSTALLATION AND EQUIPMENT

Nama a	£ Olbana			置及設備證書		ZQOM MDM1		
顧客姓		ergis Facility N	vianageme	nt Limited O/B Ac	ce Preci	sion Invertme	ents Limite	:d
Name o 楼字名	f BuildIng: 稱	Hing Man S	hopping C	entre & Carpark	· · · · · · · · · · · · · · · · · · ·			
Street N 門牌號	lo./Town Lot: 數/市地段		Street/R	load/Estate Name: 道/屋苑名稱		Hing	Man Estat	:e
Block : 座		Distric 分區	t;	Chai Wan	Area:	□AK 香港		TNT
Type of	Building 樓字類型:□In		mercial商業 [地區 posite綜合	□Licensed prem	九龍	⁻ 新界 - □
Par 第-	rt I Annual Inspection 一部 只適用於年材		ccordance with Regularity which is install in every 12 months. 112個月由一名註	iation 8(b) of Fire Service (Installat led in one premises shall have such f 根據清防 (裝置及設備)規例 網承對商格查數等消防裝置設施	tions and Equip	ment) Regulations, the o	waer of any fire serv	Institutional注 ice installation or contractor at least 性或极偏的人。
Code網報 (1-35)	Type of FSI 裝置類型	Location(s) 位置	Comment	on Condition 狀況評述	•	Completion Date	Next I	Due Date
11	Emergency Lighting	Whole Building (Conuner, Area)		uh FSL tequiremente	元加	日期(DD/MM/YY) 0? May, 2023		E (DD/MM/Y)
12	Exat Sign	Whole Building	Conferms w	nin FSD tequirements	1.	Na ha		
13	Fire Alaim System (MFA)	Whole Buildeng	Conform w	up LZD te incerneins (Dejeri see	pat)	, 09 May, 2023 00 May, 2020		08 May, 2024 08 May, 2024
15	Fire Desection System	Whole Buding	Contoms w	th FSD requirements (Defect see				ou they, 2024
16 17	FH / HR Systems Fore Shutter x 1 no	Whole Building	Conforms or	th FSE requirements (Defect ter	part ()	19 May, 2023 79 May, 2023		16 May, 2024
28	Sprinkler System	L5 Whole Building	Conforms wa	dii FSL) requerements	1.	CA 1149, 2023	1	08 h1ay, 2024 08 May, 2024
	• • • • • • • • • • • • • • • • • • • •	AND DESCRIPTION	Conforms w	ith FSD requirements (Delect see	part ()	0° May, 2033		08 May, 2074
							'	
		<u> </u>						\
Part 2 第	二部 Installation / Mod	dification / Repair	/ Inspection	n work 装置/改选/	化和 / ke	75. T <i>K</i> c		
Code頻码 (1-35)	Type of FSI 裝置類型	Location(s) 位置	Nature of Wo	rk Carried out 完成之工作成				-1-4- 72 -
_ (1-1)		(7 JZ.B.	-14141007 170	TR Carried Out 光成之工作体	中 Comn	nent on Condition i	以况好述 完成 F	pletion Date
i							-	
		1						
		ļ						1
]						.+1		
						•		
J				NIL			1	
					-	·		
]			1			†
	·				1			ŀ
Dart 2 答	三部 Defects 損壞事項							
Code編碼 (1-35)	Type of FSI 装置類型							
(3-35)	Fire Alam System (MFA)	Location(s) 位置		ing Defects 未修缺點		Comment on D	efects 缺點評	述
[3	Fat Alam System (MFA)	LAIF LAIF	Breakglass un Battery fault s	ž maltinenou x 1 no.		Ne	ed replacement	
13	Fare Detection System	L37. LSF		melfunction z 4 nos.	- 1		ed replacement	į
16 Id	FHAIR System FHAIR System	Lyf, Luf	Hozzie baz da	mage x 2 nos	Ì		ed replacement	- 1
16	FH/HR System	Lef, L2/F. L1/F	Hose guide Ja	mage x 5 cos.]		ed replacement	
1		LSTF	FS. mlet need	to suspect the condust x 4 nos	-		erhad i replacemen	<u>.</u>
25	Spanker System	LAF	Strinkter inlet	excular letter 9/2021) need to uppect the condition x 2 n				ļ
28	SpraNer System		(Refer to FSD	circular letter 3/2021)		Reed ga	erisani / repiseemer	ıt .
"	olympic olympic	LAIF	Spreaklar contr	ol valve need to inspect the condi	ticu.	Heed ov	erhau) / replacemen	.
	;		R 2 nos. (Roser to FSD	circular letter 3/2021)	1		,	
We hereby centi	ify that the above installations/equip	ment have been seried.		 				
					.	١.	No HOLDON	For FSD
	aspection, Testing and Maintenance of ector of Fire Services. Defects are list		ent published from	ntime 受權人簽署	· <	Town VE	《 数河》	use only:
	enter of a tre out wors, the local safe list	ca in Part 3.		Name			尼拉版	
消防成成	明以上之消防装置及設住 長不時公佈的最低限度之	10.22以税 1 登明性 1	能良好,符	姓名	TI	NG TIN YAL		/
设備之份	达测试及保養中則的規格		中別與裝置 5三部。	FSD/RC No. 消防處註冊號碼	RC	C 1/488, RC 2	***	Inspected
				•				¦
ᄴᄣ	書涉及年檢事可	1, 應張斯第	\$大厦	Company Name: 公司名稱		axy Engineering	Kolding	¦
10. 1	的所當眼處以供 differt should be foreign	消防虚人量	查抄		Cor	npany Limited	ĺ	Key-in
This co			premises	Telephone:	01	07 9494 / 252	0.4005	l
251 (Rev. 1/20	for FSD's inspection if any annual m	autenunce work is involved.		聯絡電話 Cata		0 / 2724 / 63Z	7 4000	! [
. 231 (NCV. 1/20	10)			Date:	09	May. 2023		

A 9205135

FIRE SERVICE (INSTALLATIONS AND EQUIPMENT) REGULATIONS 消防(装置及設備)規例 (Regulation 9(1)) (第九條(1) 款) CERTIFICATE OF FIRE SERVICE INSTALLATION AND EQUIPMENT 消防裝置及設備證書 .·SD Ref.: 消防處播號

Name of Client: Synergis Facility Management Limited O/B Ace Precision Invertments Limited									
Name of Building: W字名稱 Hing Man Shopping Centre & Carpark									
Street No./Town Lot:									
Block: District: Chai Wan Area: HK NT 外版 分區 Chai Wan 地區 香港 九龍 新界									
Type of E	Building 楼宇類型:□(ndi		iercial商業 Domestic住宅 Composit						
Part 1 Annual Inspection ONLY 第一部 只適用於年檢事項 「nevery 12 months. Hyping Kay Explosion Regulation for the Service (Installation or equipment) Hyping Kay Explosion of the Service installation or equipment which is installed in any premises shall have such fire service installation or equipment inspected by a registered contractor at least once in every 12 months. Hyping (Agra Agra May May Ar Ar Ar Ar Ar Ar Ar Ar Ar Ar Ar Ar Ar									
Code類等 (1-35)	Type of FS1 裝置類型	Location(s) 位置	Comment on Condition 狀況評述	Completion Date 完成日期(DD/MM/YY)	Next Due Date 下次到期日(DDMM/YY)				
1i	Partoble Fire Extraposter			30/24 3//1-	1 0(14) [1 (000)				
	6 kg dry powder type F. E. x I no.	1,3	Conforms with FSD requirements	क्र सालू, रेटिश	08 May, 2024				
	5 kg CO2 (gas) type	L3, G/F, R/F	Conforms with FSD requirements	09 May, 2023	03 May, 2024				
	F. E. x S nos		(Defect see part 3)	1	00 May, 2024				
	9 féres water type F. E. x 12 nos	L1, L2 L3	Conforms with FSD requirements	09 May, 2023	63 May, 2024				
25	Portable Hand-operated	ļ							
	Approved Appliance								
	Sand Bucket x 15 nor.	L1, L2, L3	Conforms with FSD requirements (Defect see part 3	09 May, 2023	98 May, 2024				
	<u> </u>			<u> </u>					
Part 2 第	二部 Installation / Mod	lification / Repair	/Inspection work 裝置/改裝/修	印/給本工作					
Code網碼	Type of FSI 裝置類型	Location(s) 位置	Nature of Work Carried out 完成之工作內容	T	Completion Date				
(1-35)	1990年131 東西東東	Totalion(s) TV E.	Nature of Work Carried out 光浓之工作内容	Comment on Condition 狀	完成日期(DDMMYY)				
			NIL						
Part 3 第	三部 Defects 損壞事項	<u> </u>							
Code編碼 (I-35)	Type of FSI 装置類型	Location(s) 位置	Outstanding Defects 未修缺點	Comment on Do	efects 缺點評述				
24	Portable fire Extinguisher	G/F	5 kg CO2 (gas) type F.E. expired x 1 no.	Need hydraul	lic test / replacement				
25	Portable Hand-operated	L2/F	Sand bucket missing x 1 no.	No	ed supply				
25	Approved Appliance Portable Hand-operated	1.2/F	Smd bucket damage x 2 nos.						
	Approved Appliance]	PEN DUCKU CAMAGE X 2 BOS.	1,100	replacement				
			·						
working order	tify that the above installations/equi in accordance with the Codes of Pr	actice for Minimum Fire	Service Installations and Signature :	/ !	田河 Por FSD				
Equipment and Inspection, Testing and Maintenance of Installations and Equipment published from time 受權人簽署					名(工程集團)。 use only: 有限公司)下				
Namo: Namo:									
合消防疫成長不時公佈的最低限度之消防裝置及投借守則與裝置 FSD/RC No.: DO2/01/0					Inspected				
及设備之程	会查测试及保養守則的規 權	各·拼琐事項列於	第三部。 消防處註冊號碼	RC3/819					
如前	を 電子 で で で で で で に の に に の に に る に る に る に に る に に に に に に に に に に に に に	項,應張貼:	於 大廈 Company Name: 公司名稱	Galaxy Engineering Ho Company Limited	olding Key-in				
This	建所當眼處以供 a certificate should be displayed at promi for FSO's inspection it any annual	nent location of the building	or premises	9107 9494 / 2529					
F.S. 251 (Rev. 1/	· · · · · · · · · · · · · · · · · · ·	TOTAL TOTAL STREET	Date: 日期	09 May, 2023	Verified				
			口别	L	I venited				

·SD Ref.: 消防成構統

A 9205154

FIRE SERVICE (INSTALLATIONS AND EQUIPMENT) REGULATIONS 消防(装置及設備)規例 (Regulation 9(1)) (第九條 (1) 款) CERTIFICATE OF FIRE SERVICE INSTALLATION AND EQUIPMENT 消防装置及設備證書

Mars -	& City			三人 灰 闲 拉 音			
Name of Client: [Synergis Facility Management Limited O/B Ace Precision Invertments Limited							
Name o 楔字名	f Building: 稱	Hing Man Sho	opping Ce	ntre & Carpark			
Street N 門牌號	lo./Town Lot: 數/市地段	***		ad/Estate Name: i 红屋苑名稱	Hing M	an Estate	
Block: 座	==->	District		Choi Wan A	rea: PHK Can Can Can Can Can Can Can Can Can Can	K NT 九舶 新界	
Type of	Building 棋字類型: []Inc	Justrial工業 Comm	tercial而業		3 1224	7 - 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1 -	
Pa	rt 1 Annual Inspection (ONLY In acc	ordance with Regula	tion 8(b) of Fire Service (Installations	and Equipment) Regulations, the own	er of any life service installation or	注图
	一部 只適用於年檢	X 寺 子 久 須 復	12個月由一名註例	承辦商位查核等消防裝置或設備	3少一次。 第少一次。	时任何有朋裝置或收備的人,	
Code## (1-35)	Type of its 接置類型 Portable Fire Extinguisher	Location(s) 位置	Comment: 0	n Condition 狀況評述	Completion Date 完成日期(DD/MM/YY)	Next Duc Date 下次到期日(DDA(MAYY)	
25	5 kg CO2 (gas) type F. E. x 2 nos. Portable Hand-operated	Generator & Fuel Tank Room, L3	Conforms w	ith FSD requirements	09 May. 2023	08 May, 2024	
	Approved Applience Sand Bucket x 2 nos.	Generator & Fuel	Conforms w	ith FSD requirements	09 May, 2023		:
		Tank Room, L3			07 May, 2025	08 May, 2024	
							
Part 2 第	二部 Installation / Mod	lification / Repair	/ Inspection	work 裝置/改裝/修	理/檢查工作		
Code蝌碼 (1-35)	Type of FSI 裝置類型	Location(s) 位置		k Carried out 完成之工作内容		R 新述 Completion Date 完成日期(DDMMVYY)	
		!		NIL			
		}					
Part 3 第	三部 Defects 損壞事項	[
Code網碼 (1-35)	Type of FSI 装置類型	Location(s) 位置	Outstandi	ng Defects 未修缺點	Comment on Del	ects 缺點評述	
	!			1	-		
						ĺ	
1				NIL.		į	
	ļ						
			·				
MOLVINE OFFICE P	tify that the above installations/equipin accordance with the Codes of Pra	Olica for Minimum Con C.		• • • • • • • • • • • • • • • • • • •		G HOLDING For FSD	
to time by the Di	rector of Fire Services. Defects are list	ot Installations and Equipm ed in Part 3.	ent published from	time 受権人簽署	ome (3	銀河 use only:	
本人藉此遊	明以上之消防装置及設住 長不時公佈的最低限度之	着短武骑,蹬明性自 ·治际禁卫工工工	能良好,符	Name: 姓名	CHAN KING		
及政備之檢	查测试及保養守則的規格	· 損壞事項列於第	三部。	FSD/RC No.: 消防處註冊號碼	RC3/819	Inspected	
如體	書涉及年檢事項 處所當眼處以供	。 應張貼於 治院庫 - 三	大度 本性	Company Name: 公司名稱	Galaxy Engineering Hol Compuny Limited	ding Key-in	
This	certificate should be displayed at promine for FSD's inspection if any annual m	ent location of the helicine ac	三、代 premises	Telephone : (聯絡電話	9107 9494 / 2529		
.S. 251 (Rev. 1/2				Date: 日期	09 May, 2023	Verified	

GENERAL NOTES:

- THE ASA PORTION IS THE ASA SUBMISSION AREAS ONLY ALL THE OTHER PARTS OF THE BUILDING $\cap N$ THIS DRAWINGS ARE EXISTING CONDITION AND DO NOTFORM PART OF THIS SUBMISSION .
- NO WORKS TO BE COMMENCED UNLESS CONSENT FOR COMMENCEMENT OF WORKS HAS BEEN OBTAINED FROM DEMOLITION OF EXISTING PARTITION WALL TO BE SUBMITTED THOUGH MINOR WORK CONTROL SYSTEM OR TO BE EXEMPTED BUILDING WORKS UNDER BIPRI 41.
- 3 EXISTING F.R.R. TO ELEMENTS OF CONSTRUCTION INSIDE THE BUILDING AREA REMAIN UNCHANGE
- MINICLEAR HEIGHT FROM FLOOR TO CEILING SHOULD BE 2500MM MINICLEAR HEIGHT FROM FLOOR TO UNDERSIDE OF BEAM SHOULD BE 2300MM
- ALL NEW PARTITIONS SHOULD BE BUILT BY FULL HEIGHT LIGHT-WEIGHT BLOCK WALL OF C20/20 UNLESS OTHERWISE SPECIFIED
- EVERY OPENING FOR PASSAGE OF AIR-CONDITIONING DUCTS VENTILATION DUCTS ELECTRICAL TRUNKINGS COMDIST PIPES CABLES AND THE LIKE THROUGH A FIRE BARRIER SHOULD BE PROTECTED WITH FIRE DAMPERS OR OTHER BUSTABLE FORM OF FIRE STOP TO MAINTAIN THE REQUIRED F.R. R.O. THAT FIRE BARRIER AS PER LAUSE 62.9.0 FS CODE 2011
- MIN HEADROOM OF EXIT ROUTES SHOULD BE 2000MM
- ALL A&A PORTIONS TO COMPLY WITH BUILDING (PLANNING) REGULATIONS 17 & DESIGN MANUAL OF BARRIER FREE ACCESS 2008
- THIS SUBMISSION COMPLES WITH CODE OF PRACTICE FOR FIRE SAFETY IN BUILDING 2011 AND CODE OF PRACTICE FOR BUILDING WORKS FOR LIFTS AND ESCALATORS 2011
- 10 STRUCTURAL AND DRAINAGE DETAILS TO BE SUBMITTED SEPARATELY
- 41 ARTIFICIAL LIGHTING TO BE PROVIDED FOR THE AREAS WITHOUT NATURAL LIGHTING WHERE REQUIRED.
- 13 ALL NON-EMERGENCY SERVICES INSIDE REQUIRED STAIRCASE AND THEIR PROTECTING LOBBIES TO BE ENCLOSED BY FIRE BARRIER WITH F R R NOT LESS THAN THAT OF THE WALLS SEPARATING THE PROTECTED EXIT FROM THE REST OF THE BUILDING AS PER CLAUSE 9 31 d) OF PS CODE 2011.
- 14 ALL RS & MRI, AND RS & MRR TO COMPLY WITH BUILDING LREFUSE STORAGE AND MATERIAL RECOVERY CHAMBERS AND REFUSE CHUTES LREGULATIONS AND PNAP APP.35
- 15 ANY FRESH AIR INTAKE OF THE BUILDING TO BE LOCATED AT LEAST 5M AWAY FROM ANY EXHAUST OUTLETS AND POTENTIAL POLLUTION SOURCES
- 16 FOR DOUBLE LEAF DOORS NO LEAF OF SUCH DOOR SHOULD BE LESS THAN 500MM WIDE
- ANY DOOR FROM THE COMMON AREA LEADING TO A TEMPORARY REFUGE SPACE SHOULD HAVE A CLEAR WIDTH OR NOT LESS THAN BEXIMM OR SUCH WOTH AS REQUIRED UNDER TABLE BY WHICHEVER IS GREATER. AND DOOR HANDLE AT NOT LESS THAN BEXIMM AND NOT MORE THAIL 1050MM ABOVE THE FINISH FLOOR LEVEL. MEASURED FROM THE TOP SURFACE OF THE GRIP SHOULD BE PROVIDED TO ONE SIDE OF THE DOOR AS PER CLAUSE B203 OF FS CODE 2011.
- 16 THE PUBLIC ACCESS TO THE LIFT-CUM-STAIRCASE SHALL BE MAINTAINED AT ALL TIMES (24 HOURS 7 DAYS)
- 19 THE ULTIMATE PLACE OF SAFETY FOR ST3a ST3b ST4a ST4b ST5 AND ST3 TO BE LOCATED AT LEVEL 4 LEVEL 6 LEVEL 5 LOVEL 4. LOWER LEVEL 1 AND LEVEL 5 RESPECTIVELY
- 20 ST3s ST3b ST4s ST5 AND ST6 TO BE DISCHARGED DOWNWARD
- ALL THE TEMPORARY REFUGE SPACE VALUEE PROVIDED WITH 15m X 15m CLEAR SPACE, CLOSED-CIRCUIT TELEVIS ON DIRECT INTERCOM LINK, BOTH BACKED UP BY EMERGENCY POWER FOR AT LEAST 1 HOUR, WITH SECURITY FIXED NOTICE OF TEMPORARY REFUGE SPACE" AND WELL-DEMARCATED ON FLOOR BY MEANS OF CONTRASTING COLOR TO GLEARLY DISCERN FROM THE REMAINDER AREAS OF THE STOREY.
- BABYCARE ROOM (BB ROOM) WITH MIN. 5M2 IN FLOOR AREA WOULD BE PROVIDED ON LEVEL 5. DETAILS OF "8B ROOM" AS PER PHAP ADV-32 STANDARD.

F.S. NOTES:

- THERE SHALL BE SUFFICIENT HYDRANTS AND HOSE REELS ON EACH FLOOR EXISTING FIRE HYDRANTS SHALL BE RETAINED HOSE REELS WOULD BE RE-ARRANGED OR ADDED TO SUIT THE NEW LAYOUT OF THE ALA AREA EXTEND THE FIRE HYDRANT TO LY TO ENSURE THAT EVERY PART OF THE BUILDING CAN BE REACHED BY A LENGTH OF NOT MORE THAN 36M OF HOSE REEL TUBING
- 2 EXISTING 37 CU M F S WATER TANK IS TO BE RETAINED AT LEVEL 0 TO SUPPLY THE FIRE HYDRANT AND HOSE REEL INSTALLATION
- OCCUPANCY FOR THE ASA AREA (14 TO L7) FOR THE BUILDING IS CLASSIFIED AS ORDINARY HAZARO GROUP 3 ACCORDING TO LPC
- EXISTING 2 NOS OF 53.5 CU M FIBREGIASS SPRINKLER WATER TANKS ARE TO BE RETAINED AT LEVEL 2 TO SUPPLY THE SPRINKLER INSTALLATION
- EXISTING SPRINKLER SYSTEMS EMERGENCY LIGHTING SYSTEMS AND EXIT SIGNS SHALL BE MODIFIED TO SUIT THE NEW LAYOUT, EXTEND TO THE NEW SHOP AT L6
- A SPRINKLER ANNUNCIATOR PANEL WILL BE PROVIDED AND LOCATED AT FIRE CONTROL CABINET AT LEVEL 4 OF THE BUILDING TO INDICATED THE FLOOR UPON WHICH A SPRINKLER IS OPERATING
- FIRE ALARM SIGNAL INCLUDING THE ALARMS FROM THE MANUAL FIRE ALARM SYSTEM. FIRE DETECTION SYSTEM AND SPRINKLER ALARM SIGNAL SHALL BE TRANSMITTED TO THE MAIN FIRE CONTROL PANEL WHICH CONNECTED TO THE FIRE SERVICES COMMUNICATION CENTRE BY A DIRECT TELEPHONE LINK VIA THE MAIN FIRE CONTROL PANEL.
- UNLESS OTHERWISE STATED ALL EXISTING FIRE SERVICES INSTALLATION AND EQUIPMENT TO BE PETABLED
- 9 SUFFICIENT DIRECTIONAL AND EXIT SIGNS SHALL BE PROVIDED AT THE POSITIONS OF THE A&A AREAS AS SHOWN ON THE DRAWINGS.
- VISUAL FIRE ALARM SYSTEM SHALL BE PROVIDED FOR THE A&A WORKS IN ACCORDANCE WITH THE DESIGN MANUAL OF BARRIER FREE ACCESS 2008 AND FSD CIRCULAR LETTER 2/2012
- 11 EXISTING FIRE DETECTION SYSTEM SHALL BE MODIFIED TO SUIT THE NEW LAYOUT
- 12 PORTABLE FIRE EXTINGUISHES WITH SPECIFIED TYPE ARE TO BE PROVIDED AS INDICATED ON THE DRAWINGS AND IN ACCORDANCE WITH CURRENT HIM FISID CIRCULAR LETTERS NO 4496 PART VIII DECTIONS 6, 7 & 8 DATED 22/10/96
- 13 VENTILATION / AIR CONDITIONING CONTROL SYSTEM SHALL BE PROVIDED AND SHALL COMPLY WITH CURRENT FSD. CODES OF PRACTICE 2012 EDITION.
- AN EMERGENCY GENERATOR OF SUFFICIENT ELECTRICAL CAPACITY TO SUPPLY ALL ESSENTIAL POWER FOR THE FIRE PROTECTION SYSTEMS AND FIREMAN'S LIFTS SHALL BE PROVIDED AND LOCATED ON LEVEL 3
- 15 EXISTING FIREMAN'S LIFT(L1) TO SERVE LEVEL 1 TO LEVEL 5 & NEW FIREMAN'S LIFT(L2) TO SERVE LEVEL 2 TO LEVEL 6
- 16 2 NOS OF FIRE SERVICE ACCESS POINT TO BE PROVIDED AT LEVEL 5 TO ACCESS TO LIFT LOT (FOR LEVEL 1.5) AND LIFT LOZ (FOR LEVEL 2.8)
- 17 FIRE SHUTTER

DEVELOPMENT SCHEDULE					
A LOCATION	NO 188 TALETAM ROAD HONG KONG				
CN TO J B	C.WIL 179				
C SITE AREA	62 288 m2				
D HEIGHT OF BUILDING	NON DOMESTIC 53.7m NO CHANGE DOMESTIC 162.8m (FOR REF (HLY)				
BLOCK	NO OF STOREYS	HEIGHT RESTRICTION UNDER LEASE	SPECIAL CONDITION REFERRED		
DOMESTIC - 3 BLOCKS	DOMESTIC (FOR REF ONLY)				
NON - DOMESTIC - 1 BLOCK	(BLOCK A) - *				
	(BLOCK B) · **	MAX 210 mP0	3.13(d)		
	(BLOCK C) - ***				
	NON - DOMESTIC - 6 STOREYS				
LOCATION OF ACCOMMODATION					
ACCOMMODATION	ряоровер	REQUIRED PERMITTED UNDER	SPECIAL CONDITION REFERRED		
ware		CEASE	REPERNED		
USER					
A) DOMESTIC - NO OF FLAT	NO CHANGE	1 200 NOS TO 2 000 NOS	3 13/6		
2 GROSS FLOOR AREA					
A) OVERALL	113 914 780m² (NO CHANGE)	67 173m° TO 111 054m°	3 13 a		
B) DOMESTIC	106 462 53/m² (FCR REF ONLY)	63 600m° TO 106 000m°	3 13 6		
C: NON - DOMESTIC	7 452 243m* (NO CHANGE)				
0,50,1140,1140,1140,1140		+			
D) COMMERCIAL FACILITY	Total 4341 544m* (FOR DLO APPROVAL)	2 637m° TO 4 394m°	3 13(2)(1)		
E) WELFARE FACILITY					
II NURSERY SCHOOL	634 123m² (FOR REF, ONLY)	MORE THAN			
ii) WELFARE FACILITY (SHOP 406)	40 618m² (FOR DLO APPROVAL)	455m1	3 13(cHH)		
F) OTHER FACILITY - GUARD KIOSK	8 970m² (FOR DLC APPROVAL)		3.13(0)(iii)		
G) ESTATE MANAGEMENT USE	NO CHANGE	653m² TO 1105m²	3 13(c)(e)		
3 SITE COVERAGE	NO CHANGE	NO RESTRICTION			
4 OPEN SPACE (FOR ACTIVE AND PASSIVE RECREATIONAL USE)	NO CHANGE	NOT LESS THAN 7 200m²	3 14		
5 DESIGN, DISPOSITION & HEIGHT	NO CHANGE	NO RESTRICTION	3.27(8)(w)		
6 CARPARK	no crosses				
A) PRIVATE CAR	NO CHANGE	182			
i) COVERED	NO CHANGE	181	3.22(a)(i)		
ii) OPEN	NO CHANGE	1			
B) MOTORCYCLES	NO CHANGE	30	3 22(a)(i)		
C) GOODS VEHICLES	NO CHANGE	14	3 22 (4)(1)		
7 LOADING / UNLOADING SPACES	NO CHANGE	2	323		
e VEHICULAR ACCESS POINTS	NO CHANGE	VEHICULAR ACCESS FROM XYZ	325		
9 CARETAKERS					
A) OFFICE ACCOMMODATION	(N/A)	(N/A)			
BI QUARTERS	(N/A)	(N/A)			
10 RECREATIONAL FACILITIES	(N/A)	(NA)			
	(N/A)	(N/A)			
11 FORMATION AREA	1 NO OF TREE AT L4 TO BE RETAINED		3 17		
12 TREE PRESERVATION 13 LANDSCAPING	NO CHANGE		3 18		
14 OTHER SPECIAL	III CONTOS		3.10		
REQUIREMENTS UNDER LEASE			-0250		
A) LIFT-CUM-FOOTBRIDGE B) PUBLIC ACCESS		FUBLIC ACCESS TO LIFT	3 15(a) 3 15(b)		
B) PUBLIC ACCESS	NO CHARGE	CUM - FOOTBRIDGE	or 1 mg//		
C) HIGHT OF WAY	RIGHT OF WAY MAINTAINED	RIGHT OF WAY FOR THE AREAS SHOWN COLORED PINK HATCHED RED AND PINK HATCHED RED	5 6(a)		

CO

DOG

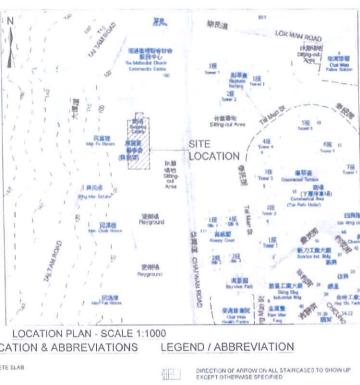
JUZZUZU FIR RI SELF CLOSING DOOR WILLIPPER GLASS PANEL & SNICKE SEA

EXISTING DOOR

HATCHED EROWN

* 44 NOS OF DOMESTIC STOREYS & G/F LOBBY
** 44 NOS OF DOMESTIC STOREYS & G/F LOBBY
*** 43 NOS OF DOMESTIC STOREYS & G/F LOBBY & F1 STA/RCASE / LIFT SHAFT

	FIRE SHUTTER FICATIONS / EXEMPTIONS GRANTED and				25 25	MDP 074.2	12772 017	HDP 015/2	52,270 16	
	IDMENT TO LOCATION (If any) IN THE CURRENT SUBMISSION				Date of Modifications ons Granted	9.Jun 17	11904	7.Feb-18	27.00	
			_ocation with	75 55	Month	3	9	1	- 5	7
	Description	Condition	Modification Exemption Granted	Date	Year	2017	2017	2018	2018	201
					Rev	B	C	0	E	F
	MODIFICATION OF BUILDING (PLANNING) REGULATION 35 FOR ROOMS	(a) ARTIFICIAL LIGHTING AND MECHANICAL VENTILATION PRODUCING 10 AIR CHANGES PER HOUR REPORT IS PROVIDED. NA JOHA PREFEIS	BASY CARE ROOM LINEN STORE, ACCESS FEMALE LAVATORY ON LEVEL 5 AND 5	BLE LAVATORY MALE	LAVATORY ATO			*		_4
+		(a) PROVISION OF ADDITIONAL DRAMAGE CHANGELS EACH WITH AT LEAST 2 NOS OF ORANAGE	1 LEVEL 4 MAIN ENTRANCE			×			- 1	100
		OUTLETS, AND	2 LEVEL 5 MATH ENTRANCES			4	- 6	100		
	(b) FROVISION OF A FALL NOT LESS THAN 1 SO ON THE FLAT ROOF OR EXTERNAL GROUND	3 LEVEL 5 NEAR LIFT LOT				1	1	A)		
.1	MODIFICATION OF BUILDING ICONSTRUCTION; REGULATIONS 35 and 49(1) FOR	TON OF BUILDING (CONSTRUCTION) REGULATIONS 35 and 49(1) FOR FLOOR NEXT ADOVE EXTERNAL GROUND FLOOR . (c) PHAP APP 125 REFERS	4 LEVEL 6 ALONG THE INTERSECTION BETWEEN THE FLAT ROOF AND THE INNER		F AND THE WINER	1	1			
	FLOOR NEXT ABOVE EXTERNAL GROUND FLOOR		5 ROOF LEVEL ENTRANCE OF THE LIFT LOGBY 6 LEVEL 6 ENT A SHOP 632 TOWARDS FLAT ROOF			#		2	X	
						X	X	X		
1		(b) PROVISION OF A XISMM (H) KERB WITH WATER PROOFING CONSTRUCTION (b) PRAP APP 125 PEFERS	7 LEVEL 3 EXIT OF GENSET RM			×	×	×	×	-
	MODERATION OF BUILDING (ADMINISTRATION REQUIATION SHIFTOR EXEMPTION OF DISTANCE PRIOR APPROVAL AND CONSENT FOR AMENDMENTS TO BUILDING DRAHAGE WORKS	(a) THE AMENDMENT 6 SHALL COME, I WHIT THE CRITERY 957 OUT IN PARK ADM. IN. IDITED AMENDMENT'S SHOULD BE PROPERLY DOCUMENTED AND DEPOSITED IN THE SITE OFFICE (C) APPROVAL AND CONSENT FOR THE AMENDMENT SHOULD BE CRITARIED PRIOR TO CERTIFYING COMPLETION OF YICKIS.	ALL LOCATIONS UNDER APPROVED BUILD		AN	×	×	Х	3	
		(II) CLADOING WITH OVERALL THICKNESS OF NOT MORE THAN TOMM TO NON-STRUCTURAL	I EXTERNAL FAÇADE OF SHOP 603 AT LE			X	X	- X	X	-
1	MODIFICATION OF BUILDING (PLANKING) REGULATION 2:0) FOR EXEMPTION OF GROSS FLOOR AREA AND SITE COVERAGE FOR PROJECTION	PREFAURICATED EXTERNAL WALL D) FNAP APP 2 PEFERS	3 EXTERNAL FACADE ON LEVEL 6 AT GRI	0 8-17-18	74.	X	X	X	X	
5	MODIFICATION OF BUILDING (PLANNING) REGULATIONS 20 & 21 FOR EXCLUSION OF PROJECTIONS FROM SITE COVERAGE & PLOT RATIO CALCULATIONS	(a) ARCHITECTURAL FEATURES PROJECT NOT MORE THAN SOUM OR AT A HEIGHT OF LESS THAN 2 SW ABOVE THE LEVEL OF THE GROUND ON PHAP APPLIED FEFER A.	ALL ARCHITECTURAL FEATURES AT LEVE	687		_X_	<u>.x</u> _	X	<u>×</u> _	



	LOCATION PLAN - SCALE 1:10		
LOUR	INDICATION & ABBREVIATIONS	LEGEN	D / ABBREVIATION
	CONCRETE SLAB	111-1	DIRECTION OF ARROW ON ALL STAIRCASES TO SHOW UP EXCEPT OTHERWISE SPECIFIED
	CONCRETE WORKS	dy	PROPOSED FINISHED LEVEL
	BLOCK WORKS	d-	EXISTING: PROPOSED STRUCTURE LEVEL
	LIGHT WEIGHT PARTITION	(A)	FIREMAN'S LIFT
	PLASTER OR CEMENT RENDERING	FH.	DISABLE LIFT FIRE HYDRANT
	IMPERMEABLE I NON - ABSORBENT FLOOR OF WALL	HR	HOSE REEL
	GLASS WORKS	EXIT	EXIT SIGN EXIT SIGN
	TIMBER WORKS	9.0	SAND BUCKET
	Africana Transport	3	+ 5kg CO _s FIRE EXTINGUISHER
	STEEL WORKS	12	WATER CLOSET
	SANITARY FITTING	ć:	URINAL
		(7)	BASIN
	A&A SUBMISSION AREA	MVAL	MECHANICAL VENTILATION & ARTIFICIAL LIGHTING
	UNDERLINE FOR REVISION	E D	ELEC DUCT
		W M G	NATER METER CABINET
	DEMOLITION WORKS/ OMITTED WORKS	CL	(AT LADDER WI RING GUARD
	DEMOLITION OF SLAB	PD	PIPE DUCT
777		FWCL	TIXED WIRED GLASS LOUVRE
	EXISTING PART OF BUILDING (NON SUBMISSION AREA)	M L	NETAL LOUVRE
OR MAF	RK	FI	/120/120 F.R.R. FIXED CLEAR GLASS WINDOW WITH INSULATIO
1 -		HW	HIGH WINDOW
1 -30	CO F P. R. SELF CLOSING DOOR W. SMOKE SEAL	AP	SELF-CLOSING ACCESS PANEL W/F R R -/120/120
12)	COSE R R. SELF CLOSING DOOR WE UPFER CLASS PANEL & SMOKE SEAL		IRE SHUTTER
		0 7 2	TEMPORARY REFUGE SPACE
, 46	ISO FRIR SELF CLOSING EOOR W. EAKKE SEAL		TURFACE CHANNEL
6 60	MOT BE SELF CLOSING DOOR W. LEPER GLASS PANEL & SHIPPE SEAL		MITHIN 30m FROM HOSE REEL
co	20129 F.R.R. STLF. CLOSING DOOR W. SMOKE SEAL		TILE FRESMES
na.			

THE WORKS SHOWN ON THESE PLANS ARE TYPE II WORKS IN RESPECT OF WHICH CONSENT IS APPLIED FOR THE PURPOSE OF FAST TRACK CONSENT APPLICATION UNDER REGULATION 33 OF THE BUILDING (ADMINISTRATION) REGULATIONS.

FIRE SERVICES REQUIRE-MENTS INCORPORATED

DATE 1 5 0CT 2018 (CHAN Wai-shun)

ICU REF: HD(ICU)E3 / 031(H)AA(13)-D1

F.S.D RE	F: FP 8 / 13570 <140)>
REVISIONS		
40	DESCRIPTION	DATE
	PC 22MBU2.EE	3/11/2316
A	2HD SUBMISSION	11/1/2017
8	380 SUBMISSION	29/3/2017
C .	1ST AMENDMENT	4/9/2017
D	2ND AMENDMENT	08/01/2018
E	THEMOMENA CHE	04/05/2018
1.	ATHE A RESTRICTABLE AND	01/08/3018

PHK16117 G8P - Q1 1 AUG 2018 NIS PROPERTY EWM YOA YOA YOA

AUTHORISED FERSONS SIGNATURE WONG THING ISANG

JOHN HY YIP SURVEYORS LTD.

ACE AMPLE HONG KONG LIMITED

ADDITIONS & ALTERATIONS WORKS TO

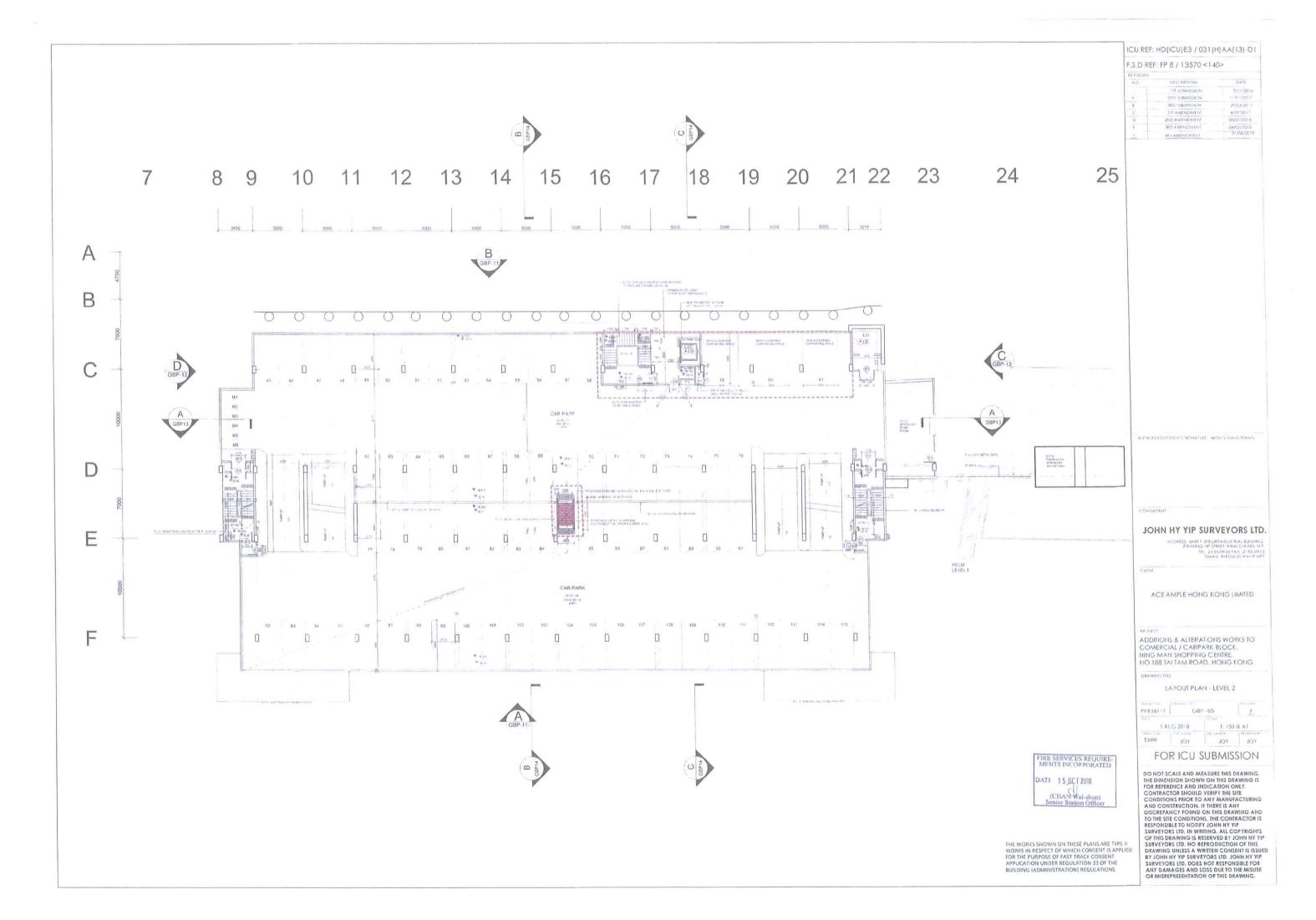
COMMERCIAL / CAR PARK BLOCK

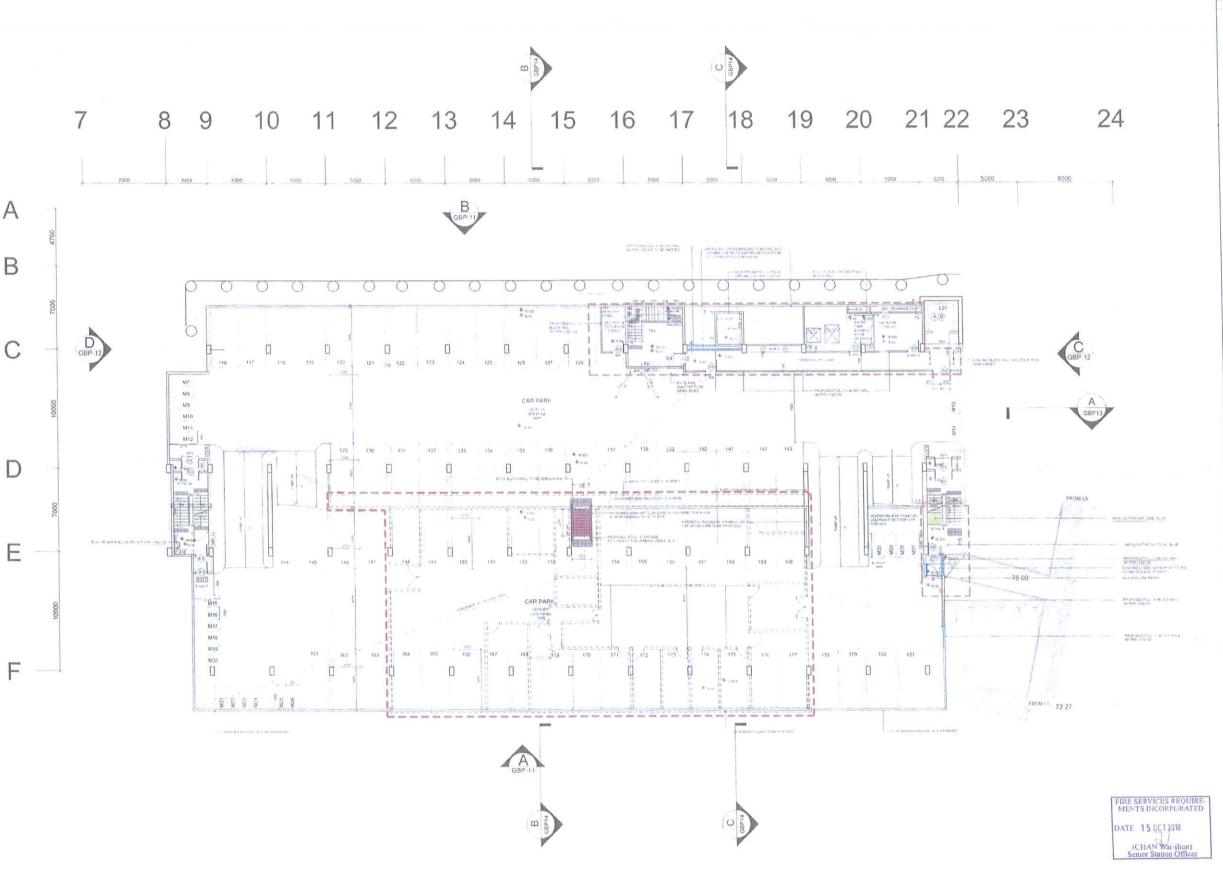
NOTES, LEGENDS, LOCATION PLAN. AND DEVELOPMENT SCHEDULE

HING MAN SHOPPING CENTRE NO 188 TAI TAM ROAD, HONG KONG

FOR ICU SUBMISSION

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F.S.D REF: FP 8 / 13570 <140>

EVG ONS		
NO.	DESCRIPTION	DATE
	1ST SUBMICSION:	32-172016
A	2ND SUBMISSION	11/01/2017
8	3PD SUBMISSION	2970372017
0	IST AMENDMENT	4/09/2017
D	2ND AMINDMENT	08/01/2018
1	30 AVENOMENT	04/05/2018
+	40H AMENDATENT	01/08/2018

AUTHORITO PERSONS SIGNATURE WONG DENG TRAN

CONNETAN

JOHN HY YIP SURVEYORS LTD.

ADDRESS UNIT F (FROST HOUSTRIAL BUILDING 2 BRUNG YPSTBEET KWAYCHUNG HIT TEL 2135 07 33 FAX 2135 0723 EMAIL PRESENCIONARDEEL

10-41

ACE AMPLE HONG KONG LIMITED

ADDITIONS & ALTERATIONS WORKS TO COMERCIAL / CARPARK BLOCK, HING MAN SHOPPING CENTRE, NO.188 TAITAM ROAD, HONG KONG.

LAYOUT PLAN - LEVEL T

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FOR ICU SUBMISSION

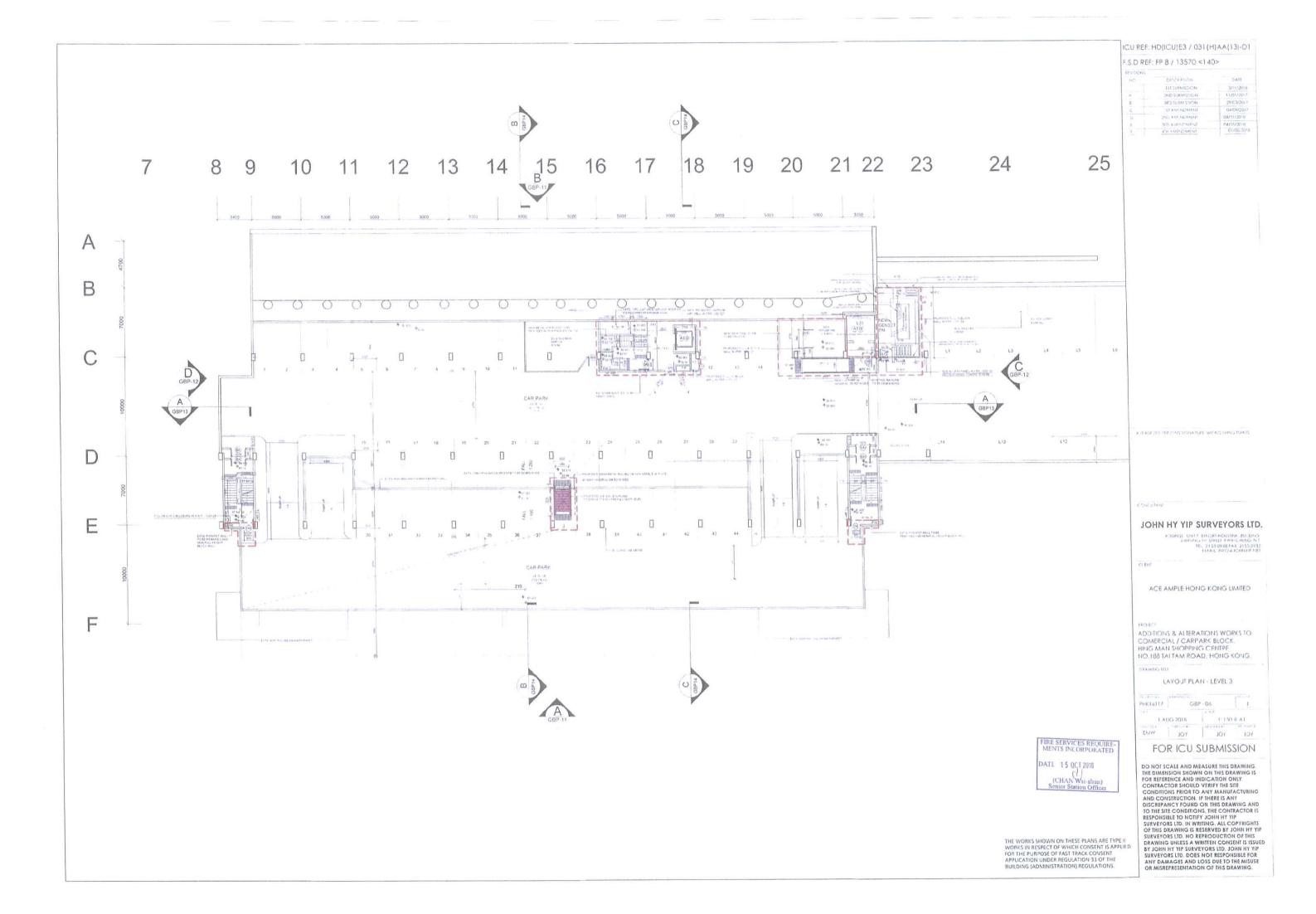
DATE 15 OCT 2018

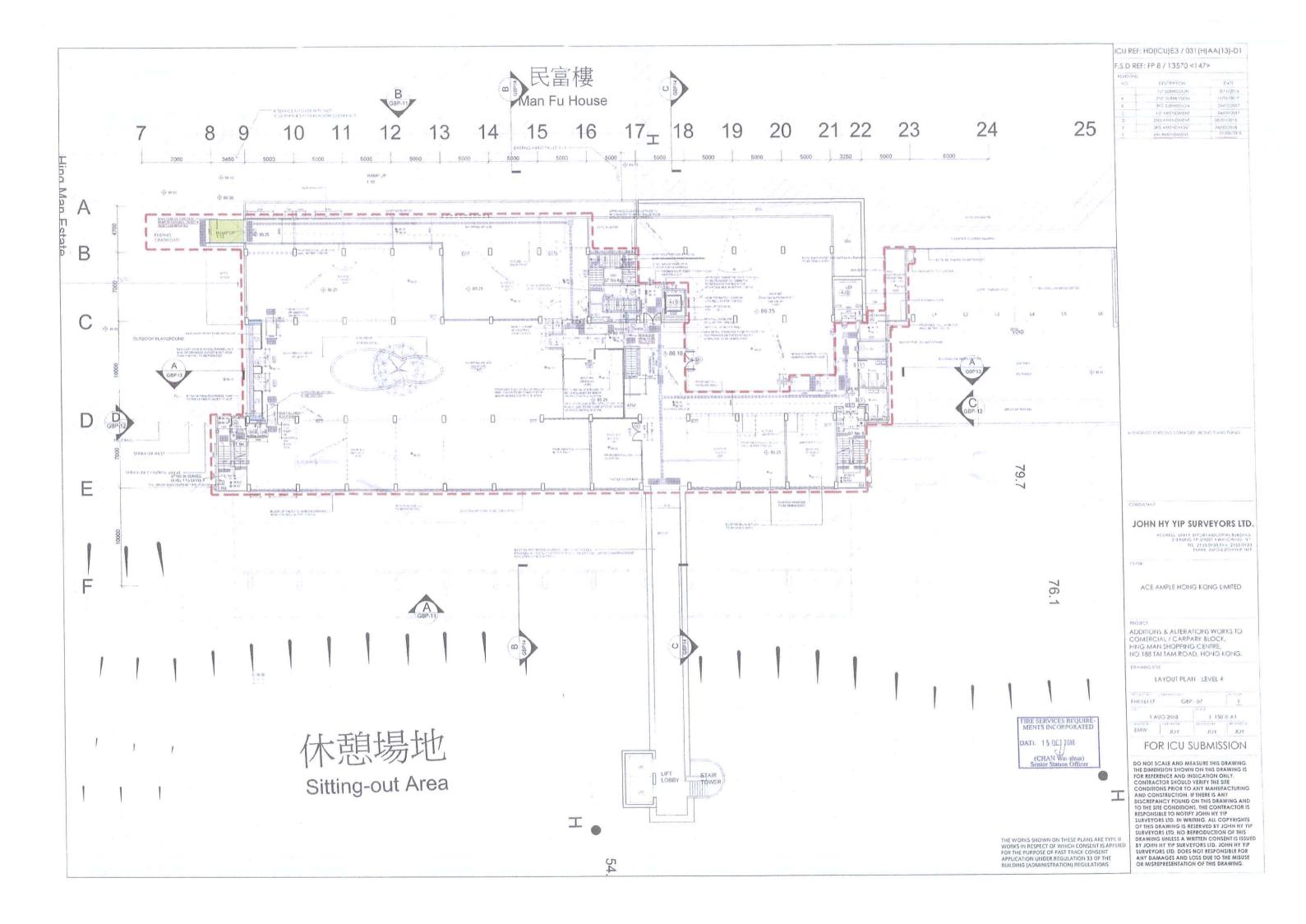
(CHAN Wai-shun)
Senior Station Officer

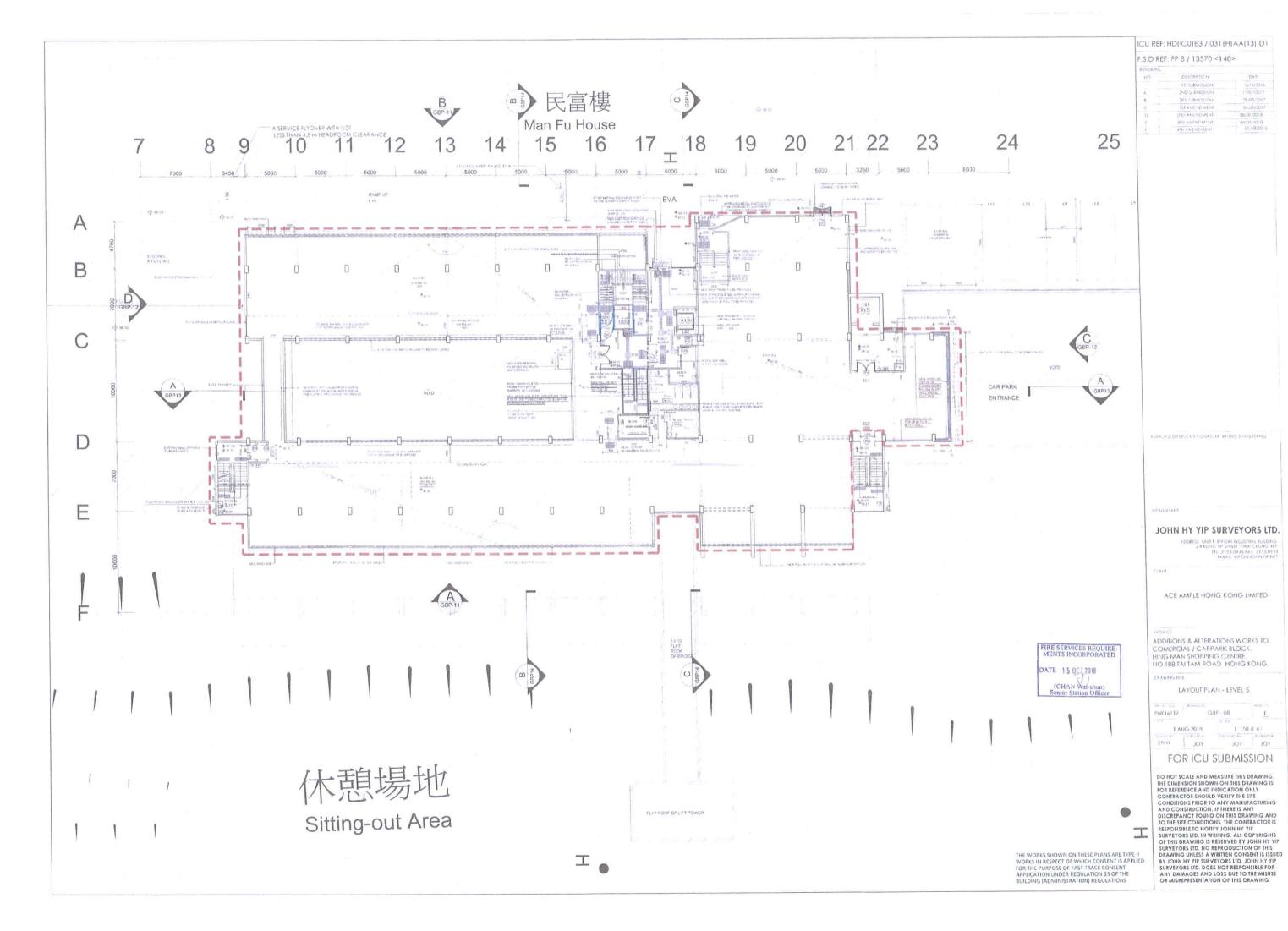
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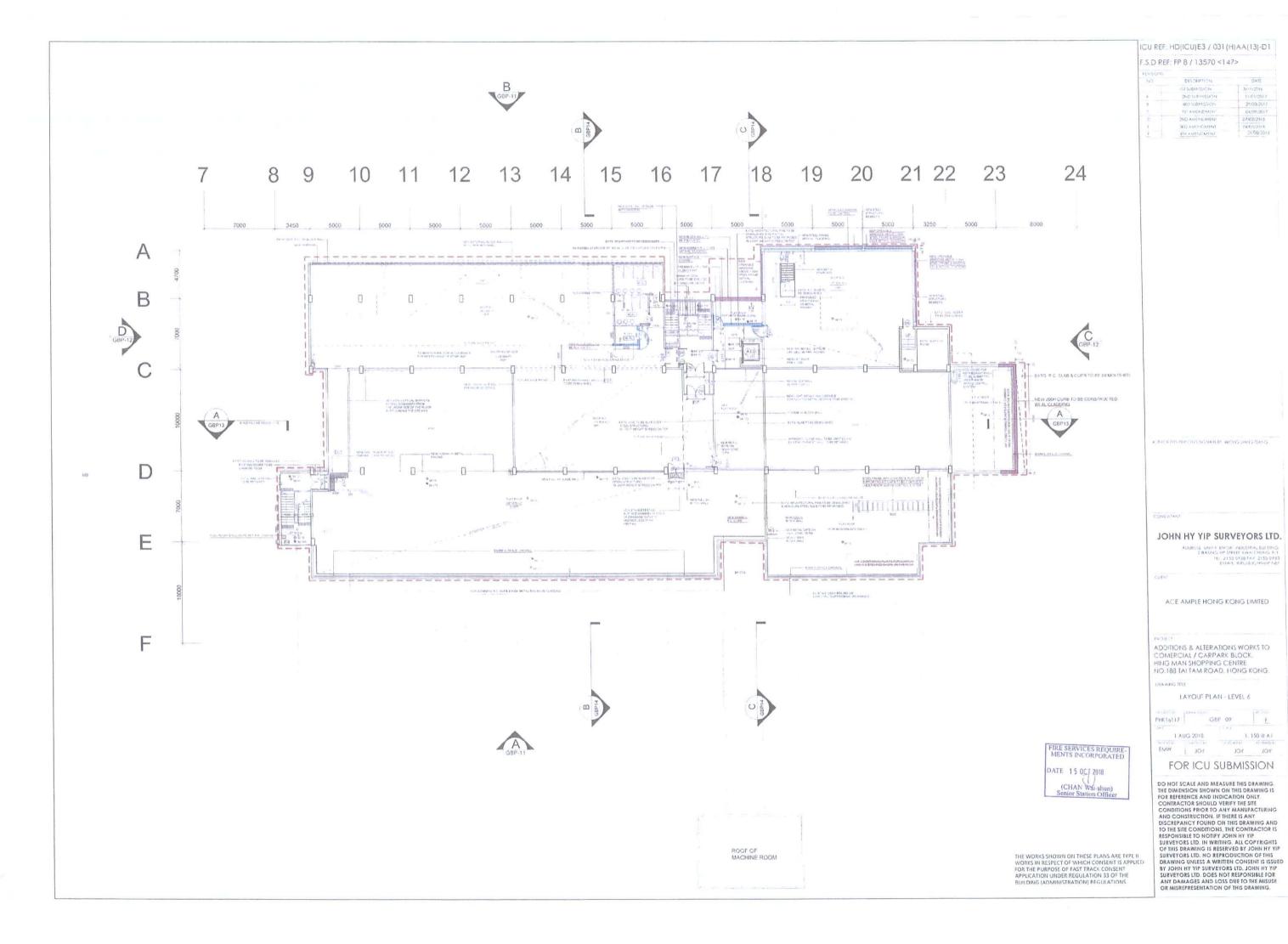
WEST THE WORKS (ADMINISTRATION) REGULATIONS

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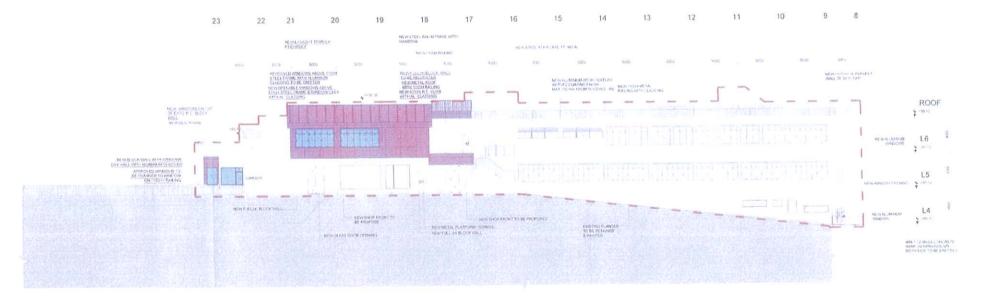






NEW PLACE NEW YORKS IN NET NEW YORK AND CHOCKS OF FALLS DECTWOODS FOR REMARCO DETERMINED BY DE PROPERTY OF THE CHAPTED Novinger mecu: ROOF HEWZERMAN RC CAR AND TWO OF WETTE ENANCHINE LADON HODALLENIM SETTE CONTRACTOR NEW SHOP ALK STING ALTHOUGH ROOMS ACTIONAL MINISTERS ON LINE OF LEGISLATION AND A AMOUNT WAS JUST CHARGES TO AND CONTROL OF THOSE SHAP WAS 1.5 3 ***** TOWNS TO THE SHARE L4 5 -00 12 1-41 to 1.2 3.0707 L1 L0 A EAST ELEVATION

GBP--1 SCALE: 1:200



B WEST ELEVATION SCALE: 1:200

SCALE: 1:200

ICU REF: HD(ICU)E3 / 031(H)AA(13)-D1

F.S.D REF: FP 8 / 13570 <140>

10.00		
PEVENTERS		
NO	DESCRIPTION	DATE
	(51.508045545.4)	3/11/2016
A.	240 SUPMISSION	11,701,1207
3	SED SUBMISSION	29/03/2017
	THE AMENDMENT	04/09/3017
17	240 AMENDMENT	06/02/2018
(6)	3FG AMENDMENT	04/05/2013
	THE MAINTHEAMENT	(3) 708720 (8)

ALTHORISE PERSONS SIGNATURE, WICH STRING ISANG

JOHN HY YIP SURVEYORS LTD.

ACHRESS JIBLE BUT THICKE # DOSTRIAL BURDANG FRIENDS THE STREET BURNCHURS HE TEL 2105 UV33 FAX 7155 0V33 EMAR INFO@FOTHSPERE

ACE AMPLE HONG KONG LIMITED

ALTERATION & ADDITIONAL WORKS TO COMMERCIAL / CARPARK BLOCK, HING MAN SHOPPING CENTRE NO. 188 TAITAM ROAD, HONG KONG

EASTERN & WESTERN ELEVATIONS

01 AUG 2018 1 . 200 B A1 YCL JOY EWM. TOJ.

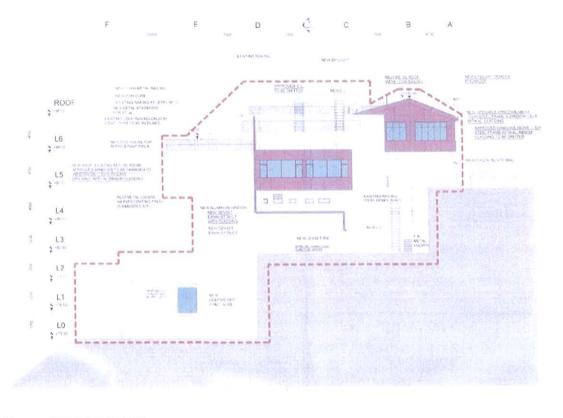
FOR ICU SUBMISSION

DATE 15 QCT 2018

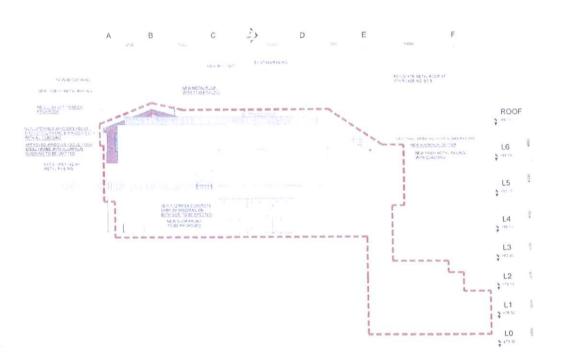
(CHAN Wai-shun)
Senior Station Officer

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C NORTH ELEVATION SCALE: 1:200



D SOUTH ELEVATION SCALE: 1:200

ICU REF: HD(ICU)E3 / 031(H)AA(13)-D1

F.S.D REF: FP 8 / 13570 <140>

REVOICES		
94C	DESCRIPTION	CATE
	15T SUBMISSION	3/11/201
0.0	SHE 208W823/CH	11/01/20
	38 D SUBMISSION	29/03/20
	TST AMERICAMENT	04/09/20
D	240 AMENDMENT	06/02/23
	WO AMENDMENT	04/05/23
4	ATH AMENDMENT	31708730

AUTHORIZED PERSONS SIGNATURE, WICHIGS-PING ISANG

CONSU

JOHN HY YIP SURVEYORS LTD.

ADDRESS UNTF AIR FEFORE NO. SPRING ROLLONG 9 KUNG YIP STREET KWALCHANG 9 1 TEL 2755 093 FAX 2155 093 FAX 2150 QU'UN LE NOR 1

CUENT

ACE AMPLE HONG KONG LIMITED

PROBE

ALTERATION & ADDITIONAL WORKS TO COMMERCIAL / CARPARK BLOCK, HING MAN SHOPPING CENTRE, NO. 188 TALTAM ROAD, HONG KONG

DRAWING TO

FIRE SERVICES REQUIRE-MENTS INCORPORATED

DATE 15 001 2018

(CHAN Wai-shurn Senior Station Office

THE WORKS SHOWN ON THESE PLANS ARE TYPE II WORKS IN RESPECT OF WHICH CONSENT IS APPLIED FOR THE PURPOSE OF FAST TRACK CONSENT APPLICATION UNDER REGULATION 33 OF THE BUILDING (ADMINISTRATION) REGULATIONS

NORTHERN & SOUTHERN ELEVATIONS

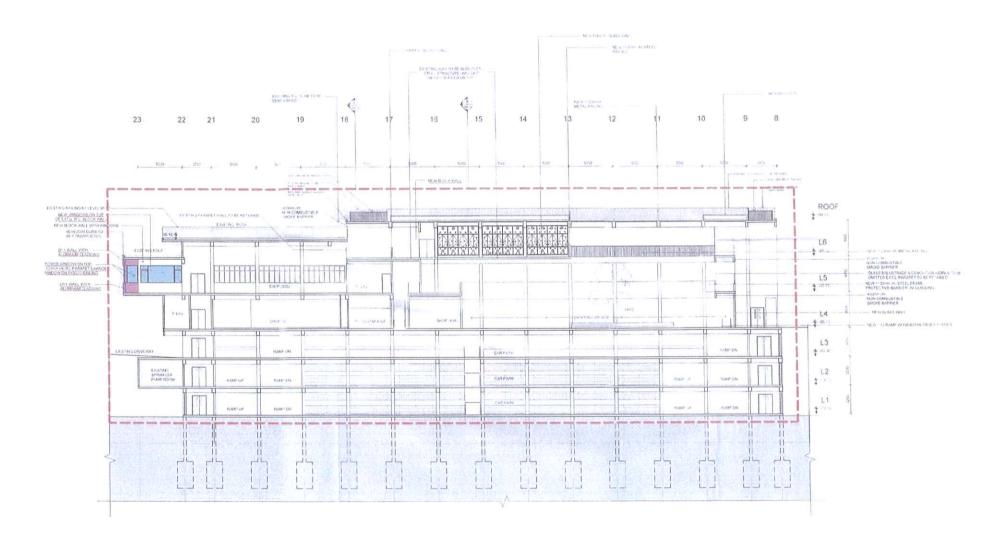


FOR ICU SUBMISSION

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KEY FLAN



A SECTION A-A SCALE: 1:250

FIRE SERVICES REQUIRE-MENTS INCORPORATED

DATE 15 OCT 2018

(CHAN Wai-shun)
Senior Station Officer

THE WORKS SHOWN ON THESE PLANS ARE TYPE II WORKS IN RESPECT OF WHICH CONSENT IS APPLIED FOR THE PURPOSE OF FAST TRACK CONSENT APPLICATION UNDER RESOLUTION 33 OF THE BUILDING (ADMINISTRATION) REGULATIONS.

ICU REF: HD(ICU)E3 / 031 (H)AA(13)-D1

F.S D REF: FP 8 / 13570 <147>

SONS		
0	DESCRIPTION	DATE
	15T SUBWISSADEV	3/11/2016
	2ND SUBVISSION	11/01/2017
	SKD SUEWSSICH	29/03/2017
	THE BUILDING PLANT	04/07/2017
	2ND AMENDMENT	0670272018
	DEPARTMENT OF	04/05/2018
	4"HAVENDMENT	0.108/2018

A THORUTO PERSONS SIGNATURE. WONG SHING TRAVIO

JOHN HY YIP SURVEYORS LTD.

ACCRESS UNITE FEMORE REPORT BURLENGS HT THE 2155 CREAT AND ALCOHOLD BE FRANK HIFOST CHART PART

ACE AMPLE HONG KONG LIMITED

ADDITIONS & ALTERATIONS WORKS TO COMMERCIAL / CAR PARK BLOCK. HING MAN SHOPPING CENTRE. NO. 188 TAI TAM ROAD, HONG KONG.

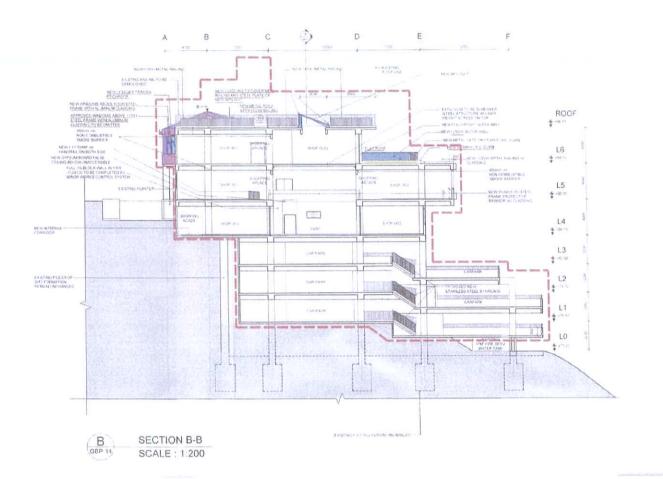
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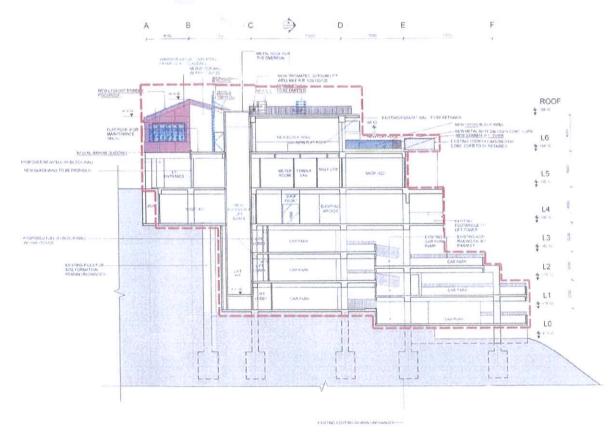
SECTION A-A

PHK 16117	,	GBP 13	F
24.0		5 6.8	
01 At	JG 2018	thotes	1.200 8 A
EMW	104		YOU YOU

FOR ICU SUBMISSION

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C SECTION C-C SCALE: 1:200



KEY PLAN

ICU REF: HD(ICU)E3 / 031 (H) AA(13)-D1

F.S.D REF: FP 8 / 13570 <140>

DESCRIPTION	DATE
IST SUBMISSION	3/11/2016
250 SUBMISSION	11/01/2017
HORZAMBUE CRE	29/03/2017
151 AMERICANERS	04/09/2017
2NO AMENDMENT	08/01/2018
3FD AMPADMENT	0470572018
EMBANGESMA 11's	01/08/2014
	HOSEOWAY DAE HOSEOWAY DAE HOSEOWAY DAE HOSEOWAY DAE HOSEOWAY DAE

AUTHORITO PERSONS MIGNAR

CONSULTAN

JOHN HY YIP SURVEYORS LTD.

ADDRESS WILL E BLORT HEUTERAL BULDING 2 BRUNG YPSTREET KWAI CHUNG N.T TEL 2155 0738 FAX 2155 0733 EMAUL INFO BJOHNIEP NET

CLIEFIT

ACE AMPLE HONG KONG LIMITED

ADDITIONS & ALTERATIONS WORKS TO

COMMERCIAL / CAR PARK BLOCK. HING MAN SHOPPING CENTRE NO.188 TAI TAM ROAD, HONG KONG

FAWNG THE

SECTION B-B & C-C

PHICHOIL | CONTROL | CONTR

FOR ICU SUBMISSION

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DATE 15 GGI 2018 (CHAN Wai-shun) Senior Station Officer

THE WORKS SHOWN ON THESE PLANS ARE TYPE II WORKS IN RESPECT OF WHICH CONSENT IS APPLIED FOR THE PURPOSE OF FAST TRACK CONSENT APPLICATION UNDER REGULATION 3 OF THE BUILDING (ADMINISTRATION) REGULATIONS.

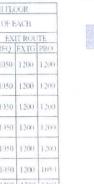
STOREY	ALCULATION OF F	UFA(m2)		CAPA	
LEVEL 1B	CARPARK	1020,708	30	35	
LEVEL 1A	CARPARK	876.510	30	30	
LEVEL 2B	CARPARK	1014.742	30	34	1
LEVEL 2A	CARPARK	983,165	30	33	3
LEVEL 38	CARPARK	715.682	30	24	1
LEVEL 3A	CARPARK	907.322	30	3	1
	SHOP401	154,682	3	52	
	SHCP402	242.295	3	81	
	SHOP403	93.805	3	32	
	SHOP 404	38,623	3	13	
	SHOP405	74,625	3	25	
LEVEL 4	SHOP 406	37.628	3	13	559
	SUPERMARKET	289.426	2	145	
	SHOFFING ARCADE	552.070	3	185	
	9HOP 408	36.015	3	13	
	SHOP:501	274,684	3	92	
LEVEL 5	SHOPPING ARCADE	226.659	3	76	_469
	SHOP 502	902 892	3	301	
	SHOP601	240.304	3	81	
	SHOP 602	171.824	3	58	
LEVEL 6	SHOPFING ARCADE	128.568	3	43	339
	FLATROOF	467,876	4.5	104	
	SHOP 603	157,484	3	53.	

	(REF	ER TO SCH	DISCHARGE VALUEDULE OF CALCUL				FOR	THE MOE)	
			STAIR NO.	ST.3a	ST.3b	ST.4a	ST.5	ST.6 (FOR SHOP 603 ONLY)	DIRECT DISCHARGE
FLOORS	Total No of Person	Total No of Exit Serving the Floor	Width of Staircase (mm)	1050	1200	1300	1200	1200	
LEVEL 6	110	3		154.		155	-	3()	*
LEVEL 5	169	5		93			93	-	283 (3 EXITS
LEVEL 4	559	3		-	195		190		369 (2EXITS)
LEVEL 3A	33	2	1 1 1 1 1 1 1 1 1 1		16	12	13	-	2
LEVEL 3B	21	2		-	12	35	12		*
LEVEL 2A	33	2		-	17		16		
LEVEL 2B	34	2		7.0	17		17		
LEVEL	30	2			15	745	15		
LEVEL.	35	2			18		-	- 4	(7
NOS OF	STOREYSS	ERVED	***************************************	2	3	1	5	1	
PERMITT TABLE B		PERSONS	ACCURDING TO	452	586	480	632	480	
DISCOUN	T FACTOR				1	1	1	1	
PERMITT	ED NO. OF	PERSONS		152	556	480	632	480	
ACTUAL	TOTAL NO	OF PERSO	ONS	247	95	155	358	30	1

					- AC	111.17	TE FO	N PEDO	and a	1071 1	1 50 1	.1.1.1.6.1	111.5	11-11-3		TIARY	FITTING	E .				
LO	CATION	UFA (m2)	FACTOR		CAPAC	TTY			Wi			BASEN		1	RINA			SSIBLE T	OILET	ACCE	SSIBLE B	ASIN
								REO.	EXTO	PRO.	REQ	EXTG	PRO	REQ.	EXTG	PRO.	REO.	EXTG.	PRO.	REO	EXTG.	PRO
LEVEL 1	OFFICE					M		-	9.	0		1	(1)		7	t)				-		
tie Child	SHIRE				*	I			1	0	-2	1	0		-	()		-		-	100	
	SHOP 401	151.682		52																		
	SHOP 402	242.295																				
	SHOP 403	93.805	, 1	81 32 13																		
	SHOP 404	38.623	, ,	13											İ							
LEVEL 4	SHOP 405	74.625		25		M	505		11	6	-5	10	7	1	48	1 50						
LINELL S.	SHOP 406	37.628		13		M	202		U.	- (1)	3	1107		,	11	-4						
	SUPERMARKET	289.426	2	145																		
	SHOPPING ARCADE	552.070		185																		
	SHOP 408	36.015		13	1263	-					1						1	3	- 3	3	3	- 3
	SHOP 501	274.684		92	-																	
LEVEL 5	SHOPPING ARCADE	226.559		76																		
	SHOP 502	902.892	,	301		1																1
	SHOP 601	240,304		81	1	F	758	11	1.2	1.1	0	- 9	10	-		- 5		1				1
	SHOP 602	171.824		58	1		-														1	
LEVEL 6	SHOPPING ARCADE	128,568		43																		
	SHOP 603	157,484		53	1													1				

		E PROPOSED AND EXISTING ACCESSIBI		No			
			L01 (EXISTING LIFT)				
		Usage	Fireman's / Accessible	L02 (NEW LIFT) New Passenger / Fireman / Accessible (Fron			
	1	osage	(Front Opening)				
	2	Servicing Floors	Level 1 to Level 5	Opening) Level 2 to Level 6			
	-	Fireman's Lift Floor	Level 1 to Level 5	Level 2 to Level 6			
	a)	(Stop at every floor)	Level 1 to Level 5	Level 2 to Level 6			
		Accessible Lift Floor	Level 1 to Level 5	Level 2 to Level 6			
	b)	(Stop at every floor)	Level 1 to Level 5	Level 2 to Level 6			
	4	Control System	AC-VVVF	AC-VVVF			
	5	Operating System	Single car control	Single car control			
	6	Attendant Service	Provided	Required			
	7	Accessible Facilities	Provided	Required			
		Supervisory &		reguled			
	8	Monitoring system	Provided	Required			
	9	Fireman switch	Provided	Required			
	10	Capcity (Kg) / (Persons)	2.000kg	1.000kg / 13 persons			
	11	Max. Decoration Load (Kg)	400	400			
	12	Speed (mps)	min. 1.0	10			
	13	Stop	5	6			
	14	Trayel /m	Approx 13.6m*	Approx 18 4m			
	16	Main Floor	L5 or as per architect layout	L5 or as per architect layout			
	17	Door Size (WxH)/mm	1400W x 2100L	1100W x 2100L			
	18	Door Type	4 Panels centre Opening	2 Panels centre Opening			
	19	Bare Cage Height (H) /mm	2600mm(H)(false ceiling ~2300)	2600mm(H)(false ceiling ~2300)			
		A State of the Sta		account of the second			
Construction	1	Machine Location	at the top and inside the hoistway	at the top and inside the hoistway (MRL)			
Dimension	2	Counterweight Safety	As existing	Required			
	3	Lift Shaft Size (WxD) /mm	2300W x 2900L	2000W x 2600L (Max)			
	4	Lift Car Size (WxD)/mm	1750W x 2400L	1400W x 1600L			
	5	Pit Depth /mm		3300 or as per Architect Layout			
	6 Overhead /mm		(Exig Approved.)	4500 or as per Architect layout			
	7	FRP Rating of Lift Door /HR		120min. integrity only			
Others	1	Ventiation	Fanonly	A/C provided			

S	CAPACITY	MIN.	SO, O	FEXIT	BER &		TOL/			EXIT	ROU1		WIDT WIDT					
FLOOR	OFEACH	-	EXT	OR EXIT		YT		IT DO)R	EX	IT ROU	TE	E)	IT DO	OR	EX	IT ROL	TE
	(PERSONS)	REQ	G	PRO.	REQ	EXTG	PRO	REQ	EXTG	PRO.	REQ	EXTG	PRO.	REQ	EXTG	PRO		
LEVEL 1B	15	2	1	2	1750	2275	1800	2100	2400	2400	850	870	900	1050	1200	1200		
LEVEL IA	30	1	1	2		2750	2750		2400	2400	750	1375	900	1050	1200	1200		
LEVEL 2B	34	1	2	2	1750	180K)	1800	2100	2400	24(4)	850	870	900	1050	1200	1200		
LEVEL 2A	.43	1	3	2	1750	2750	2750	2100	2400	2400	850	1375	900	1-150	1200	1.209		
LEVEL 3B	.24	ţ	2	2		1800	1800	18	2400	2400	750	870	900	1950	1200	120		
LEVEL.	31	2	3	2	1.150	2750	2750	21(%)	2400	2400	850	1375	900	1050	1200	105		
LEVEL 4	562	3	3	3	4500	7120	5515	4500	7120	5340	1200	1780	1375	1200	1780	1200		
LEVEL 5	470	2	3	5	3000	4795	8080	3000	4200	7730	1050	1370	1375	1050	1200	1200		
LEVEL 6	342	2	2	3	3000	2960	3975	3000	2400	3700	1050	1380	1200	1050	1200	11200		





F.S.D REF: FP 8 / 13570 < 140>

REVITIONS		
NO	DESCRIPTIONS	DATE
	1ST SUBMISSION	3/11/2016
.A.	2HD \$18M(\$5K0H)	11/1/2017
8	3FD SUBMISSION	29703/2017
C	TST AMERICMENT	450972017
D.	2ND AMENDMENT	08/01/2018
1	3FD AMENDMENT	04/35/2018
1	ALL AMERICACINE	01/06/2016

ICU REF: HD(ICU)E3 / 031(H)AA(13)-D1

FIRE SERVICES REQUIRE-MENTS INCORPORATED DATE 15 057 2018 (CHAN Wai-shun) Senior Station Office

TBE ROOM CALCULATION

TBE AREA REQUIRED

TOTAL U.E.A = <u>9607.589 m2</u> PROVIDED T3E AREA = <u>12.756 m2</u> (AT LEVEL, II. BASED ON ACTUAL EQUIPMENT LAYOUT

REFUSE STORAGE AND MATERIAL RECOVERY CHAMBER CALCULATION

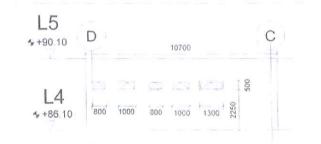
TOTAL NON-DO	MESTIC USABLE	FLOOR	SPACE:
LEVEL 1			1897.218 m2
LEVEL 2	=		1997.807 m2
LEVEL 3	=		1623:004 m2
LEVEL 4	199		1519.169 m2
LEVEL 5	0.00		1404.235 m2
LEVEL 5	=		1166.056 m2
	TOTAL	Ξ	9607.559 m2

REFUSE STORAGE AND MATERIAL RECOVERY CHAMBER REQUIRED. 9607.5897925 ± 10.387 m2

EXISTING REFUSE STORAGE AND MATERIAL RECOVERY CHAMBUR. FLOOR AREA = 14.231 m2 caT LEVEL, 5)

REFUSE STORAGE AND MATERIAL RECOVERY CHAMBER PROVIDED: FLOOR AREA = 15 4 m2 (AT LEVEL 3)

WINDOW A	REA CALCULATI	08		
LOCATION	USE	AREA OF THE FLOOR OF THE ROOM (m2)	OPENING GLASS AREA OF WINDOW REQUIRED (m2)	OPENING GLASS AREA OF WINDOW PROVIDED (m2)
L4	ACCESSIBLE LAVATORY	3,410	0.3419	0,650
1.4	FEMALE LAVATORY	7/217	0.7217	0.900
1.3	MALE LAVATORY	7 448	0.7448	0.900



ELEVATION OF L4 TOILET

						CARI	ARK SCHEDULE		CARPARK SPAC			
TYPE CF			CA	RPARK SPACE				1		TOTAL NO. OF		
PARKING				COVERED.)								CARPARK SPACE
SPACE		EXTG (UNIT)	NO	PRO (UNIT)	DIMENSION			EXTG (UNIT)	NO.	PRO. (UNIT)	DIMENSION	
	LOCATION.						LOCATION					
											2325mm x	
	L3a	27	1-29	29			L2B	24	92-115	24	5000mm	
and the second second	1.38	16	30-44	15			1.3B	-			2500mm x	
IVATE CAR	L2A		45-58, 62-76	29	2325mm s		1.07.13	1	210	1	7100mm	
	L2B	16	77-91	15	5000mm						7 7 3 - 11 11 11	
	LIA	18	116-143	28								182
	LIB	2:	144-181	38		2000mm						
	TOTAL.	157		151			TOTAL.	25		25		
		EXTG (UNIT)	NO.	PRO. (ENIT)							1	
CCESSIBLE	LOCATION:	EATH COUNTY		1200.1019417								
ARPARK	1.2		59-61	1	3500mm s							
	TOTAL		- 7-01	3	5000mm							
	1.000			1	2400000000			EXIG. (UNIT)	SO.	PRO. (UNIT		
							LOCATION					
							ENTRANCE OF		20200		3400mm	
							CARPARK AT L3	- 6	1.14.5		x?120mm	
									GOV			
LORRY								3	CARPARKING			14
									SPACE			
							ENTRANCE OF		1.7-1.11		3400mm	
							CARPARK AT LS		Locality		x8000mm	
							TOTAL.	14		1		
		EXTG. (UNIT)	NO	PRO (UNIT)								
	LOCATION			0								
	1.3A	6		0								
MOTOR -	L2A	6	M1-6	6	983mm X							
CYCLE	1.2B	12		- 0	2125mm							30
	LIA	6	M7-14	8								
	1.1B		M15-30	16	1000mm X 2000mm	2400mm						
	TOTAL	30		30								
	SUE	TOTAL		187			SUB TO	IAI.	2	39		GRAND TOTAL = 2

THE WORKS SHOWN ON THESE PLANS ARE TYPE II WORKS IN RESPECT OF WHICH CONSENT IS APPLIED FOR THE PURPOSE OF FAST TRACK CONSENT APPLICATION UNDER REGULATION 30 OF THE BUILDING (ADMINISTRATION) REGULATIONS.

JOHN HY YIP SURVEYORS LTD.

ADDRESS LINET BY EFFORT INDUSTRIAL BUILDING 2 OF UPLO FOR STREET KWA CHUNG, NT TEL 2155 DWG TAX 2155 DWG TAX 2155 DWG TAX 2155 DWG TAX 2150 DWG TAX

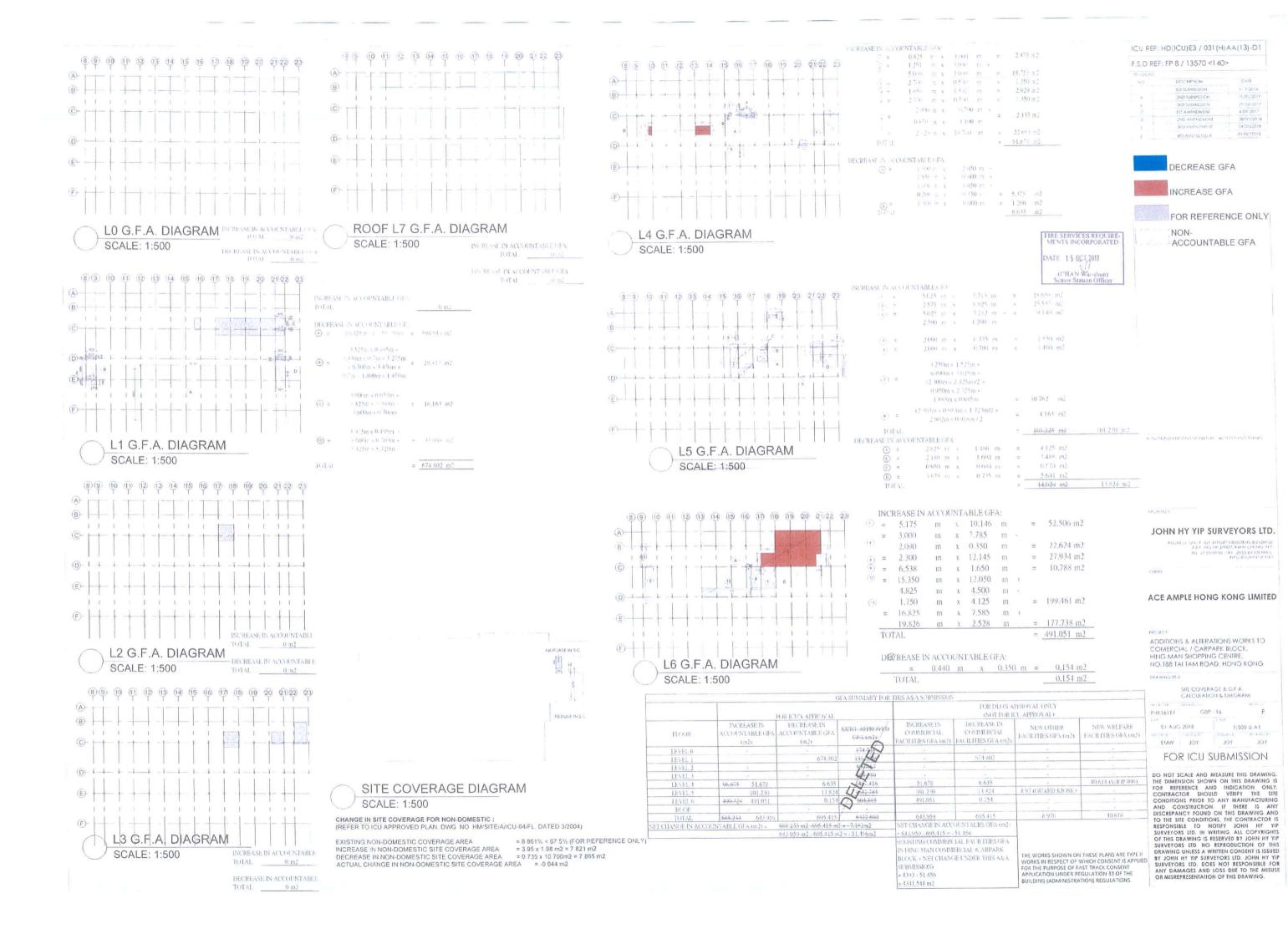
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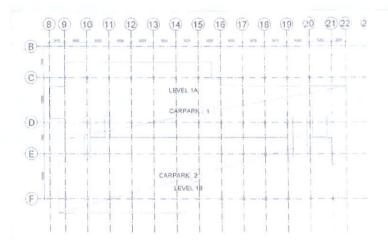
ADDITIONS & ALTERATIONS WORKS TO COMMERCIAL / CAR PARK BLOCK, HING MAN SHOPPING CENTRE, NO.188 TAITAM ROAD, HONG KONG

DRAWNSTO!

SCHEDULES

FOR ICU SUBMISSION



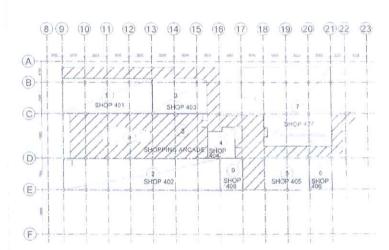


L1 U.F.A. DIAGRAM SCALE: 1:400

LEVEL I NON-DOMESTIC U.F.A. CALCULATION

TOTAL

= 876 S10 m2 CARPARK CARPARK 1020,703 m2



1528.787 m2

552 070 m2

1519.169 m2

L4 U.F.A. DIAGRAM SCALE: 1:400

LEVEL 4 NON-DOMESTIC U.E.A. CALCULATION

SHOP 401 154,682 m2 242.295 m2 SHOP 402 SHOP 403 93.805 m2 SHOP 404 38.623 m2 SHOP 405 74.625 m2 SHOP 406 37.628 m2 SHOP 407 289,426 m2

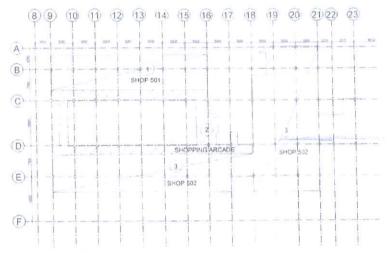
SHOPPING ARCADE \$\$2.555 m2 SHOP 408 36.015 m2

TOTAL

8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 1 CARPARK LEVEL 2B

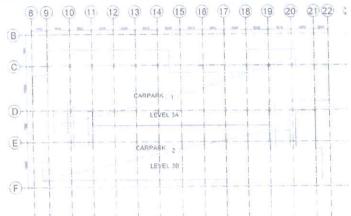
L2 U.F.A. DIAGRAM SCALE: 1:400

LEVEL 2 NON-DOMESTIC U.E.A. CALCULATION ± 983,165 m2 CARPARK 10 4 742 m2



L5 U.F.A. DIAGRAM SCALE: 1:400

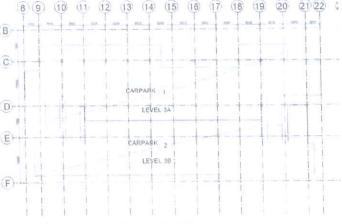
LEVEL 5 NON-DOMESTIC U.F.A. CALCULATION SHOP 501 = 274.684 m2 SHOPPING 226.659 m2 ARCADE 904-209 m2 902-892 m2 4405-552 m2 1404-235 m2 SHOP 502



L3 U.F.A. DIAGRAM SCALE: 1:400

LEVEL 3 NON-DOMESTIC U.F.A. CALCULATION 907 323 m2 CARPARK CARPARK TOTAL

FIRE SERVICES REQUIRE MENTS INCORPORATED DATE 15 991 2018 (CHAN Wai-shun)



8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 (B)-\$HOP 601 (C)--(F) 11 L6 U.F.A. DIAGRAM

LEVEL 6 NON-DOMESTIC U.F.A. CALCULATION 240.30 J m2 SHOP 601 171 824 m2 SHOP 602 SHOPPING 128.568 m2 ARCADE FLAT ROOF 468.700 m2 SHOP 603 TOTAL 463.565 m2 157.481 m2 4173,060 v2 1,66,056 m2

SCALE: 1:400

ICU REF: HD(ICU)E3 / 031(H)AA(13)-D1

EST SUBMISSION
THE TURMISSION
THE SUBMISSION
THE SUBMISSION
THE AMENDMENT
ATE AMENDMENT
ATE AMENDMENT

F.S.D REF: FP 8 / 13570 <140>

JOHN HY YIP SURVEYORS LTD.

ADDRESS UNIT F EFFORT INDUSTRIAL BUILDING 2 B KUNGS KEP STREET KWA CHAING INT TEL 2155 0938 FAX 2 55 0938 CMAIL BUILDING OHNWEI HET

ACE AMPLE HONG KONG LIMITED

ADDITIONS & ALTERATIONS WORKS TO COMERCIAL / CARPARK BLOCK. HING MAN SHOPPING CENTRE, NO.188 TAI TAM ROAD, HONG KONG.

UFA CALCULATION & DIAGRAM

PHK16117 GBP - 17 1: 400 B AT TWAN TOA TOA TOA THEMSON CHANGE

FOR ICU SUBMISSION

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THE WORKS SHOWN ON THESE PLANS ARE TYPE II WORKS IN RESPECT OF WHICH CONSENT IS APPLIED FOR THE PURPOSE OF FAST TRACK CONSENT APPLICATION UNDER REGULATION 33 OF THE BUILDING (ADMINISTRATION) REGULATIONS



L1 COMPARTMENT DIAGRAM

COMPARTMENT: A1 = 1978.270 m2

B = 8.354 m2C = 20.217 m2

D = 12.756 m2

HEIGHT: 3200mm



L4 COMPARTMENT DIAGRAM

COMPARTMENT: G1 = 1637.555 m2 1636.543 m2 = 6.235 m2 H

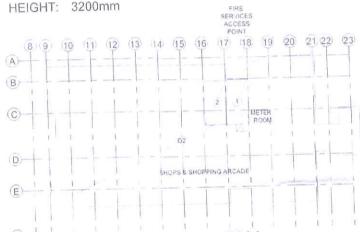
HEIGHT: 4000mm

HEIGHT: 4000mm

						110	LALBERT	E REQUIREMENTS					MIN DIMENSI		MENTS OF COR	STRUCTION	R.C.C.	col
				FL.		STORY ST	ENTRY UDIES	EXTG. VOLUME	REO FRR.	PRO. F.R.R.	R.C.C.	WALL	R.C.C.		RCC.			COVERTO
OMPARTMENT	FLOOR	USE	CLASS	HEIGHT (m)	ARES (m2)	(m3)	10(2)	(m2)	(minutes)	(minutes)	THICKNESS	COVER TO STEEL	THICKNESS	COVER TO STEEL	THICKNESS	COVER TO STEEL	THICKNESS	STEEL
				51202		10516.050	5506-023	17908	60	120	100	25	125	35	200	50	300	35
A (A1+A2+A3)	11.12 & 13	CARPARK	7	3.2	5786.547	18516.950	3500(023)	11793			199900	25	125	35	200	50	300	35
В	1.1	SECURITY & CCTV		3.2	8,354	26.731	GC.		120	120	100	(45)	147	- "	-			
		ROOM WATER TANK	_						120	1.20	100	25	125	35	200	50	300.	3.5
C	1.1	& PUMP RM		3.2	20.217	64,694	1				100	25	125	35	200	50	300	35
D	1.1	TBE ROOM		3.2	12.756	40.819			120	120	100				100	50	300	3.5
- 0		EXISTING MAIN		3.2	39 175	126,000	39,375	126.000	120	120	100	25	125	35	200	211		
E	1.3	SWITCH ROOM	1 1						120	120	100	25	125	35	200	50	300	35
F	1.3	REFUSE ROOM		3.2	16.829	53.853		-				25	125	15	200	50	300	35
G	14,15 & 16	SHOPS & SHOPPING	45	4	4712.960	18851.840	3665.485	14662	120	120	100	25	100		250	5()	300	35
((i1+Gi2+(i3)	124, 127 50 120	ARCADE		-	C 450	24,940	1		120	120	100	25	125	35	200		300	35
Н	L4	METER ROOM		4	6.235	30.452			120	120	100	25	125	35	200	50	300	35
1	1.5	METER ROOM		4	7.613		-		120	120	100	25	125	35	200	50	300	38
K	L3	GENSET ROOM		4.1	31.365	128,597	-		120	120	100	25	125	35	200	50	300	
L	L6	SHOP OT LESS THAN 1 PER SG OF EXPANDED ME	4b	4	171.744	686,976											Company of the second	T - N. 2000

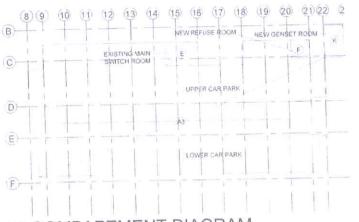
(16) (8)(9)(10)(11)(12)(13)(14)(15) (D) L2 COMPARTMENT DIAGRAM

COMPARTMENT: A2 = 2077.332 m2



L5 COMPARTMENT DIAGRAM

COMPARTMENT: G2 - 1 - 2 = 1823.888 m2 = 7.613 m2



L3 COMPARTMENT DIAGRAM

COMPARTMENT: A3 = 1730.945 m2

 $E = 39.375 \, \text{m}^2$ $F = 16.829 \, \text{m}^2$ $K = 29.819 \,\text{m}^2$

HEIGHT: 3200mm(FOR A3, E & F), 4100MM(FOR K)



L6 COMPARTMENT DIAGRAM

COMPARTMENT: G3 = 1252.533 m2 L = 171.744 m2

HEIGHT: 4000mm

FIRE SERVICES REQUIRE MENTS INCORPORATED DATE 15 QCJ 7018 (CHAN Wai-shun) Senior Station Officer

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ICU REF: HD(ICU)E3 / 031(H) AA(13)-D1

F.S D REF: FP 8 / 13570 <140>

EA210AU		10.544
NO.	DESCRIPTION	DATE
	IST SUBAKSKON	3/11/2016
A	2ND SUBMISSION	11/21/2017
9	PO 22MIUZ CINC	29/03/3017
0	IST AMENDMENT	4/09/2017
10	2ND AVENDMENT	08/01/2018
6	OF DAMERDARY	04/05/2018
1	40H AMERIDMENT	01/08/2018

JOHN HY YIP SURVEYORS LTD.

ACE AMPLE HONG KONG LIMITED

ALTERATION & ADDITIONAL WORKS TO COMMERCIAL / CARPARK BLOCK. HING MAN SHOPPING CENTRE. NO. 188 TAITAM ROAD, HONG KONG

DRAWING TRUE

COMPARTMENT CALCULATION & DIAGRAM

PHK15117 GEP 18 1:400 @ A1 01 AUG 2018 EWM 10A 10A 10A

FOR ICU SUBMISSION

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*** PART OF THE INFORMATION IS EXTRACTED FROM AS-BUILT DRAWING (DWG NO. HM/SITE/AJCU-05/FL) CERTIFIED AS TRUE RECORD AS AT MARCH 2004

APPENDIX 8

Site Photos

Site Photos

