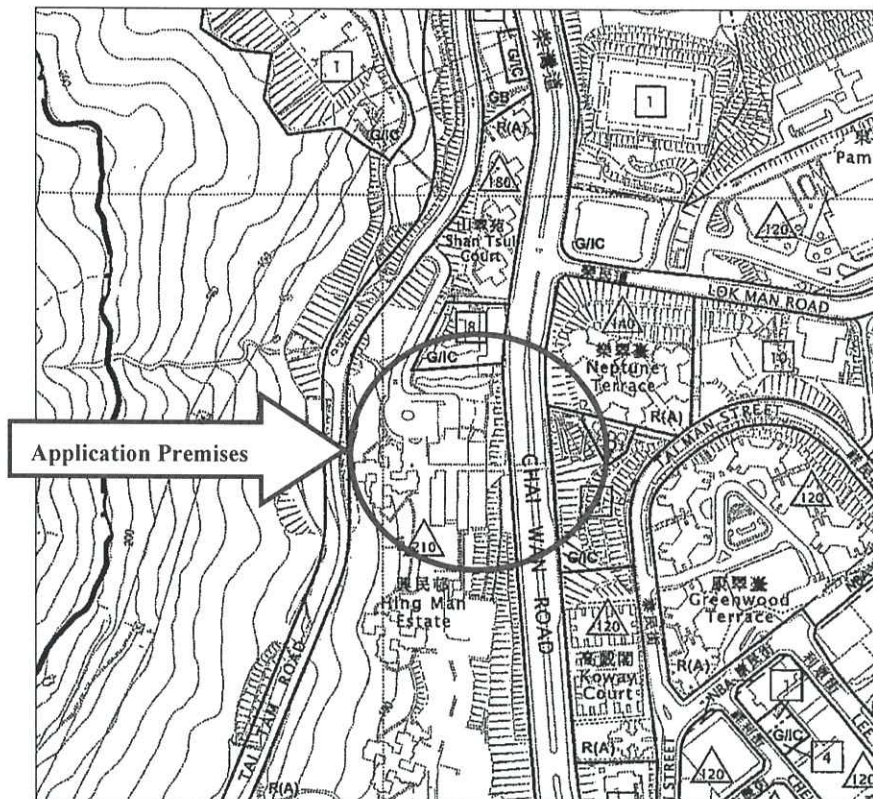


Planning Application under Section 16 of the
Town Planning Ordinance (Cap. 131)

**Proposed Temporary Public Vehicle Park
(for Parking of 19-Seat School Bus and/or Goods Vehicle)
For a Period of 6 Years**

**Goods Vehicle Parking Space Nos. L1 to L6 and L12 to L14 at Level 3,
and Goods Vehicle Parking Space Nos. L7 to L11
and Two Loading/Unloading Bays at Level 5
Commercial / Car Park Block and Open Car Parks
Hing Man Estate
188 Tai Tam Road, Chai Wan
(Portion of Chai Wan Inland Lot No. 179)**

Planning Statement



Prepared by

LANBASE Surveyors Limited

May 2024

EXECUTIVE SUMMARY

The Application Premises (“the Premises”) comprises Goods Vehicle Parking Space Nos. L1 to L6 and L12 to L14 at Level 3, and Goods Vehicle Parking Space Nos. L7 to L11 and Two Loading/Unloading Bays at Level 5, Commercial / Car Park Block and Open Car Parks, Hing Man Estate, 188 Tai Tam Road, Chai Wan (Portion of Chai Wan Inland Lot No. 179). It is located within Hing Man Estate and immediate west of Chai Wan Road. It is proposed to apply for the use of “Temporary Public Vehicle Park (for Parking of 19-Seat School Bus and/or Goods Vehicle)” for a period of 6 years at the Premises. The Premises involves 14 nos. of goods vehicle parking spaces and 2 nos. of loading/unloading spaces with a total floor area of about 375.0272m².

In accordance with the Draft Chai Wan Outline Zoning Plan (OZP) No. S/H20/26 gazetted on 12.5.2023, the Premises falls within an area zoned “Residential (Group A)” (“R(A)”) in which “Public Vehicle Park (excluding Container Vehicle)” is a column 2 use. A planning permission for the proposed use from the Town Planning Board (“the Board”) is required.

The subject application is justified on the following grounds: 1) No Contravention to Long-term Planning Intention of the “R(A)” Zone; 2) Same Nature to the Existing Use; 3) Compatible with Surrounding Land Uses; 4) Coping with Shortage of Parking Spaces for Student Service Vehicles; 5) Low Demand for Goods Vehicle Parking Space; 6) No Adverse Traffic Impact; 7) No Impact to the Users of Hing Man Estate; 8) Previous Temporary Waiver Approval for Parking of Light Buses and Buses; and 9) Provision of Effective Fire Services Installations.

申請摘要

申請場地位於香港柴灣大潭道興民村商業停車場大樓及露天停車場三樓貨車泊車位編號L1至L6及L12至L14，及五樓貨車泊車位編號L7至L11及兩個上落貨車位(柴灣內地段179號部份)。其座落於興民村及前臨柴灣道西面。現擬議把申請場地申請用作「臨時公眾停車場(供19座校巴及/或貨車停泊)」用途，為期六年。申請場地牽涉14個貨車泊車位及兩個上落貨車位，佔地面面積約375.0272平方米。

根據2023年5月12日刊憲的柴灣分區計劃大綱草圖編號：S/H20/26，是項申請場地位於「住宅(甲類)」地帶之內。而「公眾停車場(貨櫃車除外)」屬第二欄用途。是項申請用途須要向城市規劃委員會獲取規劃許可。

是項申請的理由如下：1) 沒有違反「住宅(甲類)」地帶之長遠規劃意向；2) 與現有用途的性質相同；3) 符合附近的土地用途；4) 應對學生服務車輛車位短缺情況；5) 貨車車位需求低；6) 不會帶來不良的交通影響；7) 不會影響興民邨的用家；8) 之前已有批出短期豁免書准許停泊小巴及巴士；及9) 提供有效的消防裝置。

CONTENTS

	Page
1. Introduction	1
2. Application Premises	2
3. Locality and Accessibility	3
4. Town Planning	4
5. The Proposed Use	6
6. Justifications	7
7. Conclusion	10

LIST OF APPENDICES

Appendix 1	Extract of Draft Chai Wan Outline Zoning Plan No. S/H5/26 gazetted on 12.5.2023 and the Relevant Notes
Appendix 2	Location Plan
Appendix 3	Lot Index Plans
Appendix 4	Extract of General Building Plans (GBP)
Appendix 5	Proposed Layout Plans
Appendix 6	Parking Survey for Number of Goods Vehicle Parking
Appendix 7	Approved GBP with FSIs and the Relevant Fire Certificates
Appendix 8	Site Photos

1. INTRODUCTION

- 1.1 The Application Premises (“Premises”) comprises Goods Vehicle Parking Space Nos. L1 to L6 and L12 to L14 at Level 3, and Goods Vehicle Parking Space Nos. L7 to L11 and Two Loading/Unloading Bays at Level 5, Commercial / Car Park Block and Open Car Parks, Hing Man Estate, 188 Tai Tam Road, Chai Wan (Portion of Chai Wan Inland Lot No. 179). In accordance with the Draft Chai Wan Outline Zoning Plan (OZP) No. S/H20/26 gazetted on 12.5.2023, the Premises falls within an area zoned “Residential (Group A)” (“R(A)”). Extract of the said OZP and the relevant Notes are enclosed at **Appendix 1**.
- 1.2 The subject building is a 6-storey integrated commercial / car park accommodation building completed in 1982. The Premises comprises Goods Vehicle Parking Space Nos. L1 to L6 and L12 to L14 at Level 3, and Goods Vehicle Parking Space Nos. L7 to L11 and Two Loading/Unloading Bays at Level 5. A planning permission is required for the proposed use of “Temporary Public Vehicle Park (for Parking of 19-Seat School Bus and/or Goods Vehicle)” under the “R(A)” zone in the said OZP.
- 1.3 The Applicant, also the registered owner, Ace Ample Hong Kong Limited, has commissioned Lanbase Surveyors Limited on its behalf to submit the subject planning application for “Temporary Public Vehicle Park (for Parking of 19-Seat School Bus and/or Goods Vehicle)” use under Section 16 of the Town Planning Ordinance (Cap. 131).
- 1.4 This Planning Statement serves to describe the applied use, existing condition of the Premises, and to provide planning justifications for the consideration of the Board.

2. APPLICATION PREMISES

- 2.1 The Premises comprises Goods Vehicle Parking Space Nos. L1 to L6 and L12 to L14 at Level 3, and Goods Vehicle Parking Space Nos. L7 to L11 and Two Loading/Unloading Bays at Level 5, Commercial / Car Park Block and Open Car Parks, Hing Man Estate, 188 Tai Tam Road, Chai Wan (Portion of Chai Wan Inland Lot No. 179). Please refer to Location Plan at **Appendix 2**, Lot Index Plans at **Appendix 3** and General Building Plans (GBP) at **Appendix 4**. The Premises involves 14 nos. of goods vehicle parking spaces and 2 nos. of loading/unloading spaces with a total floor area of about 375.0272m², as indicated in the Proposed Layout Plans at **Appendix 4**.
- 2.2 The subject building is located within Hing Man Estate and immediate west of Chai Wan Road. Please refer to Lot Index Plans at **Appendix 3** and Site Photos at **Appendix 8**.
- 2.3 The subject building is a 6-storey integrated commercial / car park accommodation building completed in 1982.
- 2.4 The subject building is held under the Government Lease of Chai Wan Inland Lot No. 179 and is restricted to non-industrial (excluding godown, hotel and petrol filling station) purposes and for the purposes of commercial and welfare facilities, and some other ancillary facilities.
- 2.5 Under Clause No. 3.22 of the Lease, the Premises is restricted to the use of goods vehicle park spaces.

3. LOCALITY & ACCESSIBILITY

- 3.1 The subject building is located within Hing Man Estate and immediate west of Chai Wan Road.
- 3.2 It is also located at about 80m southwest of Neptune Terrace.
- 3.3 There are mainly residential buildings together with community centre and playground located at the surrounding areas.
- 3.4 The accessibility of the Premises is good. There are various types of public transport such as buses, minibuses and taxis serving the area.

4. TOWN PLANNING

- 4.1 According to the Draft Chai Wan Outline Zoning Plan (OZP) No. S/H20/26 gazetted on 12.5.2023, the Site falls within an area zoned “Residential (Group A)” (“R(A)”). Please refer to an extract of the OZP at **Appendix 1**.
- 4.2 This zone is intended primarily for high-density residential developments. Commercial uses are always permitted on the lowest three floors of a building or in the purpose-designed non-residential portion of an existing building.
- 4.3 On the land designated “R(A)”, no new development, or addition, alteration and/or modification to or redevelopment of an existing building shall result in a total development and/or redevelopment in excess of a maximum building height in terms of metres above Principal Datum, as stipulated on the Plan, or the height of the existing building, whichever is the greater.
- 4.4 On the land designated “R(A)1”, no new development, or addition, alteration and/or modification to or redevelopment of an existing building shall result in a total development and/or redevelopment in excess of a maximum building height in terms of metres above Principal Datum, as stipulated on the Plan.
- 4.5 A minimum 30m wide non-building area to the south of Hing Man Estate shall be provided as stipulated on the Plan. In addition, a minimum 20m wide non-building area shall be provided within Tsui Wan Estate (covering part of Tsui Wan Street), and a minimum 10m wide non-building area shall be provided from the lot boundary of Greenwood Terrace fronting Hong Man Street as stipulated on the Plan.
- 4.6 Based on the individual merits of a development or redevelopment proposal, minor relaxation of the building height restrictions stated in paragraph 4.3 and 4.4 above may be considered by the Town Planning Board on application under section 16 of the Town Planning Ordinance.
- 4.7 Under exceptional circumstances, for a development or redevelopment proposal, minor relaxation of the non-building area restrictions as stipulated on the Plan or state in paragraph 4.5 above may be considered by the Town Planning Board on application under section 16 of the Town Planning Ordinance.

- 4.8** In accordance with the Notes of the OZP at **Appendix 1**, “Public Vehicle Park (excluding Container Vehicle)” use is under Column 2 and the temporary use exceeding 5 years which requires planning permission from the Board.

5. THE PROPOSED USE

5.1 The Applied Use

5.1.1 It is proposed to temporarily convert the existing 14 nos. of goods vehicle parking spaces to co-parking spaces of 19-seat school bus and goods vehicle for public use.

5.1.2 It is also proposed to temporarily accommodate night-time parking of goods vehicle for public use during the night-time period (00:00 to 06:00) at the existing 2 nos. of loading/unloading bays.

5.2 Application Area

The Premises involves 14 goods vehicle parking spaces and 2 nos. of loading/unloading spaces with a total floor area of about 375.0272m². Please refer to GBP at **Appendix 4** and the Proposed Layout Plans at **Appendix 5**.

5.3 Parking Mode

Monthly parking mode would be adopted for the proposed co-parking spaces of school bus and goods vehicle, there would be low frequency of transportation i.e. about 2 times a day for each parking space.

6. JUSTIFICATIONS

6.1 No Contravention to Long-Term Planning Intention of the “R(A)” Zone

In accordance with the Draft Chai Wan Outline Zoning Plan (OZP) No. S/H20/26 gazetted on 12.5.2023, the Site falls within an area zoned “Residential (Group A)” (“R(A)”). This zone is intended primarily for high-density residential developments. Commercial uses are always permitted on the lowest three floors of a building or in the purpose-designed non-residential portion of an existing building. However, “Public Vehicle Park” is categorized as Column 2 use which is allowed for application to the Board. In addition, the proposal only involves the use of “Temporary Public Vehicle Park (for parking of 19-seat School Bus and/or Goods Vehicle)” for a period of 6 years. Therefore, long-term planning intention of the subject zone would not be contravened.

6.2 Same Nature to the Existing Use

The existing use of the Premises is goods vehicle parking space. The current proposal only involves temporary conversion of the existing goods vehicle parking spaces to co-parking spaces of 19-seat school bus and goods vehicle, and temporary night-time goods vehicle parking spaces at the existing loading/unloading bays. The nature of the existing use and the proposed use is same. Therefore, the proposed temporary use should be acceptable.

6.3 Compatible with Surrounding Land Uses

The Premises is situated at a 6-storey integrated commercial / car park accommodation building and the dominant use of the building is car parking. Therefore, the proposed temporary parking use is compatible with the surrounding uses.

6.4 Coping with Shortage of Parking Spaces for Student Service Vehicles

According to Education Bureau Circular Memorandum No. 26/2019, there is government policy of opening up school parking spaces to student service vehicles scheme during non-school hours to alleviate the shortage of parking spaces for student service vehicles (i.e. school buses and private light buses). The proposed “Temporary Public Vehicle Park (for parking of 19-seat School Bus and/or Goods Vehicle)” should be able to cope with the consistent shortage of parking space for student service vehicles.

6.5 Low Demand for Goods Vehicle Parking Space

According to the Parking Survey Records of Goods Vehicle provided at **Appendix 6**, there were only 5 nos. of goods vehicle parking spaces occupied at maximum during overnight time (00:00 to 06:00) during both weekday and weekend. Due to this low demand for the goods vehicle parking spaces, it is proposed to temporarily convert the existing goods vehicle parking spaces to the shared parking spaces of school bus and goods vehicle parking spaces to help alleviate the shortage of parking space for student service vehicles. To make more efficient use of the existing resources, it is also proposed to make use of the existing two loading/unloading bays for night-time parking of goods vehicles in order to cope with the sudden demand if the parking spaces are mostly occupied by school bus.

6.6 No Adverse Traffic Impact

6.6.1 According to the Parking Survey Records of Goods Vehicle provided at **Appendix 6**, there were only 5 nos. of goods vehicle parking spaces occupied at maximum during overnight time (00:00 to 06:00) during the weekdays. There would be a total of 10 trips per day during the weekdays (i.e. 2 times a day for each goods vehicle).

6.6.2 With reference to the above, it is assumed that there would be 11 parking spaces available for school bus use. In this connection, there would be a total of 22 trips per day during the school days (i.e. 2 times a day for each school bus for accommodating the school pick up / drop off times - (i) the school bus would be driven out at around 05:45 and driven in at around 10:00 in the morning school hours; and the school buses would be driven out at around 14:00 and driven in at around 17:00 in the afternoon school hours).

6.6.3 Therefore, the frequency of transportation is low and no adverse traffic impact is anticipated.

6.7 No Impact to the Users of Hing Man Estate

Monthly parking mode would be adopted for the subject parking spaces. In order to avoid any impacts to the users from Hing Man Estate, priority application for renting parking spaces would be offered to them and priority waiting list would also be offered to them when the car parking spaces are fully occupied. As the subject parking spaces and the subject building are all owned and managed by the same registered owner, this arrangement manageable.

6.8 Previous Temporary Waiver Approval for Parking of Light Buses and Buses

There was a temporary waiver granted by Lands Department in 2016 to permit parking of light buses (including both private and public), buses (including both private and public), special purpose vehicles all licensed under the Road Traffic Ordinance on the subject goods vehicle parking spaces L1 to L6. As the nature of the proposed parking of school bus and the waiver permitted parking of light bus and bus is similar, the proposed “Temporary Public Vehicle Park (for parking of 19-seat School Bus and/or Goods Vehicle)” at the Premises should be acceptable.

6.9 Provision of Effective Fire Service Installations

Effective fire services installations (FSIs) have been provided on the subject property. If required, approved condition with regard to submission and implementation of fire service installations proposal for the planning permission is acceptable. Please see the approved GBP with FSIs and the relevant fire certificates FS 251 at **Appendix 7**. In addition, there are no electric vehicle charging facilities provided in the Premises. Therefore, no additional fire service requirement is required.

7. CONCLUSION

7.1 The Applicant applies to the Board for the use of “Temporary Public Vehicle Park (for Parking of 19-seat School Bus and/or Goods Vehicle)” for a period of 6 years in the Application Premises under Section 16 of the Town Planning Ordinance.

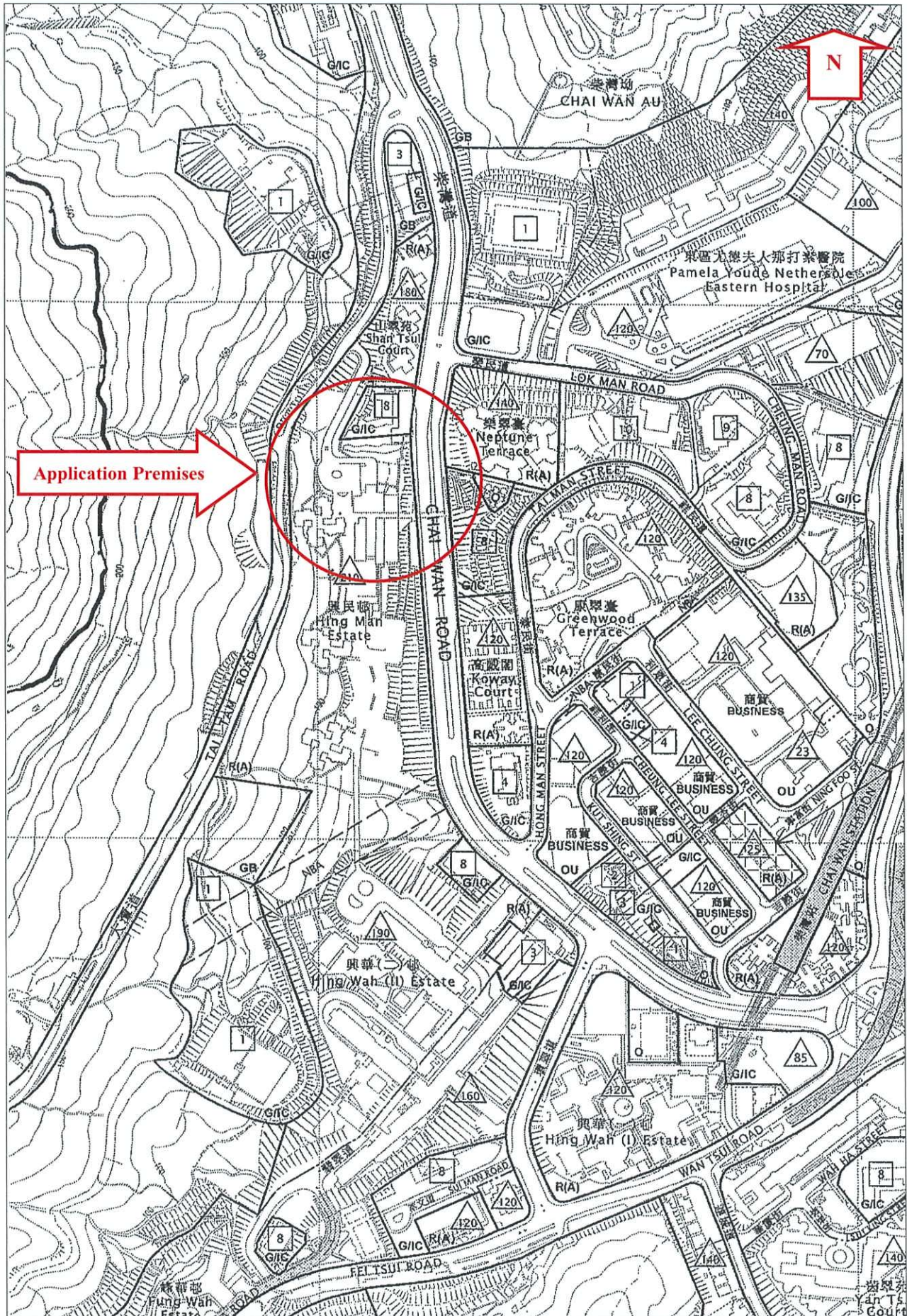
7.2 With regard to the followings:

- no contravention to long-term planning intention of the “R(A)” zone;
- same nature to the existing use;
- compatible with surrounding land uses;
- coping with shortage of parking spaces for student service vehicles;
- low demand for goods vehicle parking space;
- no adverse traffic impact;
- no impact to the users of Hing Man Estate;
- previous temporary waiver approval for parking of light buses and buses; and
- provision of effective fire service installations,

the Board is requested to approve the proposed “Temporary Public Vehicle Park (for Parking of 19-seat School Bus and/or Goods Vehicle)” at the Application Premises.

APPENDIX 1

**Extract of Draft Chai Wan Outline Zoning Plan (“OZP”) No.
S/K5/39 gazetted on 12.5.2023 and
the Relevant Notes**



For Identification Only

RESIDENTIAL (GROUP A)

Column 1 Uses always permitted	Column 2 Uses that may be permitted with or without conditions on application to the Town Planning Board
Ambulance Depot Flat Government Use (not elsewhere specified) House Library Market Place of Recreation, Sports or Culture Public Clinic Public Transport Terminus or Station (excluding open-air terminus or station) Residential Institution School (in free-standing purpose-designed building only) Social Welfare Facility Utility Installation for Private Project	Commercial Bathhouse/Massage Establishment Eating Place Educational Institution Exhibition or Convention Hall Government Refuse Collection Point Hospital Hotel Institutional Use (not elsewhere specified) Mass Transit Railway Vent Shaft and/or Other Structure above Ground Level other than Entrances Office Petrol Filling Station Place of Entertainment Private Club Public Convenience Public Transport Terminus or Station (not elsewhere specified) Public Utility Installation Public Vehicle Park (excluding container vehicle) Religious Institution School (not elsewhere specified) Shop and Services (not elsewhere specified) Training Centre

(please see next page)

RESIDENTIAL (GROUP A) (cont'd)

In addition, the following uses are always permitted (a) on the lowest three floors of a building, taken to include basements; or (b) in the purpose-designed non-residential portion of an existing building, both excluding floors containing wholly or mainly car parking, loading/unloading bays and/or plant room:

Eating Place
Educational Institution
Institutional Use (not elsewhere specified)
Off-course Betting Centre
Office
Place of Entertainment
Private Club
Public Convenience
Recyclable Collection Centre
School
Shop and Services
Training Centre

Planning Intention

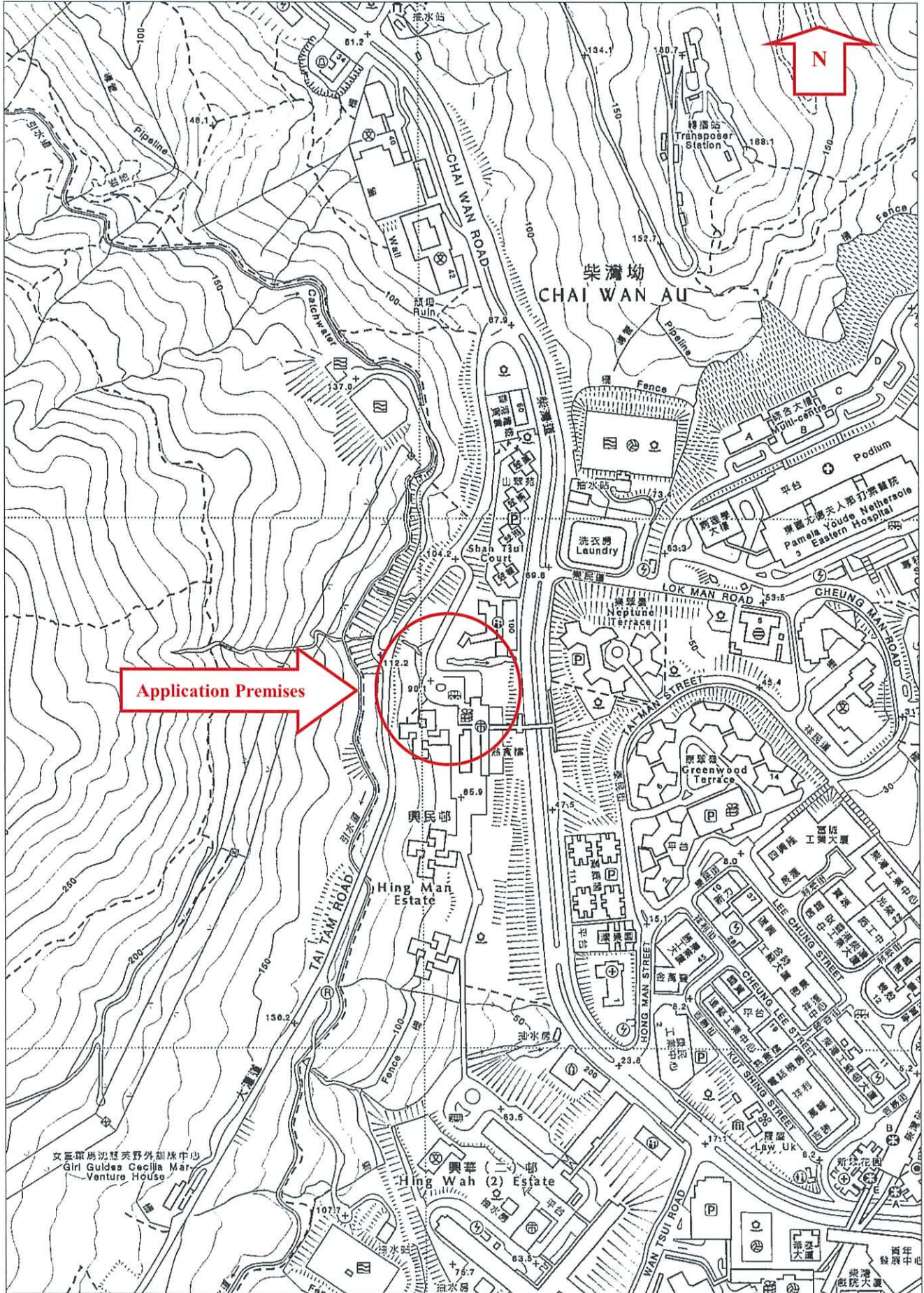
This zone is intended primarily for high-density residential developments. Commercial uses are always permitted on the lowest three floors of a building or in the purpose-designed non-residential portion of an existing building.

Remarks

- (1) On land designated "Residential (Group A)" ("R(A)"), no new development, or addition, alteration and/or modification to or redevelopment of an existing building shall result in a total development and/or redevelopment in excess of the maximum building height in terms of metres above Principal Datum, as stipulated on the Plan, or the height of the existing building, whichever is the greater.
- (2) On land designated "R(A)1", no new development, or addition, alteration and/or modification to or redevelopment of an existing building shall result in a total development and/or redevelopment in excess of the maximum building height, in terms of metres above Principal Datum, as stipulated on the Plan.
- (3) A minimum 30m wide non-building area to the south of Hing Man Estate shall be provided as stipulated on the Plan. In addition, a minimum 20m wide non-building area shall be provided within Tsui Wan Estate (covering part of Tsui Wan Street), and a minimum 10m wide non-building area shall be provided from the lot boundary of Greenwood Terrace fronting Hong Man Street as stipulated on the Plan.
- (4) Based on the individual merits of a development or redevelopment proposal, minor relaxation of the building height restrictions stated in paragraphs (1) and (2) above may be considered by the Town Planning Board on application under section 16 of the Town Planning Ordinance.
- (5) Under exceptional circumstances, for a development or redevelopment proposal, minor relaxation of the non-building area restrictions as stipulated on the Plan or stated in paragraph (3) above may be considered by the Town Planning Board on application under section 16 of the Town Planning Ordinance.

APPENDIX 2

Location Plan



For Identification Only

APPENDIX 3

Lot Index Plans

地段索引圖 LOT INDEX PLAN

摘要說明：本地段索引圖在其背景的地形圖上標示了各種永久和短期持有的土地的圖像界線。這些土地包括私人地段、政府撥地、短期租約批地，以及其他作核准用途的土地。請注意：(1)本索引圖上的資料會被不時更新而不作事先通知；(2)索引圖的更新或會延後於有關資料的實際變更；以及(3)本索引圖中顯示的界線僅供識別之用，資料是否準確可靠，應徵詢專業土地測量師的意見。
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Explanatory notes : This plan shows the graphical boundaries of different kinds of permanent and temporary land holdings with the topographic map in the backdrop. The land holdings as shown may include private lots, government land allocations, short term tenancies and other permitted uses of land. It must be noted that: (1) the information shown on this plan is subject to update without prior notification; (2) there may be time lag between an update and the related changes taken place; and (3) the graphical boundaries as shown are for identification purpose only and interpretation of their accuracy and reliability requires the advice from professional land surveyor.
Disclaimer: The Government shall not be responsible for any loss or damage howsoever arising from the use of this plan or in reliance upon its correctness, completeness, timeliness or accuracy.

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Survey and Mapping Office
Lands Department

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比例尺 SCALE 1:1 000
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Locality :

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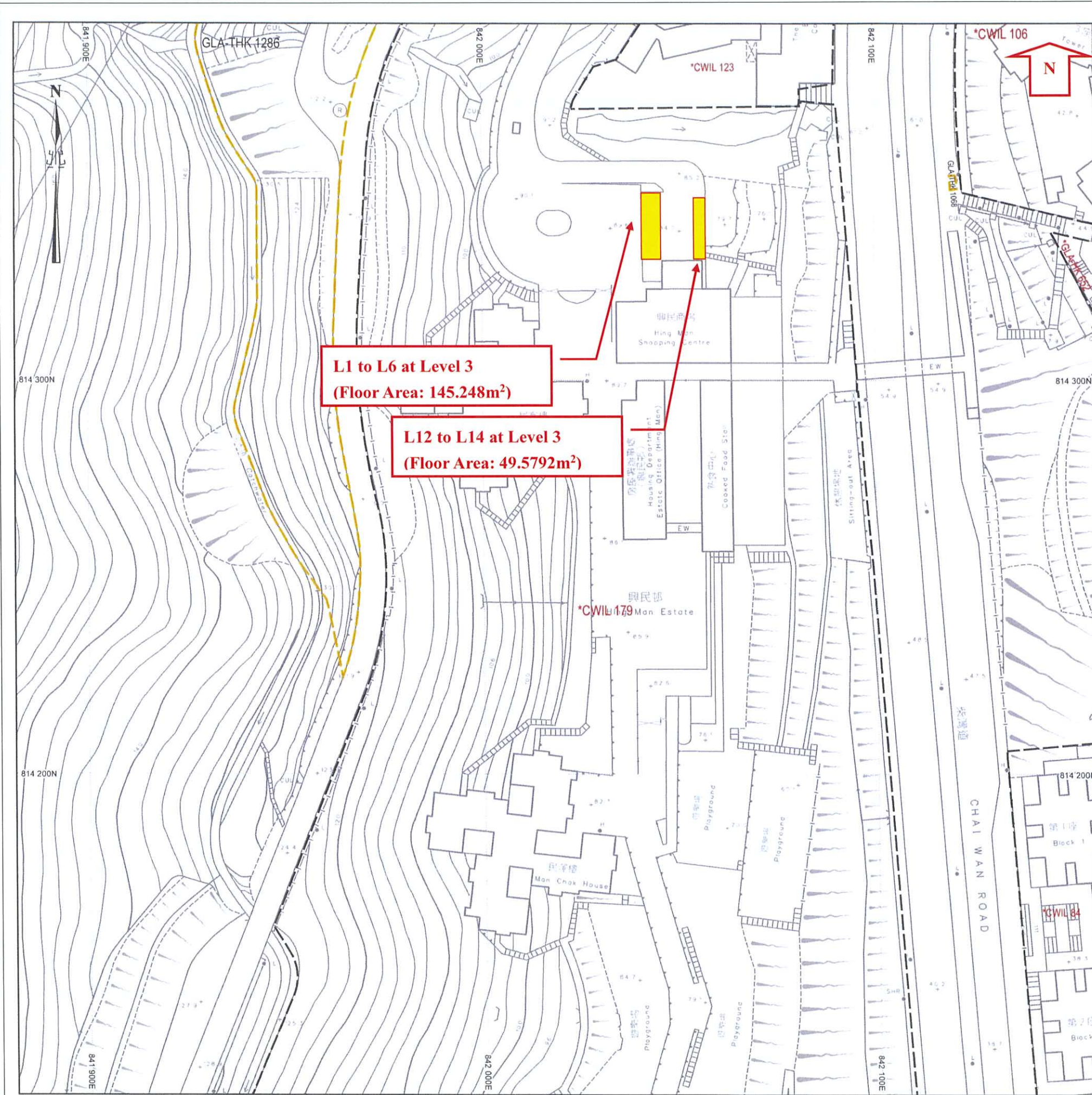
District Survey Office : Lands Information Center

Date :09-Jan-2024

Reference No. : 11-SE-18B,11-SE-19A

**L1 to L6 at Level 3
(Floor Area: 145.248m²)**

**L12 to L14 at Level 3
(Floor Area: 49.5792m²)**



地段索引圖 LOT INDEX PLAN

摘要說明：本地段索引圖在其背景的地形圖上標示了各種永久和短期持有的土地的圖像界線。這些土地包括私人地段、政府撥地、短期租約批地，以及其他作核准用途的土地。請注意：(1)本索引圖上的資料會被不時更新而不作事先通知；(2)索引圖的更新或會延後於有關資料的實際變更；以及(3)本索引圖中顯示的界線僅供識別之用，資料是否準確可靠，應徵詢專業土地測量師的意見。
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比例尺 SCALE 1:1 000
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Locality :

Lot Index Plan No. : ags_S00000122141_0001

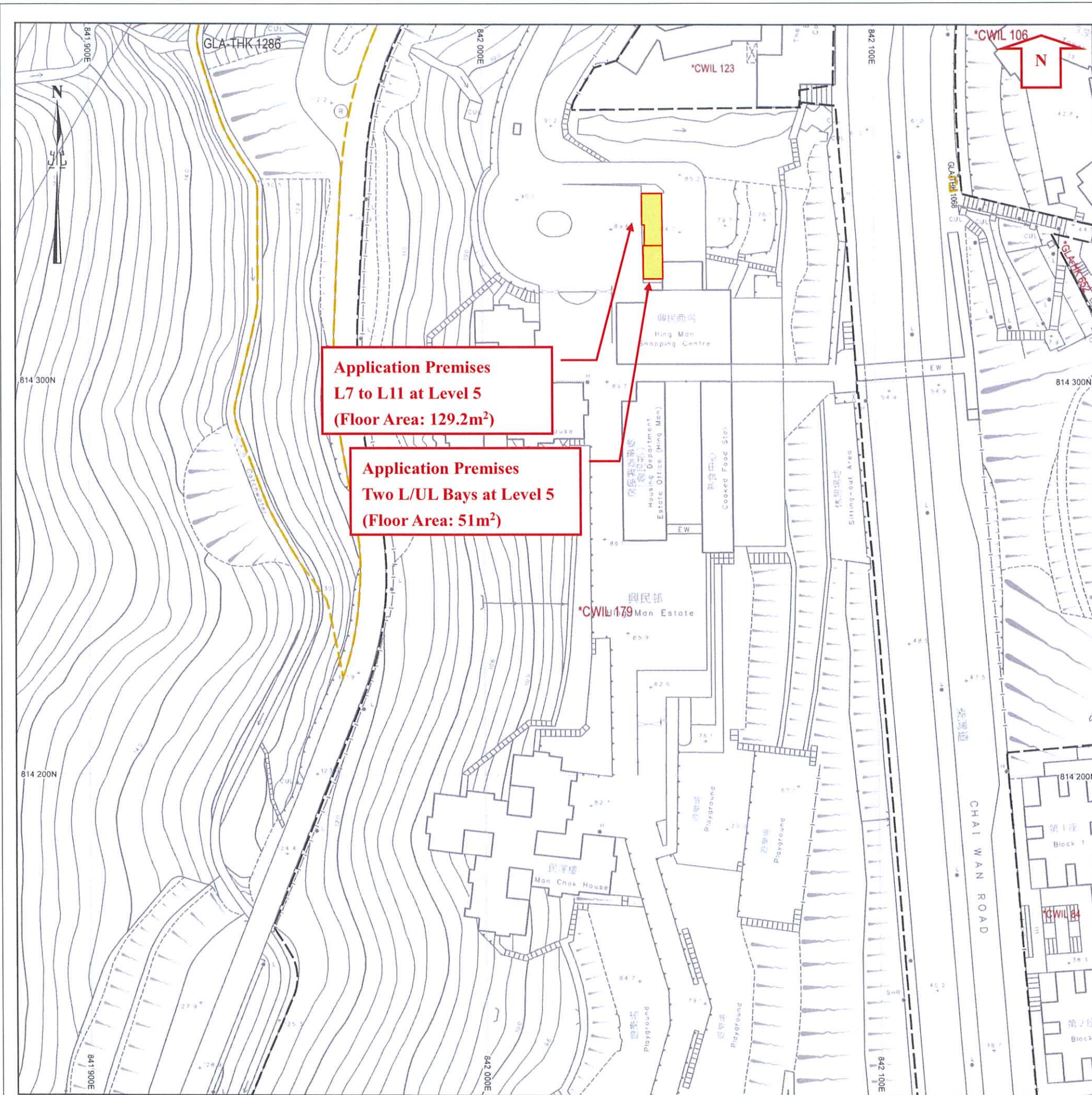
District Survey Office : Lands Information Center

Date :09-Jan-2024

Reference No. : 11-SE-18B,11-SE-19A

**Application Premises
L7 to L11 at Level 5
(Floor Area: 129.2m²)**

**Application Premises
Two L/UL Bays at Level 5
(Floor Area: 51m²)**

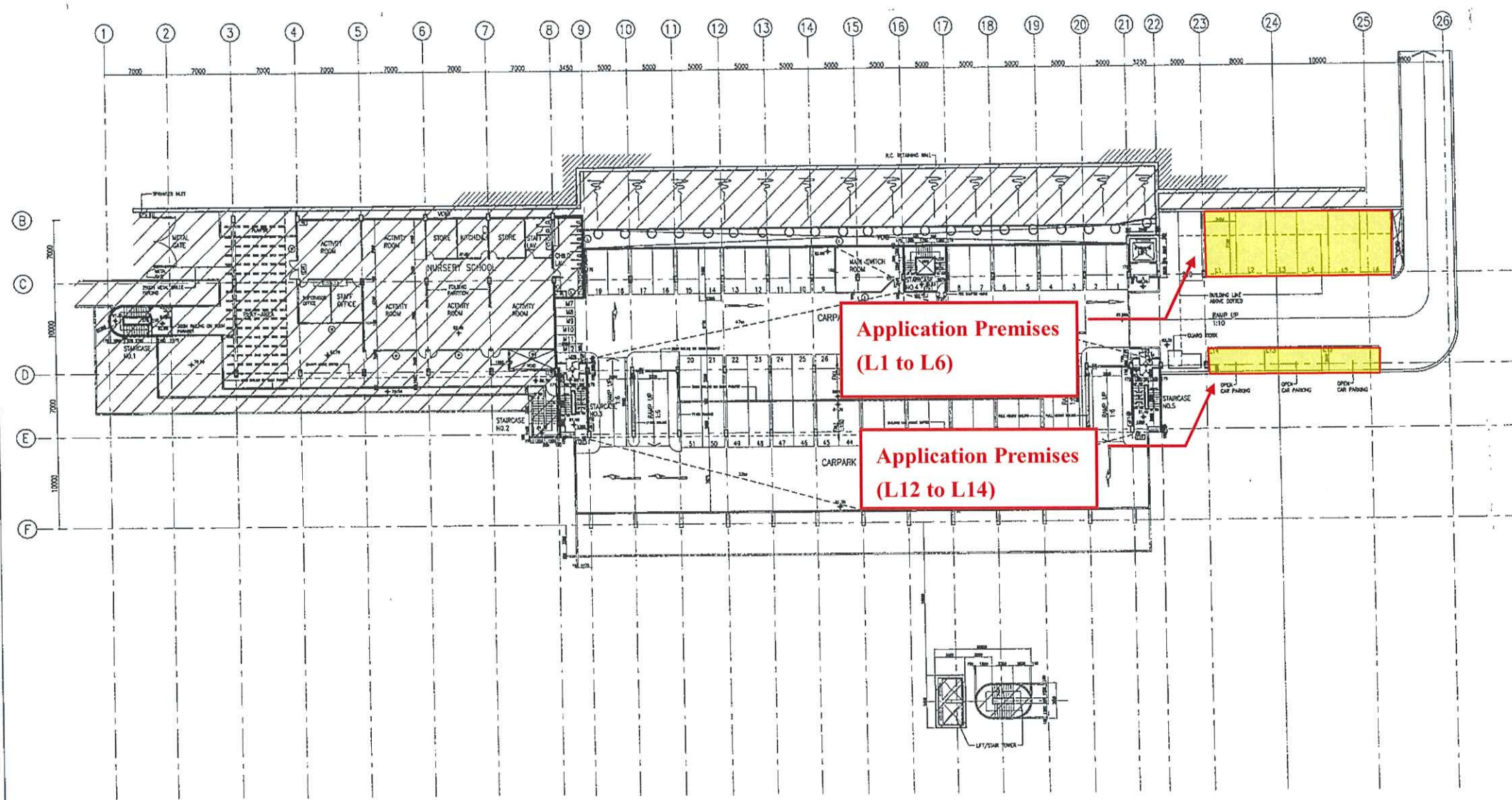


APPENDIX 4

Extract of General Building Plan



NOTES
1. NOTES AND LEGENDS REFER TO THE LATEST VERSION OF
Dwg. No. HM/SITE/A/700-01.



Prepared by
Architectural Section 1
Development & Construction Division
Housing Department
under the supervision of
[Signature]
Mr. Ken Cheung
Chief Architect 1
For and on behalf of
The Director of Housing

As from record as at
MARCH 2004

PROJECT
DIVESTMENT - AS-BUILT DRAWING
FOR NON-DOMESTIC PORTIONS OF
HING MAN ESTATE

DRAWING TITLE
COMMUNITY BUILDING
LEVEL 3

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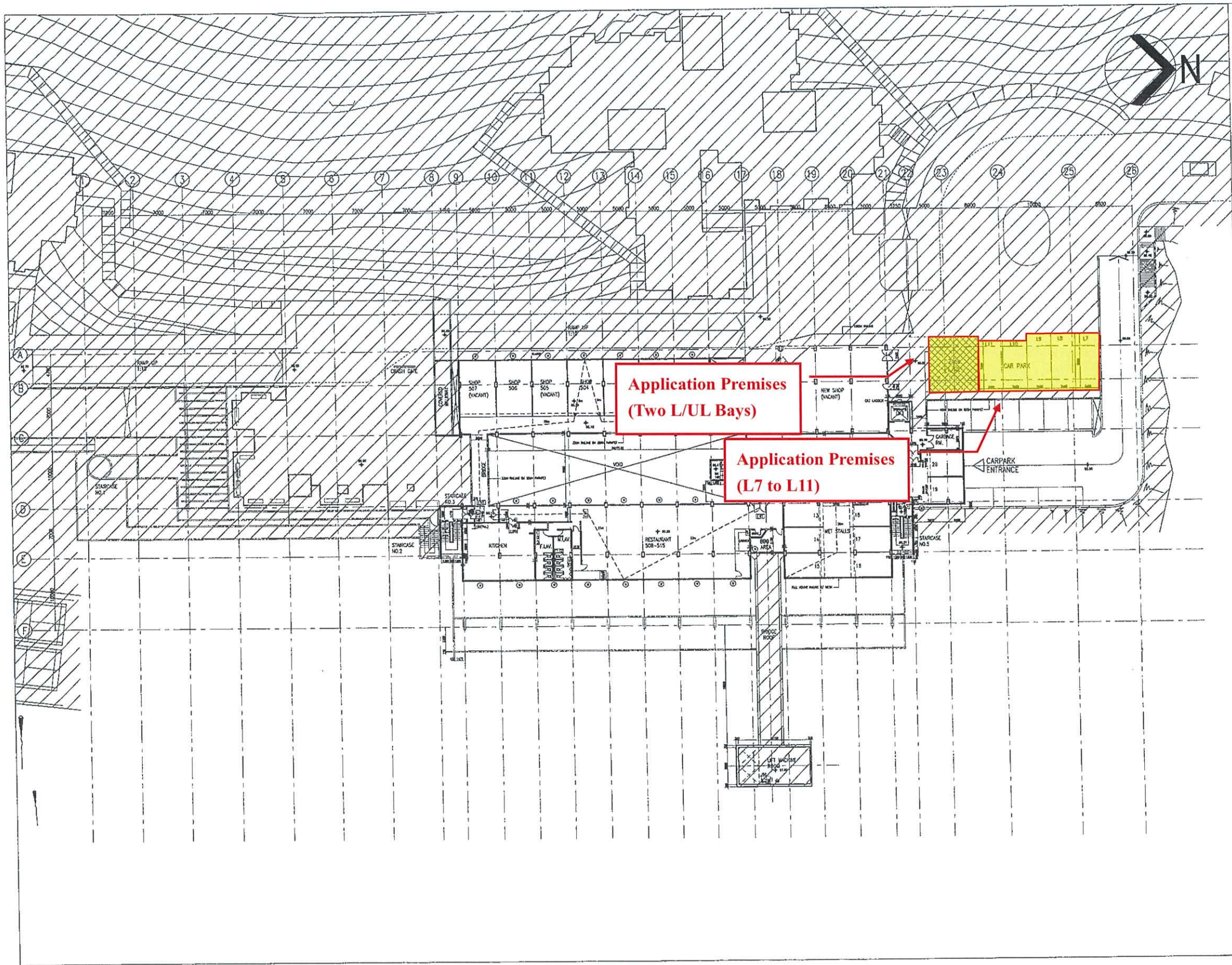
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HM/CC/A/ICU-04/FL

SOURCE
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ICU NO.
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HOUSING DEPARTMENT

For Identification Only



NOTES
 1. NOTES AND LEGENDS REFER TO THE LATEST VERSION OF
 Dwg. No. HM/ST/A/ICU-01.

Application Premises
 (Two L/UL Bays)

Application Premises
 (L7 to L11)

Prepared by
 Architectural Section I
 Development & Construction Division
 Housing Department
 under the supervision of
 Mr. Ken Chung
 Chief Architect I
 For and on behalf of
 The Director of Housing
 As true record as at
 MARCH 2004

PROJECT
 DIVESTMENT - AS-BUILT DRAWING
 FOR NON-DOMESTIC PORTIONS OF
 HING MAN ESTATE

DRAWING TITLE
 COMMUNITY BUILDING
 LEVEL 5

SCALE
 1:200 @ B1, 1:500 @ A3

DRAWING NO.
 HM/CC/A/ICU-06/FL

SOURCE
 1214/A10

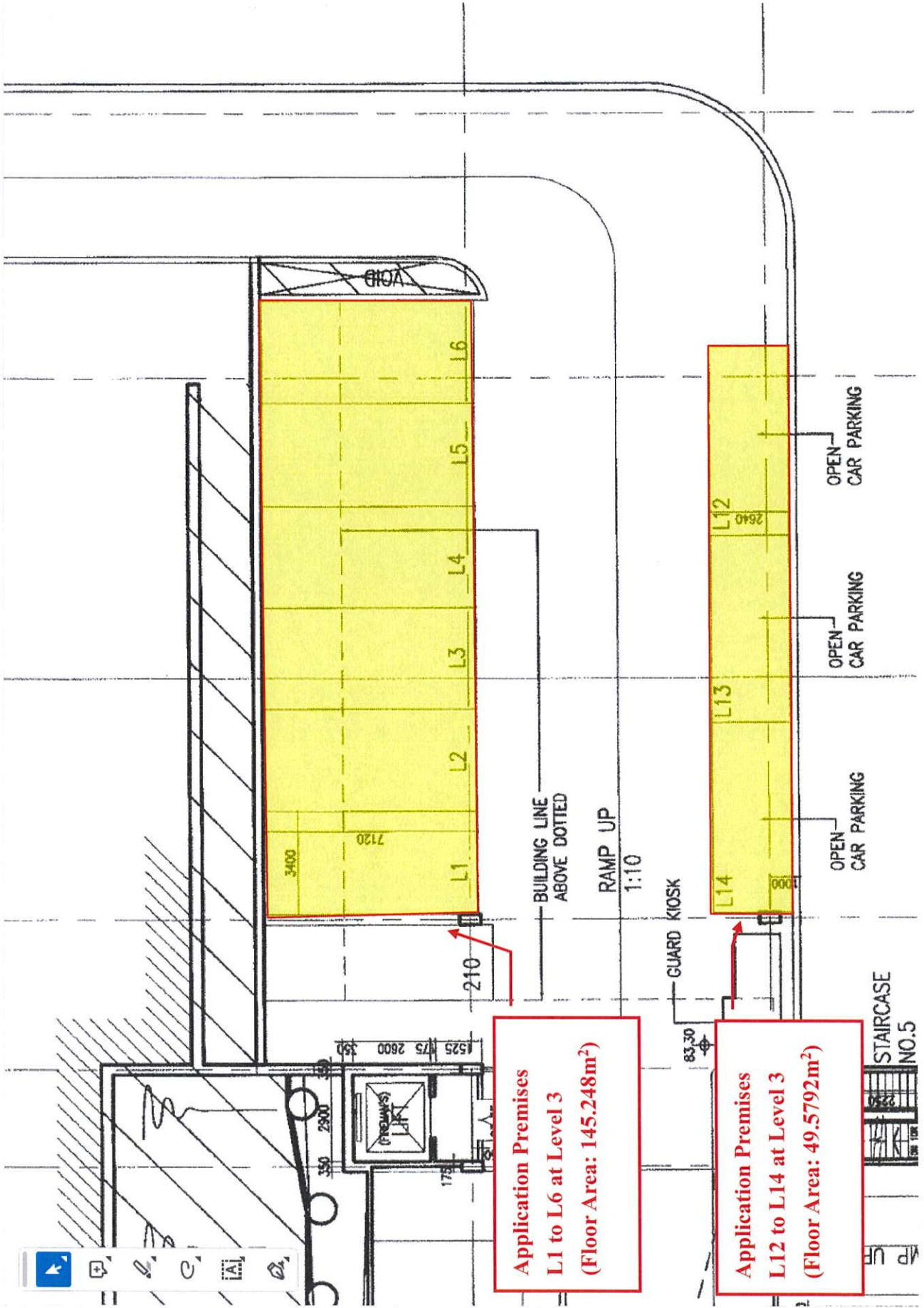
CU NO.

HOUSING DEPARTMENT

For Identification Only

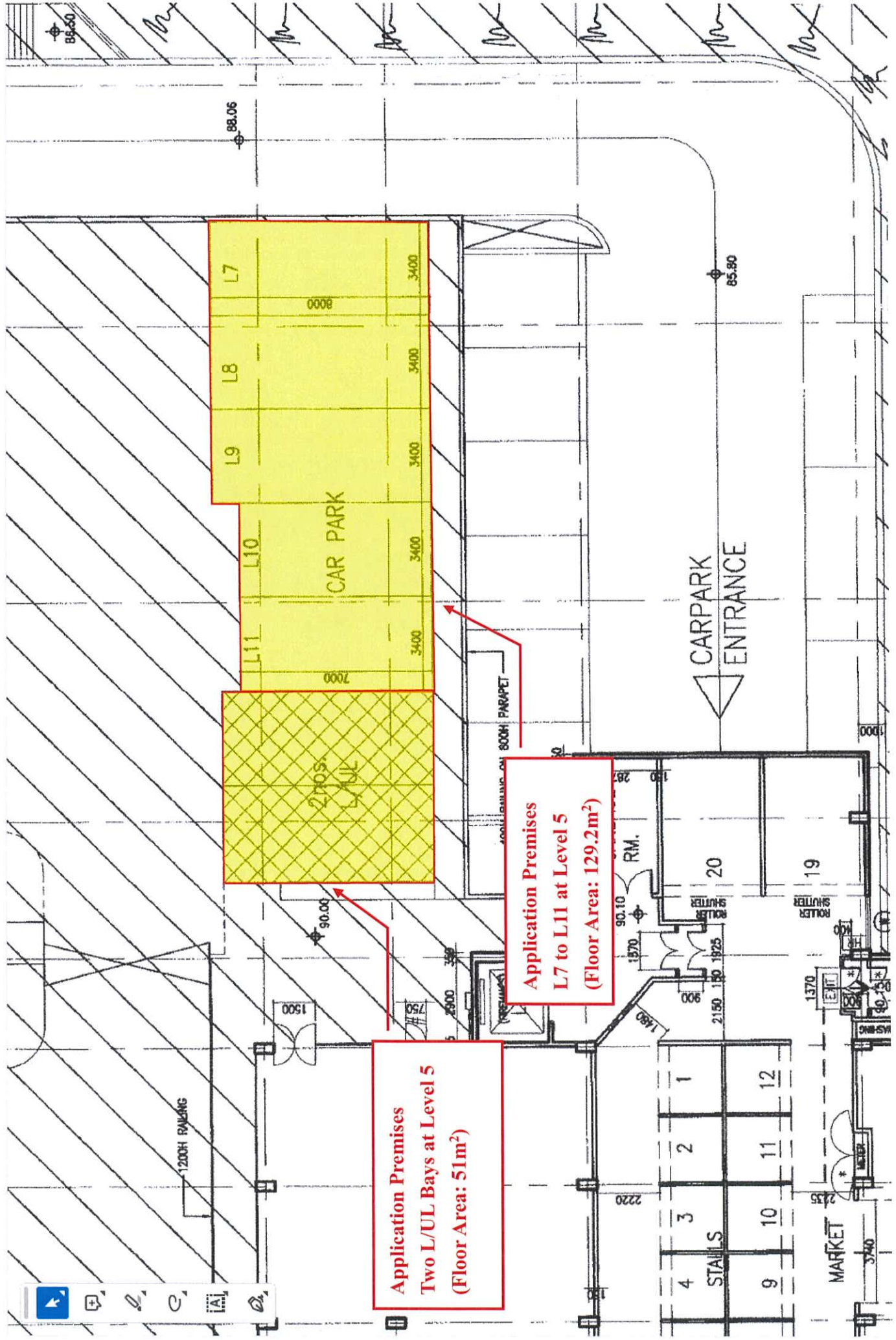
APPENDIX 5

Proposed Layout Plans



**Application Premises
L1 to L6 at Level 3
(Floor Area: 145.248m²)**

**Application Premises
L12 to L14 at Level 3
(Floor Area: 49.579m²)**



Application Premises
Two L/UL Bays at Level 5
(Floor Area: 51m²)

Application Premises
L7 to L11 at Level 5
(Floor Area: 129.2m²)

CARPARK
ENTRANCE

STALLS

MARKET

CAR PARK

2 POS.
L/UL

800H PARAPET

RM.

20

19

9

10

11

12

4

3

2

1

88.60

88.06

85.80

1000

1200H PARKING

1500

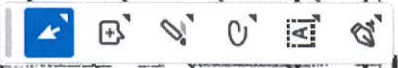
750

2900

2220

1370

5740



APPENDIX 6

Parking Survey for Number of Goods Vehicle Parking

Parking Survey for No. of Goods Vehicle Parking

1/3 (Fri)	Parking No.	2/3 (Sat)	Parking No.	4/3 (Mon)	Parking No.
0:00	4	0:00	5	0:00	5
1:00	4	1:00	5	1:00	5
2:00	4	2:00	5	2:00	5
3:00	4	3:00	5	3:00	5
4:00	4	4:00	5	4:00	5
5:00	4	5:00	5	5:00	5
6:00	4	6:00	5	6:00	5
9:00	3	9:00	1	9:00	0
10:00	1	10:00	0	10:00	0
11:00	0	11:00	0	11:00	0
12:00	1	12:00	2	12:00	2
13:00	0	13:00	0	13:00	2
14:00	0	14:00	0	14:00	2
15:00	1	15:00	0	15:00	2
16:00	0	16:00	3	16:00	2

APPENDIX 7

Approved GBP with FSIs and the Relevant Fire Certificates

FIRE SERVICE (INSTALLATIONS AND EQUIPMENT) REGULATIONS
 消防 (裝置及設備) 規例
 (Regulation 9(1))
 (第九條 (1) 款)
 CERTIFICATE OF FIRE SERVICE INSTALLATION AND EQUIPMENT
 消防裝置及設備證書

A 9309416

Ref.: _____
 處務號

Name of Client: 顧客姓名
 Synergis Facility Management Limited O/B Ace Precision Investments Limited

Name of Building: 樓宇名稱
 Hing Man Shopping Centre & Carpark

Street No./Town Lot: 門牌號數/市地段 _____ Street/Road/Estate Name: 街道/屋苑名稱
 Hing Man Estate

Block: 座 _____ District: 分區
 Chai Wan Area: 地區 HK 香港 K 九龍 NT 新界

Type of Building 樓宇類型: Industrial 工業 Commercial 商業 Domestic 住宅 Composite 綜合 Licensed premises 持牌處所 Institutional 社團

Part 1 Annual Inspection ONLY 第一部 只適用於年檢事項					
Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s) 位置	Comment on Condition 狀況評述	Completion Date 完成日期 (DD/MM/YY)	Next Due Date 下次到期日 (DD/MM/YY)
			NIL		

Part 2 第二部 Installation / Modification / Repair / Inspection work 裝置/改裝/修理/檢查工作					
Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s) 位置	Nature of Work Carried out 完成之工作內容	Comment on Condition 狀況評述	Completion Date 完成日期 (DD/MM/YY)
24	Portable Fire Extinguisher	G/F	Supply & replace 4 kg CO2 (gas) type F.E. x 1 no.	Conforms with FSD requirements	02 Nov, 2023
25	Portable Hand-operated Approved Appliance	L2/F	Supply & install sand bucket x 1 no.	Conforms with FSD requirements	02 Nov, 2023
25	Portable Hand-operated Approved Appliance	L2/F	Supply & replace sand bucket x 2 nos.	Conforms with FSD requirements	02 Nov, 2023

Part 3 第三部 Defects 損壞事項				
Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s) 位置	Outstanding Defects 未修缺點	Comment on Defects 缺點評述
			NIL	

I/We hereby certify that the above installations/equipment have been tested and found to be in efficient working order in accordance with the Codes of Practice for Minimum Fire Service Installations and Equipment and Inspection, Testing and Maintenance of Installations and Equipment published from time to time by the Director of Fire Services. Defects are listed in Part 3.

本人謹此證明以上之消防裝置及設備經試驗，證明性能良好，符合消防處處長不時公佈之最低限度之消防裝置及設備守則與裝置及設備之檢查測試及保養守則的規格，損壞事項列於第三部。

如證書涉及年檢事項，應張貼於大廈或處所當眼處以供消防處人員查核
 This certificate should be displayed at prominent location of the building or premises for FSD's inspection if any annual maintenance work is involved.

Authorized Signature: 授權人簽署
 Name: 姓名
 FSD/RC No.: 消防處註冊號碼
 Company Name: 公司名稱
 Telephone: 聯絡電話
 Date: 日期

銀河工程集團有限公司
 CHAN KING SUM
 RC3/819
 Galaxy Engineering Holding Company Limited
 9107 9494 / 2529 4885
 02 Nov, 2023

For FSD use only:
 Inspected
 Key-in
 Verified

FIRE SERVICE (INSTALLATIONS AND EQUIPMENT) REGULATIONS

消防(裝置及設備)規例
(Regulation 9(1))
(第九條(1)款)

A 9299785

CERTIFICATE OF FIRE SERVICE INSTALLATION AND EQUIPMENT
消防裝置及設備證書

Name of Client / 顧客姓名: Synergis Facility Management Limited O/B Ace Precision Investments Limited

Name of Building / 樓宇名稱: Hing Man Shopping Centre & Carpark

Street No./Town Lot / 門牌號數/市地段: [Blank] Street/Road/Estate Name / 街道/屋苑名稱: Hing Man Estate

Block / 座: [Blank] District / 分區: Chai Wan Area / 地區: HK 香港 K 九龍 NT 新界

Type of Building / 樓宇類型: Industrial 工業 Commercial 商業 Domestic 住宅 Composite 綜合 Licensed premises 持牌處所 Institutional 社團

Part 1 Annual Inspection ONLY
第一部 只適用於年檢事項

In accordance with Regulation 8(b) of Fire Service (Installations and Equipment) Regulations, the owner of any fire service installation or equipment which is installed in any premises shall have such fire service installation or equipment inspected by a registered contractor at least once in every 12 months. 根據消防(裝置及設備)規例第八條(b)款，擁有裝置在任何處所內的任何消防裝置或設備的人，須每12個月由一名註冊承辦商檢查該等消防裝置或設備至少一次。

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s) 位置	Comment on Condition 狀況評述	Completion Date 完成日期(DD/MM/YY)	Next Due Date 下次到期日(DD/MM/YY)
			NIL		

Part 2 第二部 Installation / Modification / Repair / Inspection work 裝置/改裝/修理/檢查工作

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s) 位置	Nature of Work Carried out 完成之工作內容	Comment on Condition 狀況評述	Completion Date 完成日期(DD/MM/YY)
13	Fire Alarm System (MFA)	L4/F	Supply & replace breakglass unit x 1 no.	Conforms with FSD requirements	02 Nov, 2023
13	Fire Alarm System (MFA)	L4/F	Supply & replace battery x 2 nos.	Conforms with FSD requirements	02 Nov, 2023
15	Fire Detection System	L3/F, L5/F	Supply & replace heat detector x 2 nos.	Conforms with FSD requirements	02 Nov, 2023
16	FH/HR System	L3/F, L1/F	Supply & replace nozzle box x 2 nos.	Conforms with FSD requirements	02 Nov, 2023
16	FH/HR System	L3/F, L2/F, L1/F	Supply & replace hose guide x 5 nos.	Conforms with FSD requirements	02 Nov, 2023
16	FH/HR System	L5/F	Overhaul F.S. inlet x 4 nos.	Conforms with FSD requirements	02 Nov, 2023
28	Sprinkler System	L4/F	Overhaul sprinkler inlet x 2 nos.	Conforms with FSD requirements	02 Nov, 2023
28	Sprinkler System	L4/F	Overhaul sprinkler control valve x 2 nos.	Conforms with FSD requirements	02 Nov, 2023


Part 3 第三部 Defects 損壞事項

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s) 位置	Outstanding Defects 未修缺點	Comment on Defects 缺點評述
			NIL	

I/We hereby certify that the above installations/equipment have been tested and found to be in efficient working order in accordance with the Codes of Practice for Minimum Fire Service Installations and Equipment and Inspection, Testing and Maintenance of Installations and Equipment published from time to time by the Director of Fire Services. Defects are listed in Part 3.

本人藉此證明以上之消防裝置及設備經試驗，證明性能良好，符合消防處處長不時公佈之最低限度之消防裝置及設備守則與裝置及設備之檢查測試及保養守則之規格，損壞事項列於第三部。

如證書涉及年檢事項，應張貼於大廈或處所當眼處以供消防處人員查核
This certificate should be displayed at prominent location of the building or premises for FSD's inspection if any annual maintenance work is involved.

Authorized Signature / 授權人簽署: 

Name / 姓名: TING TIN YAU

FSD/RC No. / 消防處註冊號碼: RC 1/488, RC 2/661

Company Name / 公司名稱: Galaxy Engineering Holding Company Limited

Telephone / 聯絡電話: 9107 9494 / 2529 4885

Date / 日期: 02 Nov, 2023

For FSD use only: Inspected, Key-in, Verified

FIRE SERVICE (INSTALLATIONS AND EQUIPMENT) REGULATIONS
 消防(裝置及設備)規例
 (Regulation 9(1))
 (第九條(1)款)
 CERTIFICATE OF FIRE SERVICE INSTALLATION AND EQUIPMENT
 消防裝置及設備證書

A 9203001

SD Ref.: _____
 消防處編號

Name of Client / 顧客姓名: Synergis Facility Management Limited O/B Ace Precision Inverments Limited

Name of Building / 樓宇名稱: Hing Man Shopping Centre & Carpark

Street No./Town Lot / 門牌號數/市地段: _____ Street/Road/Estate Name / 街道/屋苑名稱: Hing Man Estate

Block / 座: _____ District / 分區: Chai Wan Area / 地區: HK 香港 K 九龍 NT 新界

Type of Building 樓宇類型: Industrial 工業 Commercial 商業 Domestic 住宅 Composite 綜合 Licensed premises 持牌處所 Institutional 社團

Part I Annual Inspection ONLY
 第一部 只適用於年檢事項

In accordance with Regulation 8(b) of Fire Service (Installations and Equipment) Regulations, the owner of any fire service installation or equipment which is installed in any premises shall have such fire service installation or equipment inspected by a registered contractor at least once in every 12 months. 根據消防(裝置及設備)規例第八條(b)款，擁有裝置在任何處所內的任何消防裝置或設備的人，須每12個月由一名註冊承辦商檢查該等消防裝置或設備至少一次。

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s) 位置	Comment on Condition 狀況評述	Completion Date 完成日期(DD/MM/YY)	Next Due Date 下次到期日(DDMMYY)
11	Emergency Lighting	Whole Building (Common Area)	Conforms with FSD requirements	07 May, 2023	08 May, 2024
12	Exit Sign	Whole Building	Conforms with FSD requirements		
13	Fire Alarm System (MFA)	Whole Building	Conforms with FSD requirements (Defect see part 3)	03 May, 2023	08 May, 2024
15	Fire Detection System	Whole Building	Conforms with FSD requirements (Defect see part 3)	03 May, 2023	08 May, 2024
16	FH / HR Systems	Whole Building	Conforms with FSD requirements (Defect see part 3)	09 May, 2023	08 May, 2024
17	Fire Stutter x 1 no	L5	Conforms with FSD requirements	07 May, 2023	08 May, 2024
28	Sprinkler System	Whole Building	Conforms with FSD requirements (Defect see part 3)	07 May, 2023	08 May, 2024

Part 2 第二部 Installation / Modification / Repair / Inspection work 裝置/改装/修理/檢查工作

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s) 位置	Nature of Work Carried out 完成之工作內容	Comment on Condition 狀況評述	Completion Date 完成日期(DDMMYY)
			NIL		

Part 3 第三部 Defects 損壞事項

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s) 位置	Outstanding Defects 未修缺點	Comment on Defects 缺點評述
13	Fire Alarm System (MFA)	L1/F	Breakglass unit malfunction x 1 no.	Need replacement
13	Fire Alarm System (MFA)	L1/F	Battery fault x 2 nos	Need replacement
15	Fire Detection System	L3/F, L3/F	Heat detector malfunction x 4 nos.	Need replacement
16	FH/HR System	L3/F, L1/F	Nozzle box damage x 2 nos	Need replacement
14	FH/HR System	L3/F, L2/F, L1/F	Hose guide damage x 5 nos.	Need replacement
16	FH/HR System	L5/F	F.S. inlet need to inspect the condition x 4 nos. (Refer to FSD circular letter 3/2021)	Need overhaul / replacement
25	Sprinkler System	L4/F	Sprinkler inlet need to inspect the condition x 3 nos. (Refer to FSD circular letter 3/2021)	Need overhaul / replacement
26	Sprinkler System	L4/F	Sprinkler control valve need to inspect the condition x 2 nos. (Refer to FSD circular letter 3/2021)	Need overhaul / replacement

I/We hereby certify that the above installations/equipment have been tested and found to be in efficient working order in accordance with the Codes of Practice for Minimum Fire Service Installations and Equipment and Inspection, Testing and Maintenance of Installations and Equipment published from time to time by the Director of Fire Services. Defects are listed in Part 3.

本人藉此證明以上之消防裝置及設備經試驗，證明性能良好，符合消防處處長不時公佈之最低限度之消防裝置及設備守則與裝置及設備之檢查測試及保養守則的規格，損壞事項列於第三部。

如證書涉及年檢事項，應張貼於大廈或處所當眼處以供消防處人員查核
 This certificate should be displayed at prominent location of the building or premises for FSD's inspection if any annual maintenance work is involved.

Authorized Signature / 授權人簽署: 
 Name / 姓名: TING TIN YAU
 FSD/RC No. / 消防處註冊號碼: RC 1/488, RC 2/661
 Company Name / 公司名稱: Galaxy Engineering Holding Company Limited
 Telephone / 聯絡電話: 9107 9494 / 2529 4885
 Date / 日期: 09 May, 2023

For FSD use only:
 Inspected: _____
 Key-in: _____
 Verified: _____

FIRE SERVICE (INSTALLATIONS AND EQUIPMENT) REGULATIONS
 消防(裝置及設備)規例
 (Regulation 9(1))
 (第九條(1)款)
 CERTIFICATE OF FIRE SERVICE INSTALLATION AND EQUIPMENT
 消防裝置及設備證書

A 9205135

SD Ref.: _____
 消防處編號

Name of Client: Synergis Facility Management Limited O/B Ace Precision Investments Limited
 顧客姓名

Name of Building: Hing Man Shopping Centre & Carpark
 樓宇名稱

Street No./Town Lot: _____ Street/Road/Estate Name: Hing Man Estate
 門牌號數/市地段 街道/屋苑名稱

Block: _____ District: Chai Wan Area: HK K NT
 座 分區 地區 香港 九龍 新界

Type of Building 樓宇類型: Industrial 工業 Commercial 商業 Domestic 住宅 Composite 綜合 Licensed premises 持牌處所 Institutional 社團

Part 1 Annual Inspection ONLY 第一部 只適用於年檢事項		In accordance with Regulation 8(b) of Fire Service (Installations and Equipment) Regulations, the owner of any fire service installation or equipment which is installed in any premises shall have such fire service installation or equipment inspected by a registered contractor at least once in every 12 months. 根據消防(裝置及設備)規例第八條(b)款, 擁有裝置在任何處所內的任何消防裝置或設備的人, 須每12個月由一名註冊承辦商檢查該等消防裝置或設備至少一次。			
Code No. (1-35)	Type of FSI 裝置類型	Location(s) 位置	Comment on Condition 狀況評述	Completion Date 完成日期(DD/MM/YY)	Next Due Date 下次到期日(DD/MM/YY)
24	Portable Fire Extinguisher 6 kg dry powder type F. E. x 1 no.	L3	Conforms with FSD requirements	09 May, 2023	08 May, 2024
	5 kg CO2 (gas) type F. E. x 5 nos	L3, C/F, R/F	Conforms with FSD requirements (Defect see part 3)	09 May, 2023	08 May, 2024
	9 litres water type F. E. x 12 nos	L1, L2, L3	Conforms with FSD requirements	09 May, 2023	08 May, 2024
25	Portable Hand-operated Approved Appliance Sand Bucket x 15 nos.	L1, L2, L3	Conforms with FSD requirements (Defect see part 3)	09 May, 2023	08 May, 2024

Part 2 第二部 Installation / Modification / Repair / Inspection work 裝置/改裝/修理/檢查工作					
Code No. (1-35)	Type of FSI 裝置類型	Location(s) 位置	Nature of Work Carried out 完成之工作內容	Comment on Condition 狀況評述	Completion Date 完成日期(DD/MM/YY)
			NIL		

Part 3 第三部 Defects 損壞事項				
Code No. (1-35)	Type of FSI 裝置類型	Location(s) 位置	Outstanding Defects 未修缺點	Comment on Defects 缺點評述
24	Portable Fire Extinguisher	C/F	3 kg CO2 (gas) type F.E. expired x 1 no.	Need hydraulic test / replacement
25	Portable Hand-operated Approved Appliance	L2/F	Sand bucket missing x 1 no.	Need supply
25	Portable Hand-operated Approved Appliance	L2/F	Sand bucket damage x 2 nos.	Need replacement

I/We hereby certify that the above installations/equipment have been tested and found to be in efficient working order in accordance with the Codes of Practice for Minimum Fire Service Installations and Equipment and Inspection, Testing and Maintenance of Installations and Equipment published from time to time by the Director of Fire Services. Defects are listed in Part 3.

本人藉此證明以上之消防裝置及設備經試驗, 證明性能良好, 符合消防處處長不時公佈之最低限度之消防裝置及設備守則與裝置及設備之檢查測試及保養守則的規格, 損壞事項列於第三部。

如證書涉及年檢事項, 應張貼於大廈或處所當眼處以供消防處人員查核
 This certificate should be displayed at prominent location of the building or premises for FSD's inspection if any annual maintenance work is involved.

Authorized Signature: 
 授權人簽署

Name: CHAN KING SUN
 姓名

FSD/RC No.: RC3/819
 消防處註冊號碼

Company Name: Galaxy Engineering Holding Company Limited
 公司名稱

Telephone: 9107 9494 / 2529 4885
 聯絡電話

Date: 09 May, 2023
 日期

For FSD use only:
 Inspected: _____
 Key-in: _____
 Verified: _____

SD Ref.:
消防處編號

FIRE SERVICE (INSTALLATIONS AND EQUIPMENT) REGULATIONS
消防(裝置及設備)規例
(Regulation 9(1))
(第九條(1)款)
CERTIFICATE OF FIRE SERVICE INSTALLATION AND EQUIPMENT
消防裝置及設備證書

A 9205154

Name of Client / 顧客姓名: Synergis Facility Management Limited O/B Ace Precision Investments Limited

Name of Building / 樓宇名稱: Hing Man Shopping Centre & Carpark

Street No./Town Lot / 門牌號數/市地段: Street/Road/Estate Name / 街道/屋苑名稱: Hing Man Estate

Block / 座: District / 分區: Chai Wan Area / 地區: HK 香港 K 九龍 NT 新界

Type of Building / 樓宇類型: Industrial 工業 Commercial 商業 Domestic 住宅 Composite 綜合 Licensed premises 持牌處所 Institutional 社團

Part 1 Annual Inspection ONLY 第一部 只適用於年檢事項		In accordance with Regulation 8(b) of Fire Service (Installations and Equipment) Regulations, the owner of any fire service installation or equipment which is installed in any premises shall have such fire service installation or equipment inspected by a registered contractor at least once in every 12 months. 根據消防(裝置及設備)規例第八條(b)款, 擁有裝設在任何處所內的任何消防裝置或設備的人, 須每12個月由一名註冊承辦商檢查該等消防裝置或設備至少一次。			
Code No. (1-35) 編碼	Type of FSI 裝置類型	Location(s) 位置	Comment on Condition 狀況評述	Completion Date 完成日期(DD/MM/YY)	Next Due Date 下次到期日(DD/MM/YY)
24	Portable Fire Extinguisher 5 kg CO2 (gas) type P. E. x 2 nos.	Generator & Fuel Tank Room, L3	Conforms with FSD requirements	09 May, 2023	08 May, 2024
25	Portable Hand-operated Approved Appliance Sand Bucket x 2 nos.	Generator & Fuel Tank Room, L3	Conforms with FSD requirements	09 May, 2023	08 May, 2024

Part 2 第二部 Installation / Modification / Repair / Inspection work 裝置/改裝/修理/檢查工作					
Code No. (1-35) 編碼	Type of FSI 裝置類型	Location(s) 位置	Nature of Work Carried out 完成之工作內容	Comment on Condition 狀況評述	Completion Date 完成日期(DD/MM/YY)
			NIL		

Part 3 第三部 Defects 損壞事項				
Code No. (1-35) 編碼	Type of FSI 裝置類型	Location(s) 位置	Outstanding Defects 未修缺點	Comment on Defects 缺點評述
			NIL	

I/We hereby certify that the above installations/equipment have been tested and found to be in efficient working order in accordance with the Codes of Practice for Minimum Fire Service Installations and Equipment and Inspection, Testing and Maintenance of Installations and Equipment published from time to time by the Director of Fire Services. Defects are listed in Part 3.

本人藉此證明以上之消防裝置及設備經試驗, 證明性能良好, 符合消防處處長不時公佈之最低限度之消防裝置及設備守則與裝置及設備之檢查測試及保養守則的規格, 損壞事項列於第三部。

如證書涉及年檢事項, 應張貼於大廈或處所當眼處以供消防處人員查核

This certificate should be displayed at prominent location of the building or premises for FSD's inspection if any annual maintenance work is involved.

F.S. 251 (Rev. 1/2016)

Authorized Signature / 受權人簽署: 

Name / 姓名: CHAN KING

FSD/RC No. / 消防處註冊號碼: RC3/819

Company Name / 公司名稱: Galaxy Engineering Holding Company Limited

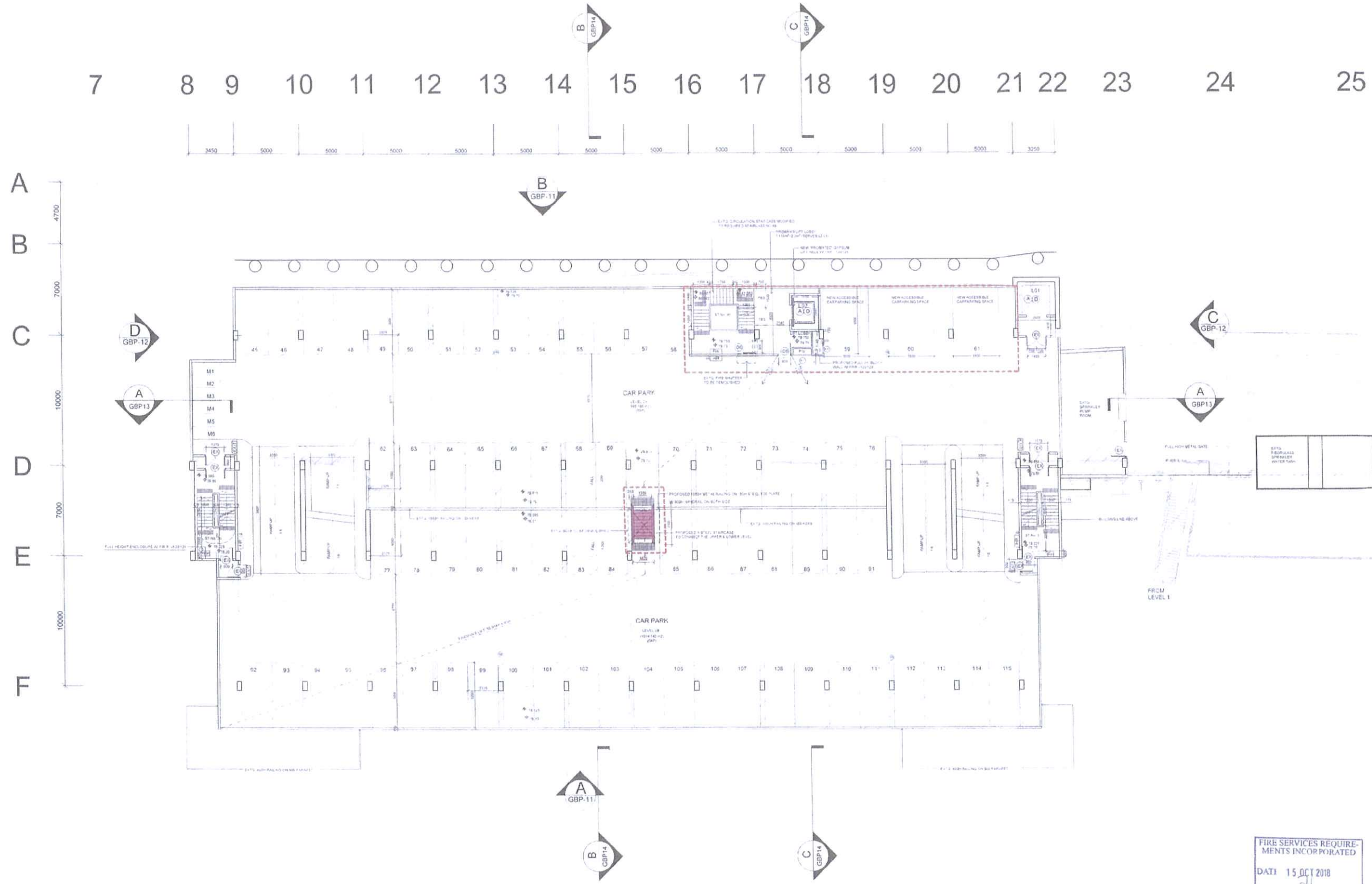
Telephone / 聯絡電話: 9107 9494 / 2529 4885

Date / 日期: 09 May, 2023

For FSD use only:
Inspected
Key-in
Verified



NO.	DESCRIPTION	DATE
-	1ST SUBMISSION	3/11/2016
X	2ND SUBMISSION	11/01/2017
E	3RD SUBMISSION	29/03/2017
C	1ST AMENDMENT	4/04/2017
D	2ND AMENDMENT	06/01/2018
E	3RD AMENDMENT	04/05/2018
F	4TH AMENDMENT	31/08/2018



AUTHORIZED PERSON'S SIGNATURE: WORKS HING TANG

CONSULTANT:
JOHN HY YIP SURVEYORS LTD.
ADDRESS: UNIT F, EFFORTE INDUSTRIAL BUILDING
2 B KIPING HO STREET, KWAI CHUNG, NT
TEL: 2155 0938 FAX: 2155 0733
E-MAIL: JHY@JHYSURV.COM

CLIENT:
ACE AMPLE HONG KONG LIMITED

PROJECT:
ADDITIONS & ALTERATIONS WORKS TO
COMMERCIAL / CARPARK BLOCK,
HING MAN SHOPPING CENTRE,
NO. 188 TAI TAM ROAD, HONG KONG.

DRAWING TITLE:
LAYOUT PLAN - LEVEL 2

PROJECT NO.	DATE	SCALE
PHK1617	1 AUG 2018	1:150 @ A1

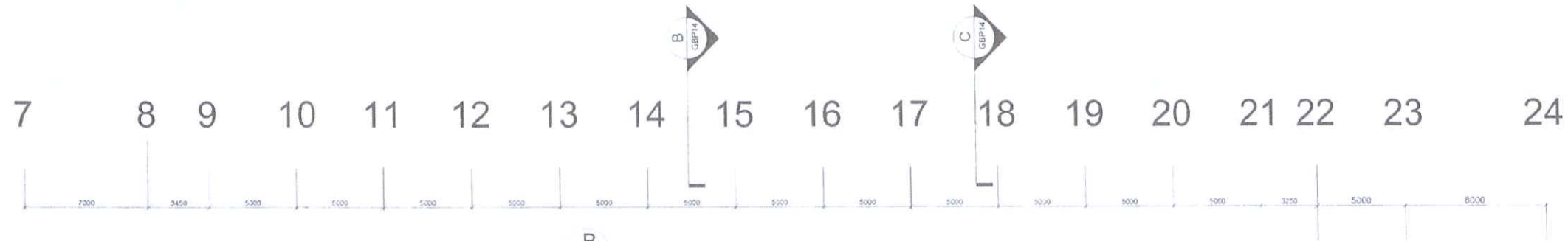
FOR ICU SUBMISSION

FIRE SERVICES REQUIREMENTS INCORPORATED
DATE: 15 OCT 2018
(CHAN Wai-shun)
Senior Station Officer

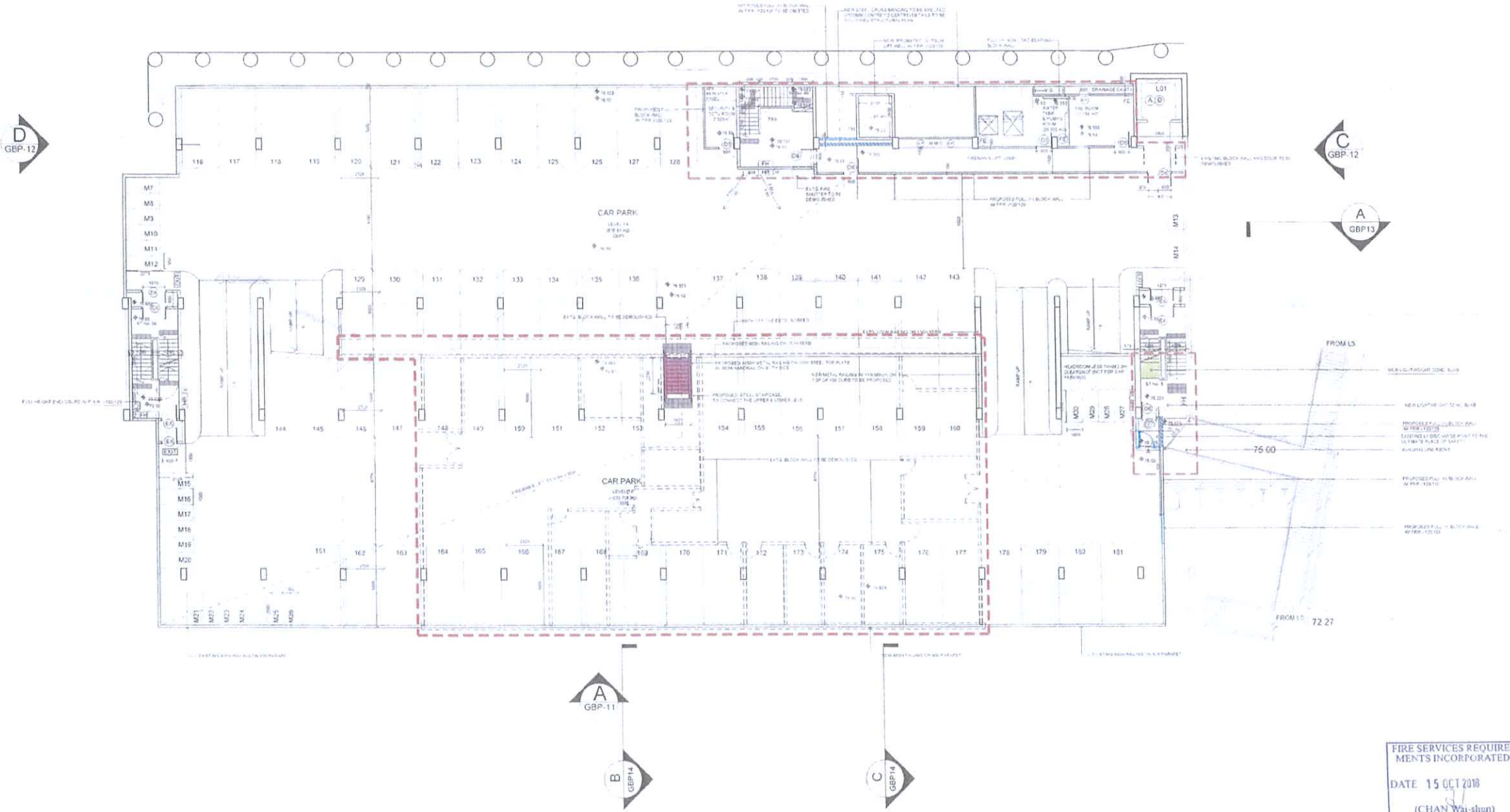
THE WORKS SHOWN ON THESE PLANS ARE TYPE II WORKS IN RESPECT OF WHICH CONSENT IS APPLIED FOR THE PURPOSE OF FAST TRACK CONSENT APPLICATION UNDER REGULATION 33 OF THE BUILDING (ADMINISTRATION) REGULATIONS.

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REVISIONS		
NO.	DESCRIPTION	DATE
	1ST SUBMISSION	31/12/2018
A	2ND SUBMISSION	11/01/2017
B	3RD SUBMISSION	29/03/2017
C	1ST AMENDMENT	4/09/2017
D	2ND AMENDMENT	08/01/2018
E	3RD AMENDMENT	04/05/2018
F	4TH AMENDMENT	01/08/2018



A
B
C
D
E
F



FIRE SERVICES REQUIREMENTS INCORPORATED
DATE: 15 OCT 2018
(CHAN Wai-shun)
Senior Station Officer

AUTHORIZED PERSON'S SIGNATURE: WONG SHING TSANG

CONSULTANT:
JOHN HY YIP SURVEYORS LTD.
ADDRESS: UNIT 7, EFFICIENT INDUSTRIAL BUILDING
288 KUNGSANG STREET, KWAI CHUNG, NT
TEL: 2155 0733 FAX: 2155 0933
EMAIL: JOHN@HYIP.SURVEYORS.HK

CLIENT:
ACE AMPLE HONG KONG LIMITED

PROJECT:
ADDITIONS & ALTERATIONS WORKS TO
COMMERCIAL / CARPARK BLOCK,
HING MAN SHOPPING CENTRE,
NO. 188 TAI TAM ROAD, HONG KONG.

DRAWING TITLE:
LAYOUT PLAN - LEVEL 1

PROJECT NO.	OPERATION	SECTION
PHK16117	GBP-04	F
DATE	SCALE	
1 AUG 2018	1:50 & A1	
DESIGNED BY	CHECKED BY	REVIEWED BY
EMW	JOY	JOY

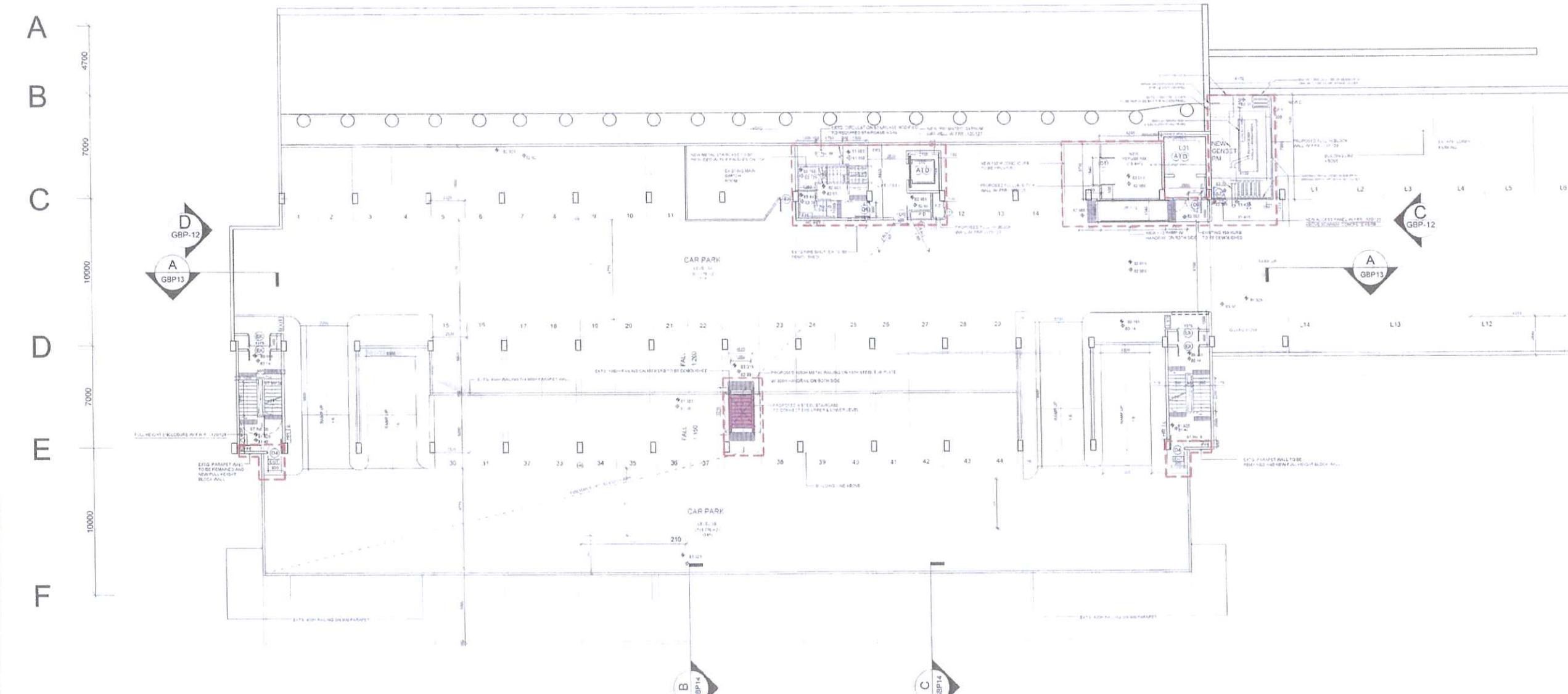
FOR ICU SUBMISSION

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NO.	DESCRIPTION	DATE
1	1ST SUBMISSION	31/12/2016
2	2ND SUBMISSION	11/01/2017
3	3RD SUBMISSION	29/03/2017
4	1ST AMENDMENT	04/09/2017
5	2ND AMENDMENT	08/11/2018
6	3RD AMENDMENT	14/11/2018
7	4TH AMENDMENT	01/06/2018

7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25



APPROVED PERSON'S SIGNATURE: WONG SHING TANG

CONSULTANT:

JOHN HY YIP SURVEYORS LTD.
 ADDRESS: UNIT 1, SHEWAN TOMES BLDG, 5/F, 401-403 WING LOK STREET, KWAI LUNG, H.K.
 TEL: 2155 0938 FAX: 2155 0932
 EMAIL: INFO@JOHNYIP.NET

CLIENT:

ACE AMPLE HONG KONG LIMITED

PROJECT:
 ADDITIONS & ALTERATIONS WORKS TO
 COMMERCIAL / CARPARK BLOCK,
 HING MAN SHOPPING CENTRE
 NO. 188 TAI TAM ROAD, HONG KONG.

DRAWING TITLE:

LAYOUT PLAN - LEVEL 3

PROJECT NO.	DATE	SCALE
PHK16117	1 AUG 2018	1:150 @ A1

DATE	BY	CHECKED BY	APPROVED BY
1 AUG 2018	JOY	JOY	JOY

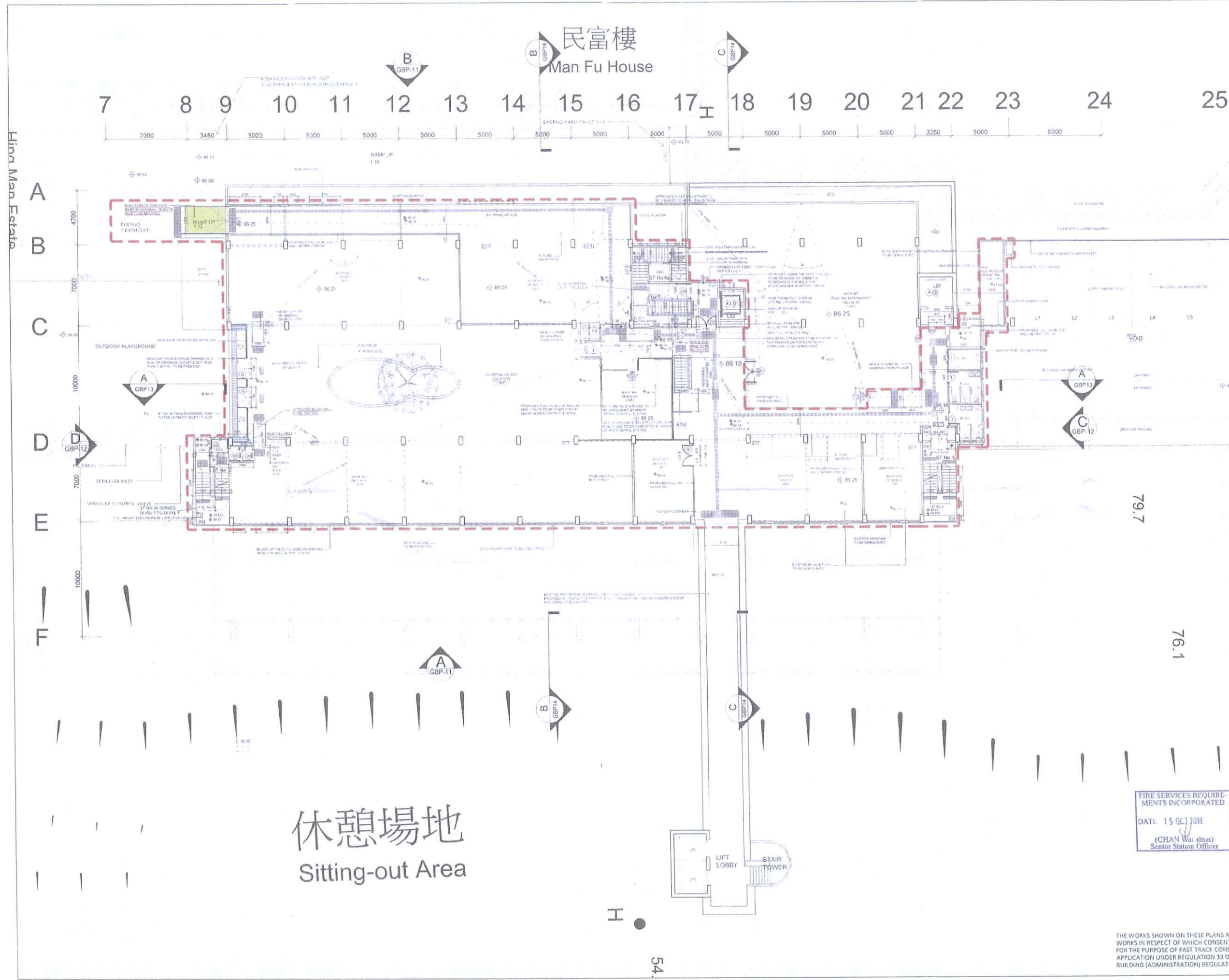
FOR ICU SUBMISSION

FIRE SERVICES REQUIREMENTS INCORPORATED
 DATE: 15 OCT 2018
 (CHAN Wai-shun)
 Senior Station Officer

THE WORKS SHOWN ON THESE PLANS ARE TYPE II WORKS IN RESPECT OF WHICH CONSENT IS APPLIED FOR THE PURPOSE OF FAST TRACK CONSENT APPLICATION UNDER REGULATION 33 OF THE BUILDING (ADMINISTRATION) REGULATIONS.

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NO.	DESCRIPTION	DATE
1	1ST SUBMISSION	31/1/2018
2	2ND SUBMISSION	11/01/2017
3	3RD SUBMISSION	29/03/2017
4	1ST AMENDMENT	04/07/2017
5	2ND AMENDMENT	08/07/2018
6	3RD AMENDMENT	14/05/2018
7	4TH AMENDMENT	07/06/2018



AUTHORIZED PERSON SIGNATURE: WONG SANG HANG

CONSULTANT
JOHN HY YIP SURVEYORS LTD.
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 2-9 WING YIP STREET, HING MAN CHONG, 417
 TEL: 2155 5511 FAX: 2155 5512
 EMAIL: JHY@JHYSL.COM

CLIENT: ACE AMPLE HONG KONG LIMITED

PROJECT
 ADDITIONS & ALTERATIONS WORKS TO
 COMMERCIAL / CARPARK BLOCK,
 HING MAN SHOPPING CENTRE,
 NO.188 TAI TAM ROAD, HONG KONG.

DRAWING TITLE
 LAYOUT PLAN - LEVEL 4

PROJECT NO.	DRAWING NO.	SECTION
FHC16117	GEP-07	F

DATE	SCALE
1 AUG 2018	1:150 @ A1

DATE	BY	CHECKED BY	APPROVED BY
EMW	JYT	JYT	JYT

FOR ICU SUBMISSION

DO NOT SCALE AND MEASURE THIS DRAWING. THE DIMENSION SHOWN ON THIS DRAWING IS FOR REFERENCE AND INDICATION ONLY. CONTRACTOR SHOULD VERIFY THE SITE CONDITIONS PRIOR TO ANY MANUFACTURING AND CONSTRUCTION. IF THERE IS ANY DISCREPANCY FOUND ON THIS DRAWING AND TO THE SITE CONDITIONS, THE CONTRACTOR IS RESPONSIBLE TO NOTIFY JOHN HY YIP SURVEYORS LTD. IN WRITING. ALL COPYRIGHTS OF THIS DRAWING IS RESERVED BY JOHN HY YIP SURVEYORS LTD. NO REPRODUCTION OF THIS DRAWING UNLESS A WRITTEN CONSENT IS ISSUED BY JOHN HY YIP SURVEYORS LTD. JOHN HY YIP SURVEYORS LTD. DOES NOT RESPONSIBLE FOR ANY DAMAGES AND LOSS DUE TO THE MISUSE OR MISREPRESENTATION OF THIS DRAWING.

FIRE SERVICES REQUIREMENTS INCORPORATED
 DATE: 15 OCT 2018
 (CHAN Wai-shun)
 Senior Station Officer

THE WORKS SHOWN ON THESE PLANS ARE TYPE II WORKS IN RESPECT OF WHICH CONSENT IS APPLIED FOR THE PURPOSE OF FAST TRACK CONSENT APPLICATION UNDER REGULATION 33 OF THE BUILDING (ADMINISTRATION) REGULATIONS

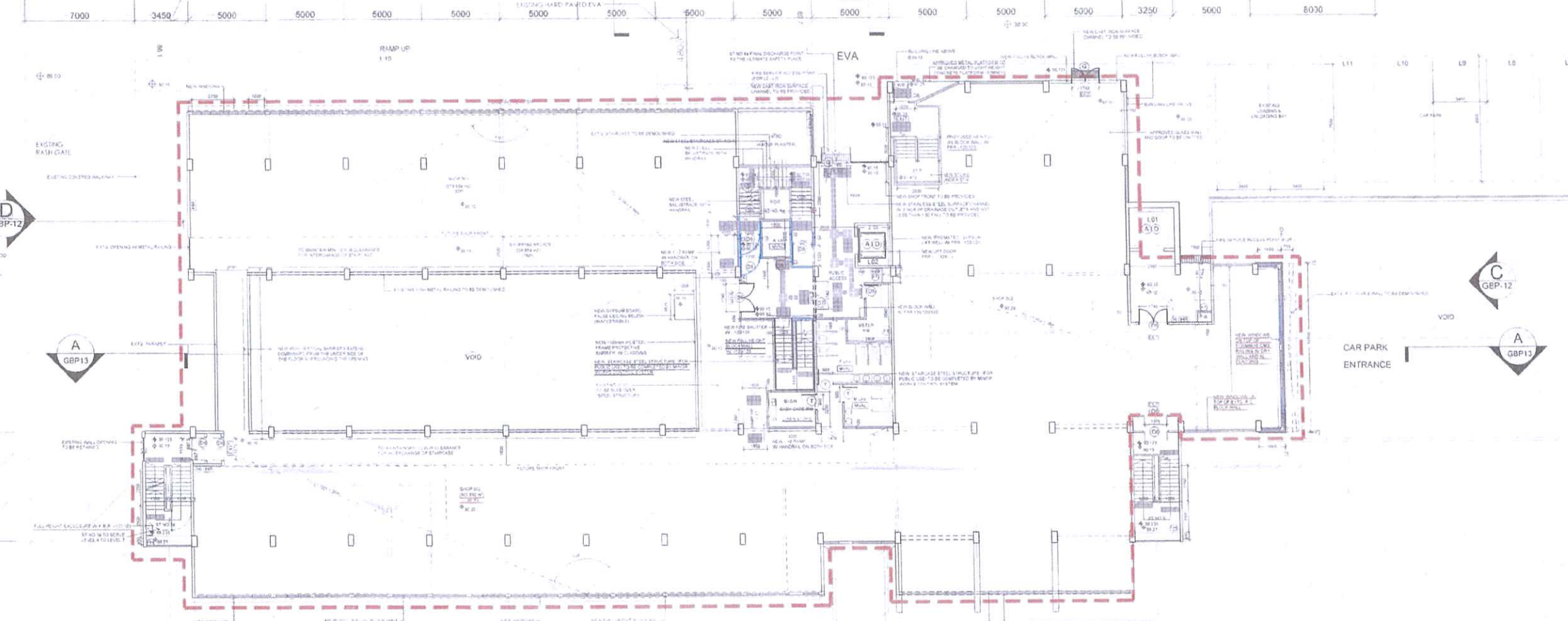
Hing Man Estate

NO.	DESCRIPTION	DATE
1	1ST SUBMISSION	21/11/2014
2	2ND SUBMISSION	11/01/2017
3	3RD SUBMISSION	29/03/2017
4	1ST AMENDMENT	04/07/2017
5	2ND AMENDMENT	06/01/2018
6	3RD AMENDMENT	04/03/2018
7	4TH AMENDMENT	01/08/2018

民富樓
Man Fu House

7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25

A
B
C
D
E
F



休憩場地
Sitting-out Area

FIRE SERVICES REQUIREMENTS INCORPORATED
DATE 15 OCT 2018
(CHAN Wai-shun)
Senior Station Officer

AUTHORIZED PERSON SIGNATURE: WONG SHING ISANG

CONSULTANT
JOHN HY YIP SURVEYORS LTD.

ADDRESS: UNIT 1101 INDUSTRIAL BUILDING
218 KING YIP STREET, KWAI CHUNG, N.T.
TEL: 2155 0935 FAX: 2155 0933
EMAIL: JHY@JOHNYIP.NET

CLIENT
ACE AMPLE HONG KONG LIMITED

PROJECT
ADDITIONS & ALTERATIONS WORKS TO
COMMERCIAL / CARPARK BLOCK,
HING MAN SHOPPING CENTRE,
NO. 188 TAI TAM ROAD, HONG KONG.

DRAWING TITLE
LAYOUT PLAN - LEVEL 5

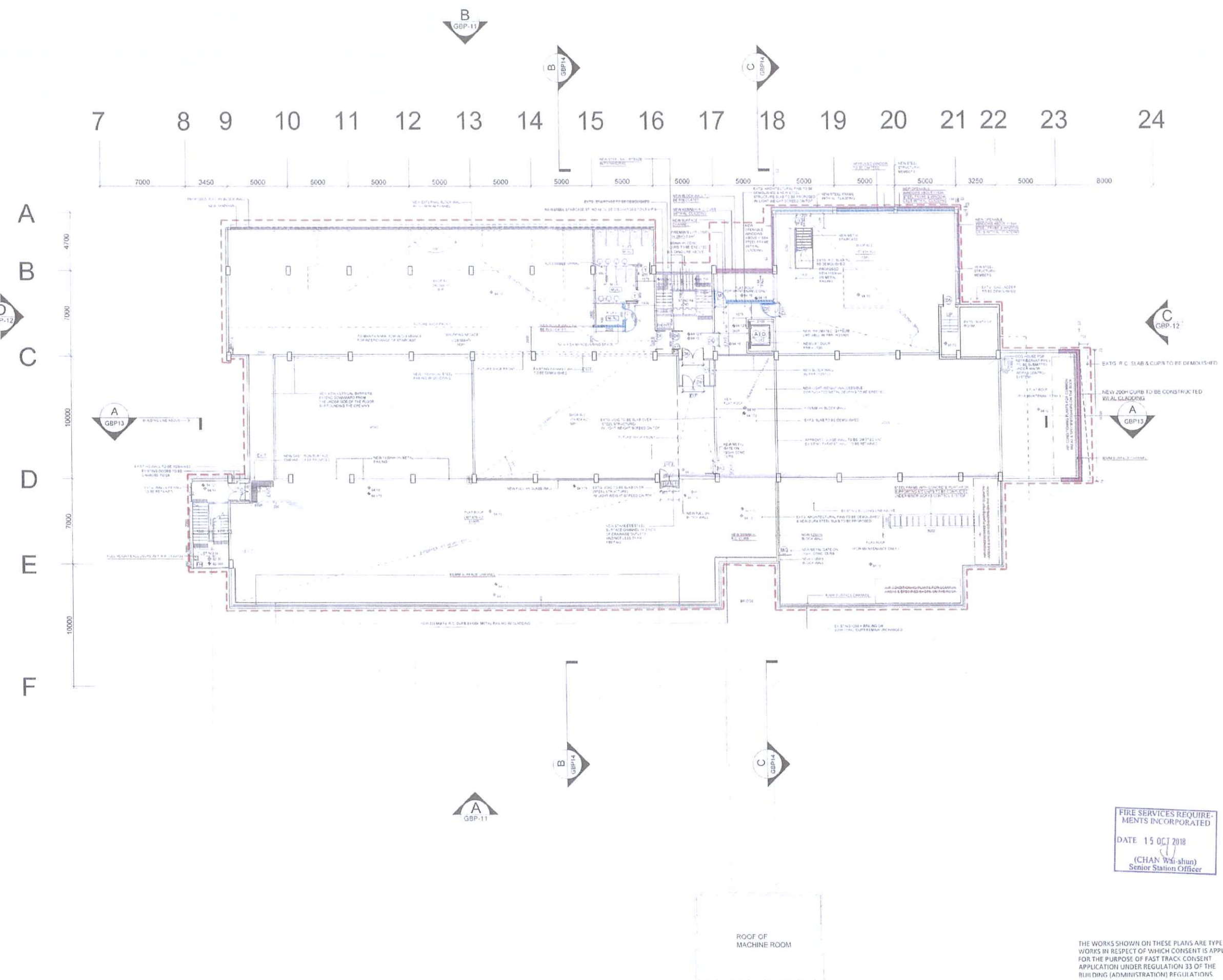
PROJECT NO.	DATE	SCALE
PHK16117	1 AUG 2018	1:150 @ A1
DESIGNED BY	CHECKED BY	APPROVED BY
ENW	JOY	JOY

FOR ICU SUBMISSION

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NO.	DESCRIPTION	DATE
1	1st SUBMISSION	31/11/2016
2	2nd SUBMISSION	11/01/2017
3	3rd SUBMISSION	29/03/2017
4	1st AMENDMENT	04/09/2017
5	2nd AMENDMENT	07/03/2018
6	3rd AMENDMENT	04/05/2018
7	4th AMENDMENT	21/08/2018



ARCHITECTS: PERKINS+WILL HONG KONG

CONSULTANT:

JOHN HY YIP SURVEYORS LTD.

ADDRESS: UNIT 8, EFFOR INDUSTRIAL BUILDING, 218 KUNING YIP STREET, KWAI CHUNG, N.T. TEL: 2155 0330 FAX: 2155 0333 EMAIL: JHY@JHYSP.COM.HK

CLIENT:

ACE AMPLE HONG KONG LIMITED

PROJECT: ADDITIONS & ALTERATIONS WORKS TO COMMERCIAL / CARPARK BLOCK, HING MAN SHOPPING CENTRE, NO.188 TAI TAM ROAD, HONG KONG.

DRAWING TITLE:

LAYOUT PLAN - LEVEL 6

PROJECT NO: PHK12117 DRAWING NO: GBP 09 SCALE: 1:150 @ A1

DATE: 1 AUG 2018

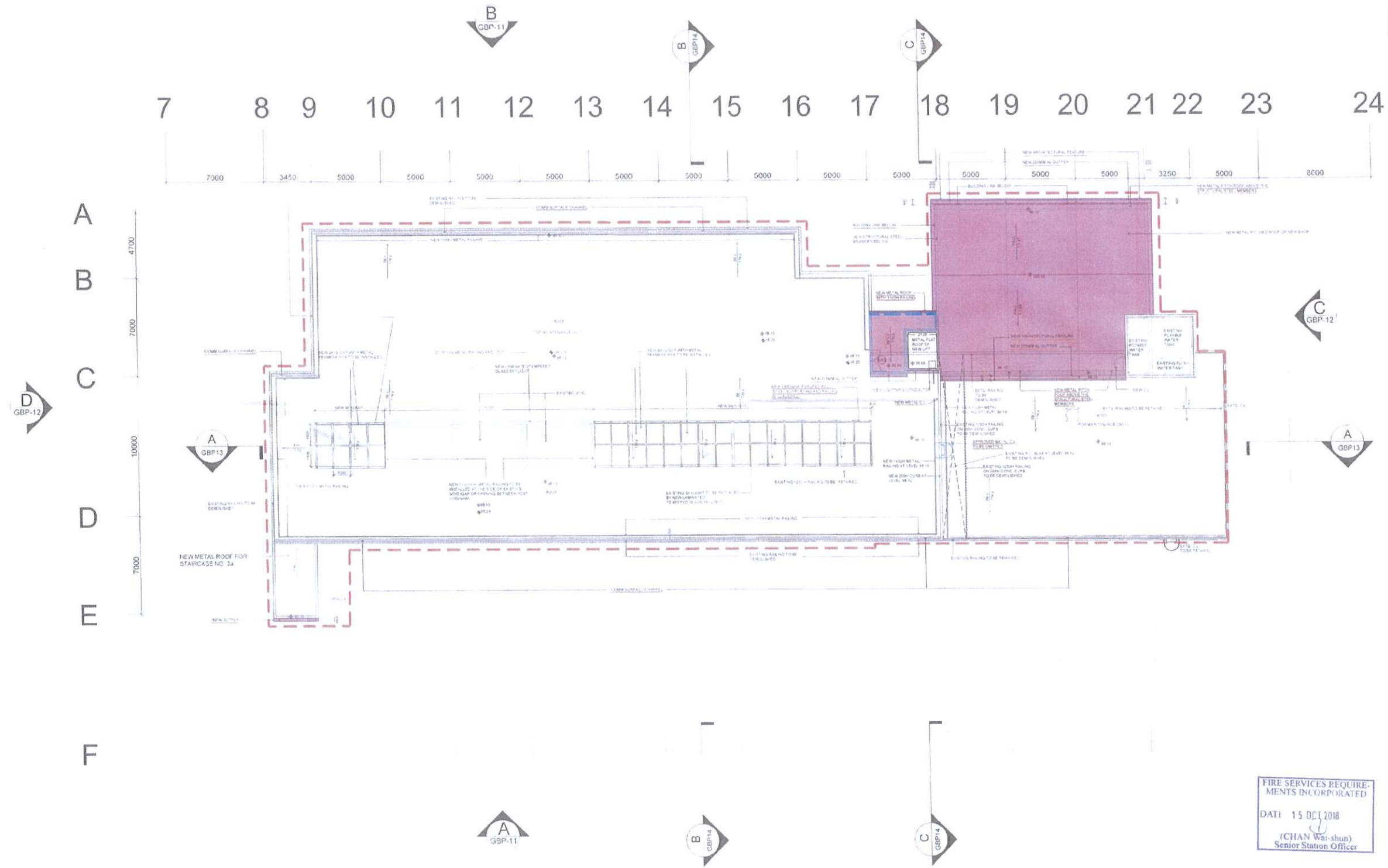
FOR ICU SUBMISSION

FIRE SERVICES REQUIREMENTS INCORPORATED
 DATE 15 OCT 2018
 (CHAN Wai-shun)
 Senior Station Officer

THE WORKS SHOWN ON THESE PLANS ARE TYPE II WORKS IN RESPECT OF WHICH CONSENT IS APPLIED FOR THE PURPOSE OF FAST TRACK CONSENT APPLICATION UNDER REGULATION 33 OF THE BUILDING (ADMINISTRATION) REGULATIONS.

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REVISING	DESCRIPTION	DATE
1	1ST SUBMISSION	3/11/2016
2	2ND SUBMISSION	11/01/2017
3	3RD SUBMISSION	28/03/2017
4	1ST AMENDMENT	04/07/2017
5	2ND AMENDMENT	01/02/2018
6	3RD AMENDMENT	04/05/2018
7	4TH AMENDMENT	31/08/2018



AUTHORIZED PERSON'S SIGNATURE: WONG SHUK-LEUNG

CONSULTANT

JOHN HY YIP SURVEYORS LTD.
 ADDRESS: UNIT 1, FREEDOM INDUSTRIAL BUILDING,
 28 BISHOP STREET, KWAI CHUNG, 1/F,
 1/F, 215 SIKHSS PARK, 2155 09-33
 EMAIL: INFO@JOHNYIP.HK

CABINET
 ACE AMPLE HONG KONG LIMITED

PROJECT
 ADDITIONS & ALTERATIONS WORKS TO
 COMMERCIAL / CARPARK BLOCK,
 HING MAN SHOPPING CENTRE,
 NO. 188 TAI TAM ROAD, HONG KONG

DRAWING FILE
 LAYOUT PLAN - ROOF

NO.	DATE	BY	CHECKED	SCALE
PHK16117	1 AUG 2018	EMW	JOY	1:150 @ A1

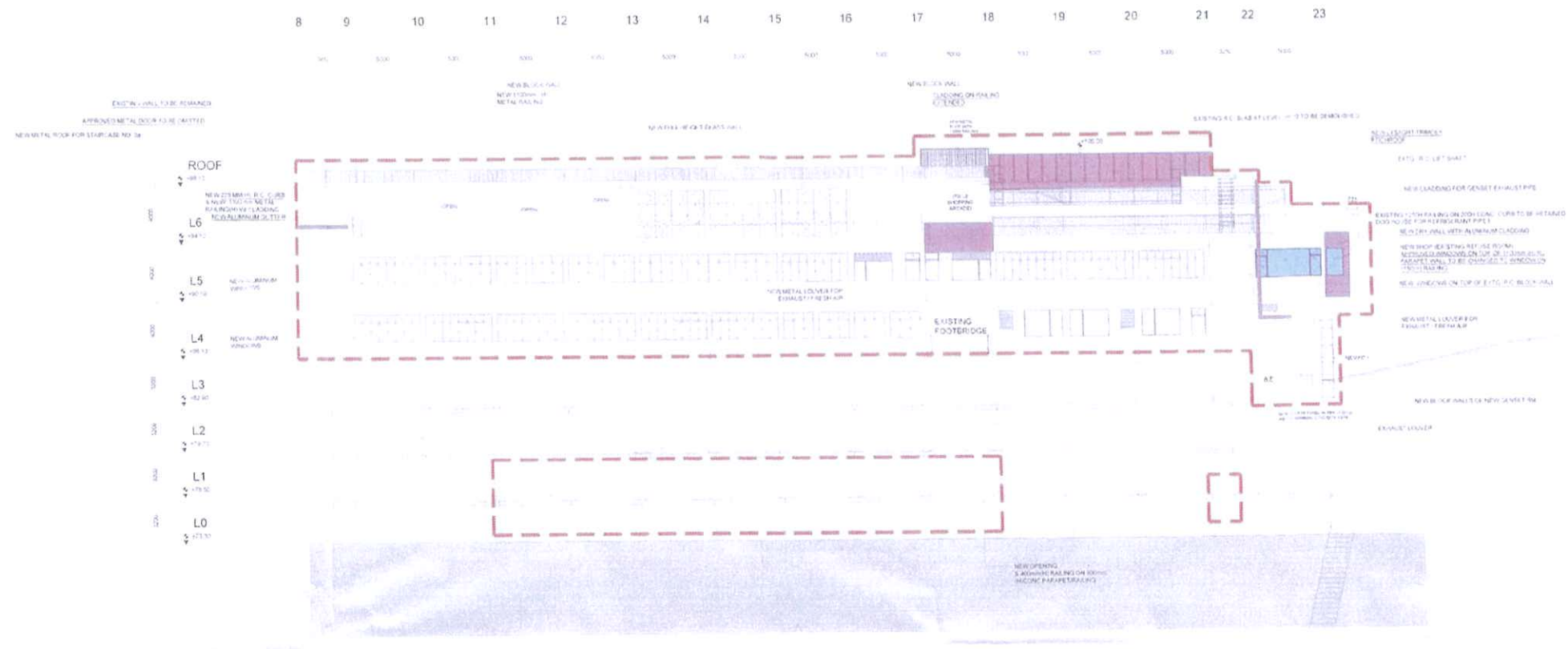
FOR ICU SUBMISSION

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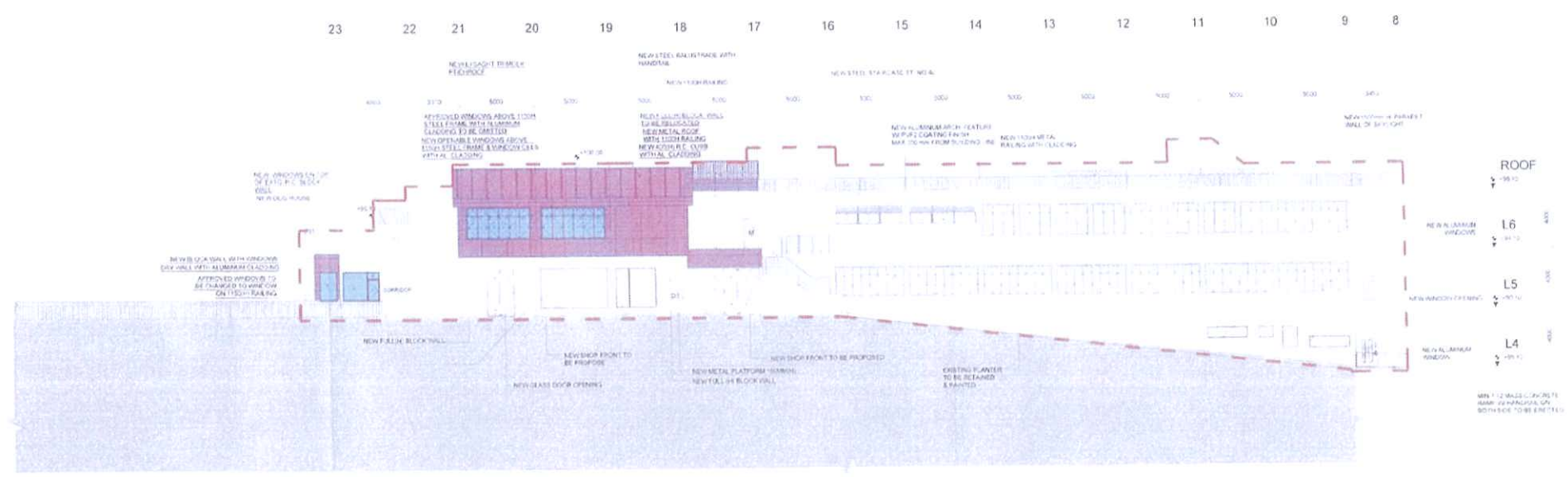
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FIRE SERVICES REQUIREMENTS INCORPORATED
 DATE: 15 DEC 2018
 (CHAN Wai-shun)
 Senior Station Officer

REVISION NO.	DESCRIPTION	DATE
1	1ST SUBMITTION	07/11/2016
2	2ND SUBMITTION	11/01/2017
3	3RD SUBMITTION	29/03/2017
4	1ST AMENDMENT	04/09/2017
5	2ND AMENDMENT	04/02/2018
6	3RD AMENDMENT	04/05/2018
7	4TH AMENDMENT	01/09/2018



A EAST ELEVATION
GBP-11 SCALE : 1:200



B WEST ELEVATION
GBP-11 SCALE : 1:200

A: ENCLOSED PERFORM SIGNATURE WORKS BY HONG KONG

CONSULTANT
JOHN HY YIP SURVEYORS LTD.
ADDRESS: UNIT 601, 6/F, HUI HAI BUILDING, 208 KING YIP STREET, KWUN CHUNG, TST
TEL: 2125 0333 FAX: 2155 0433
EMAIL: JHY@JHYNET

CLIENT
ACE AMPLE HONG KONG LIMITED

PROJECT
ALTERATION & ADDITIONAL WORKS TO
COMMERCIAL / CARPARK BLOCK,
HING MAN SHOPPING CENTRE
NO. 188 TAI TAM ROAD, HONG KONG

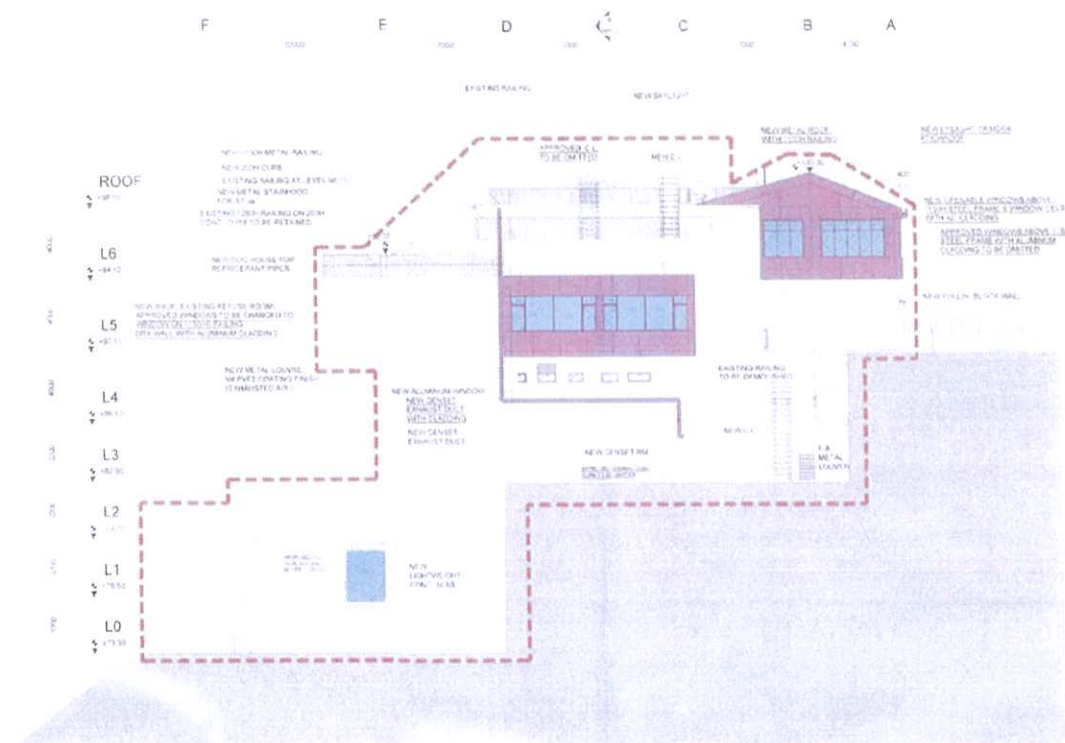
DRAWING TITLE
EASTERN & WESTERN ELEVATIONS
PROJECT NO: GBF-11
DATE: 01 AUG 2018
SCALE: 1:200 @ A1
DRAWN BY: EMW
CHECKED BY: JOY
APPROVED BY: JOY

FIRE SERVICES REQUIREMENTS INCORPORATED
DATE: 15 OCT 2018
(CHAN Wai-shum)
Senior Station Officer

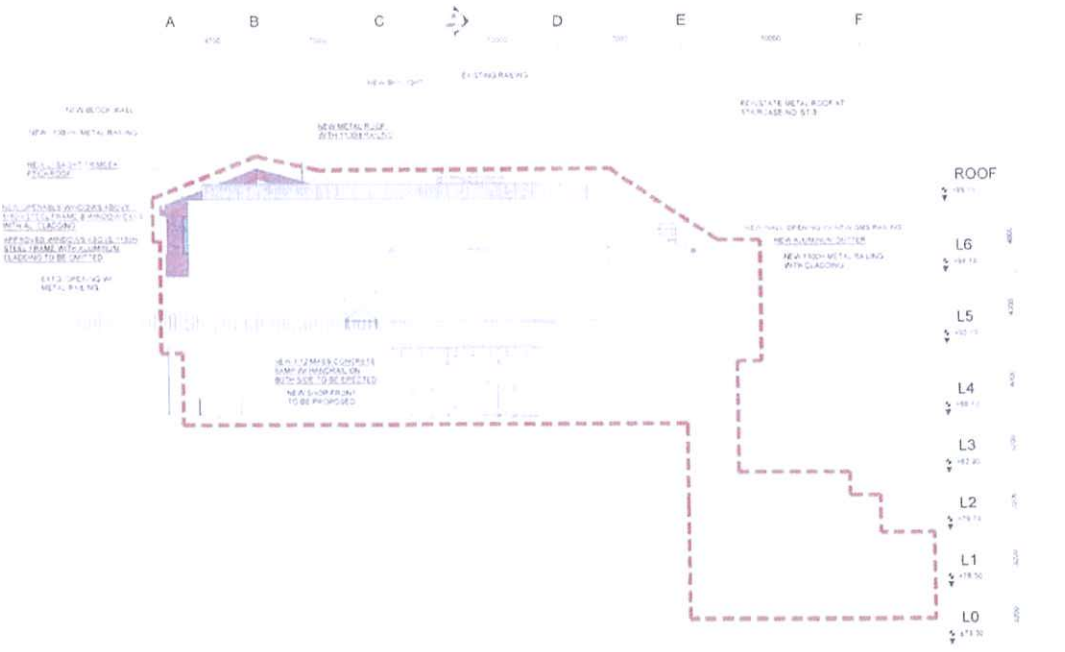
FOR ICU SUBMISSION
DO NOT SCALE AND MEASURE THIS DRAWING. THE DIMENSION SHOWN ON THIS DRAWING IS FOR REFERENCE AND INDICATION ONLY. CONTRACTOR SHOULD VERIFY THE SITE CONDITIONS PRIOR TO ANY MANUFACTURING AND CONSTRUCTION. IF THERE IS ANY DISCREPANCY FOUND ON THIS DRAWING AND TO THE SITE CONDITIONS, THE CONTRACTOR IS RESPONSIBLE TO NOTIFY JOHN HY YIP SURVEYORS LTD. IN WRITING. ALL COPYRIGHTS OF THIS DRAWING IS RESERVED BY JOHN HY YIP SURVEYORS LTD. NO REPRODUCTION OF THIS DRAWING UNLESS A WRITTEN CONSENT IS ISSUED BY JOHN HY YIP SURVEYORS LTD. JOHN HY YIP SURVEYORS LTD. DOES NOT RESPONSIBLE FOR ANY DAMAGES AND LOSS DUE TO THE MISUSE OR MISREPRESENTATION OF THIS DRAWING.

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REV/NO	DESCRIPTION	DATE
1	1ST SUBMISSION	20/10/2016
2	2ND SUBMISSION	11/01/2017
3	3RD SUBMISSION	29/03/2017
4	1ST AMENDMENT	04/09/2017
5	2ND AMENDMENT	06/02/2018
6	3RD AMENDMENT	04/05/2018
7	4TH AMENDMENT	27/09/2018



C NORTH ELEVATION
SCALE: 1:200



D SOUTH ELEVATION
SCALE: 1:200

AUTHORIZED PERSON'S SIGNATURE: WONG SENG HANG

CONSULTANT:

JOHN HY YIP SURVEYORS LTD.
ADDRESS: INTL. A/F, 11/F, 1188 TAI TAM ROAD, HONG KONG
TEL: 2155 0938 FAX: 2155 0934
EMAIL: INFO@JOHNYIP.NET

CLIENT:

ACE AMPLE HONG KONG LIMITED

PROJECT:
ALTERATION & ADDITIONAL WORKS TO
COMMERCIAL / CARPARK BLOCK,
HING MAN SHOPPING CENTRE,
NO. 188 TAI TAM ROAD, HONG KONG

DRAWING TITLE:
NORTHERN & SOUTHERN ELEVATIONS

NO.	DATE	BY	CHECKED BY
PHK16117	01 AUG 2018	EMW	JOY
GBP-12	15 OCT 2018	JOY	JOY

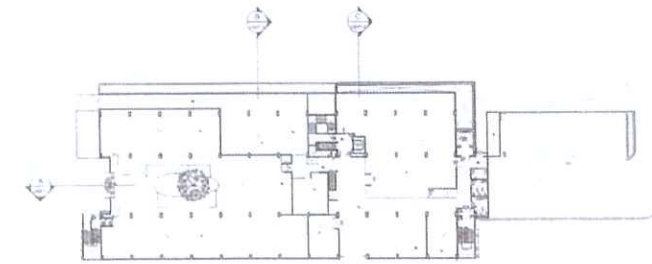
FIRE SERVICES REQUIREMENTS INCORPORATED
DATE: 15 OCT 2018
(CHAN Wai-shun)
Senior Station Officer

FOR ICU SUBMISSION

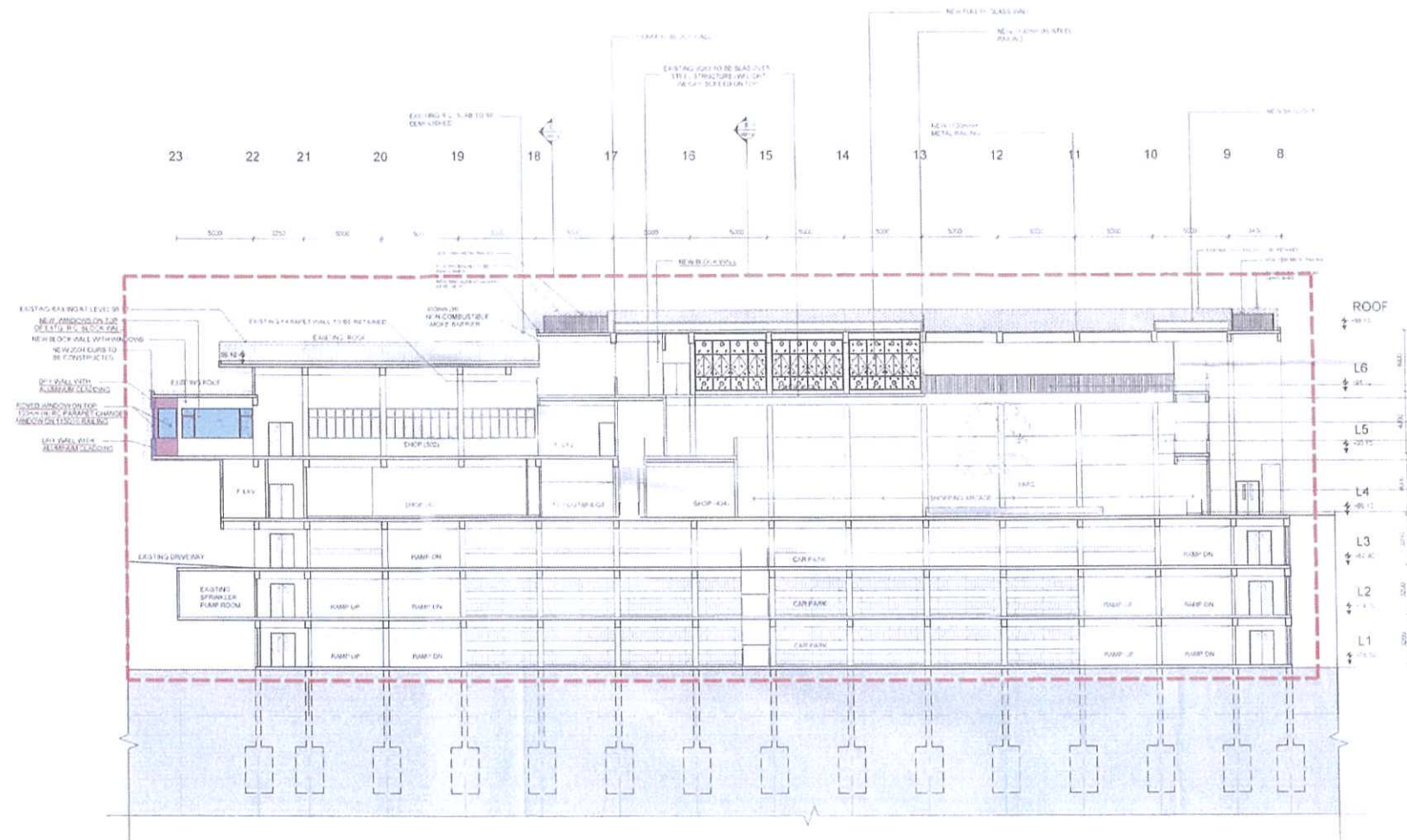
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NO.	DESCRIPTION	DATE
0	1ST SUBMISSION	24/11/2016
A	2ND SUBMISSION	11/01/2017
B	3RD SUBMISSION	29/03/2017
C	1ST AMENDMENT	24/07/2017
D	2ND AMENDMENT	04/02/2018
E	3RD AMENDMENT	04/02/2018
F	4TH AMENDMENT	01/08/2018



KEY PLAN



A SECTION A-A
SCALE: 1:250

FIRE SERVICES REQUIREMENTS INCORPORATED
DATE: 15 OCT 2018
(CHAN Wai-shun)
Senior Station Officer

A: THORNDYKE'S SIGNATURE: WONG SHING HANG

CONSULTANT:

JOHN HY YIP SURVEYORS LTD.

ADDRESS: UNIT E, 2/F, 200 WING LUN STREET, HING MAN SHOPPING CENTRE, NO. 188 TAI TAM ROAD, HONG KONG
TEL: 2155 0236 FAX: 2155 0233
EMAIL: INFO@JHYSP.NET

CLIENT:

ACE AMPLE HONG KONG LIMITED

PROJECT:
ADDITIONS & ALTERATIONS WORKS TO
COMMERCIAL / CAR PARK BLOCK,
HING MAN SHOPPING CENTRE,
NO. 188 TAI TAM ROAD, HONG KONG

DRAWING TITLE:

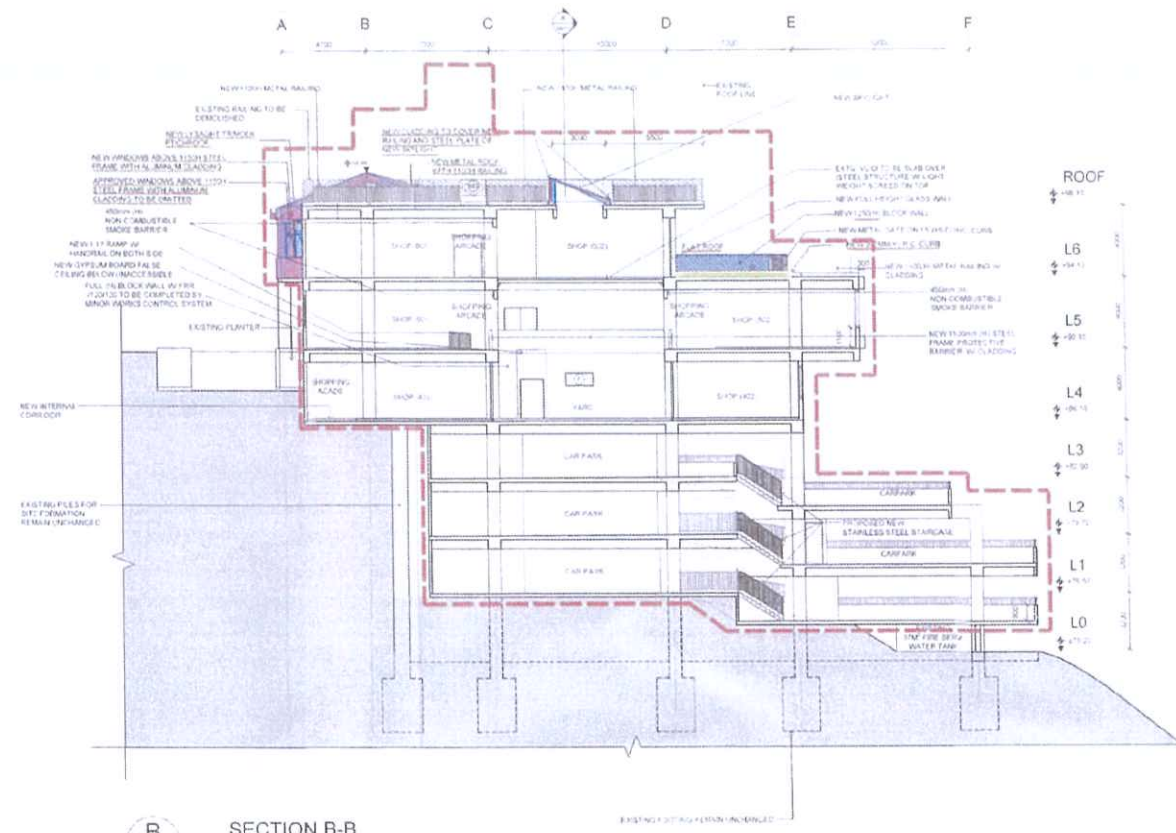
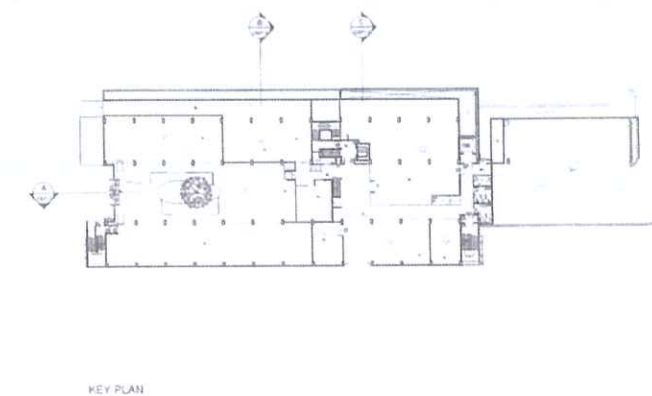
SECTION A-A

NO.	DATE	BY	CHKD BY	APP'D BY
01	AUG 2018	EMW	JOY	JOY
02	AUG 2018	EMW	JOY	JOY

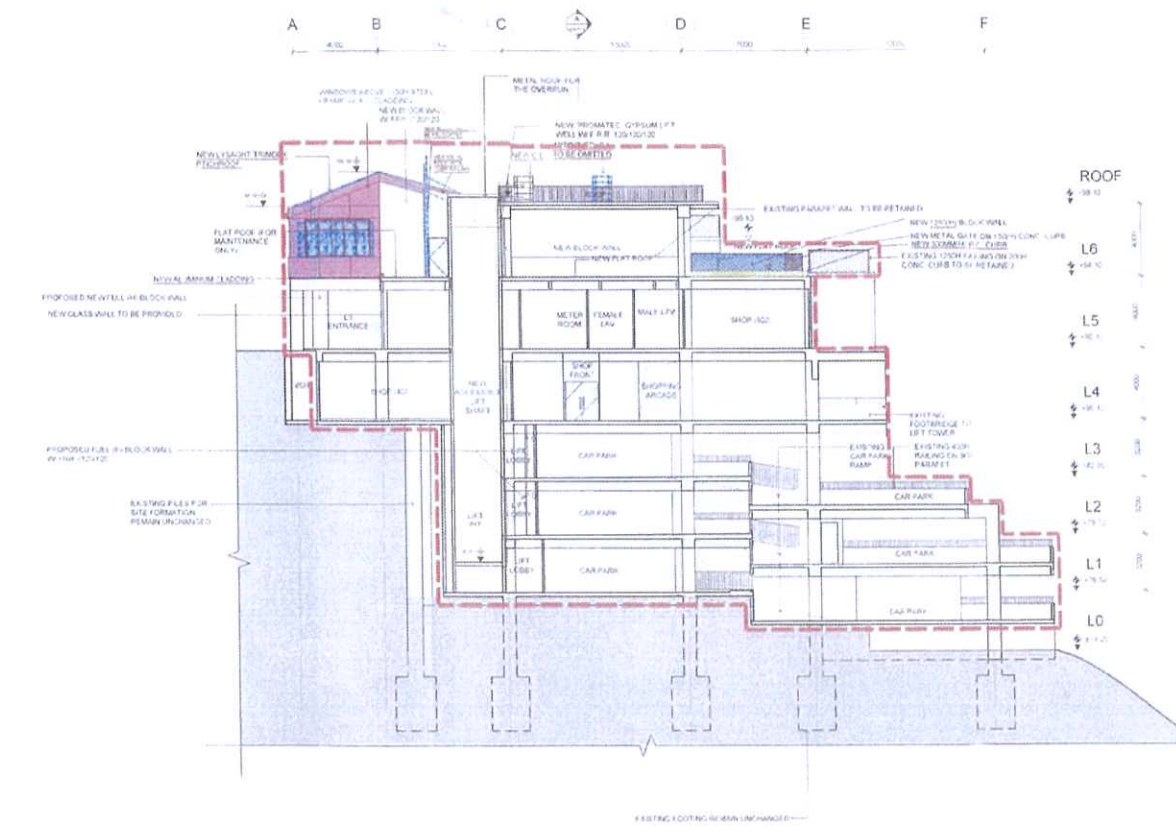
FOR ICU SUBMISSION

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NO.	DESCRIPTION	DATE
1	1ST SUBMISSION	3/11/2016
2	2ND SUBMISSION	11/01/2017
3	3RD SUBMISSION	29/03/2017
4	1ST AMENDMENT	04/09/2017
5	2ND AMENDMENT	08/01/2018
6	3RD AMENDMENT	04/05/2018
7	4TH AMENDMENT	01/08/2018



B
SECTION B-B
SCALE : 1:200



C
SECTION C-C
SCALE : 1:200

FIRE SERVICES REQUIREMENTS INCORPORATED
DATE 15 OCT 2018
(CHAN Wai-shun)
Senior Station Officer

AUTHORISED PERSON'S SIGNATURE

CONSULTANT

JOHN HY YIP SURVEYORS LTD.
ADDRESS: UNIT F, ENFOR INDUSTRIAL BUILDING
28 KUNG KP STREET, KWAI CHUNG, NT
TEL: 2155 0938 FAX: 2155 0933
EMAIL: INFO@JOHNYIP.HK

CLIENT

ACE AMPLE HONG KONG LIMITED

PROJECT

ADDITIONS & ALTERATIONS WORKS TO
COMMERCIAL / CAR PARK BLOCK,
HING MAN SHOPPING CENTRE
NO.188 TAI TAM ROAD, HONG KONG

DRAWING TITLE

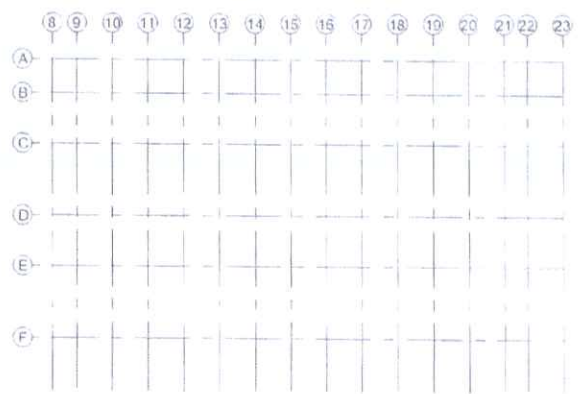
SECTION B-B & C-C

PROJECT NO.	DATE	SCALE	REVISION
PH16117	01 AUG 2018	1:200 @ A1	E
ENW	JOY	JOY	JOY

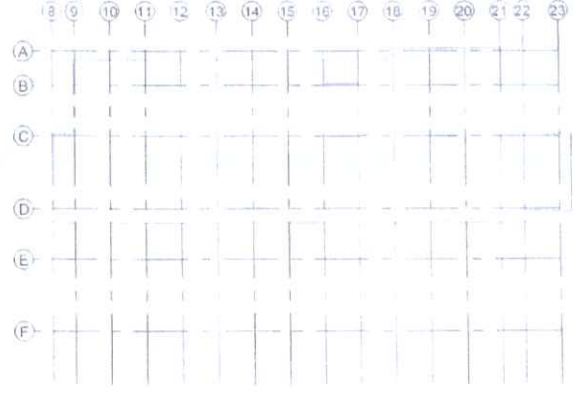
FOR ICU SUBMISSION

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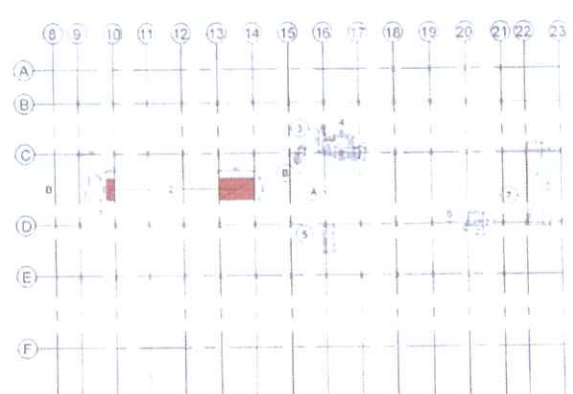
THE WORKS SHOWN ON THESE PLANS ARE TYPE II WORKS IN RESPECT OF WHICH CONSENT IS APPLIED FOR THE PURPOSE OF FAST TRACK CONSENT APPLICATION UNDER REGULATION 33 OF THE BUILDING (ADMINISTRATION) REGULATIONS.



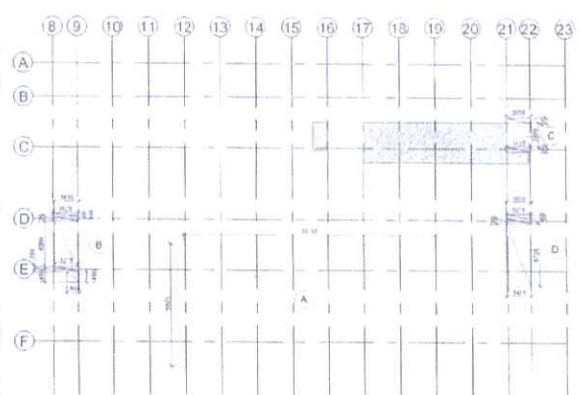
L0 G.F.A. DIAGRAM
SCALE: 1:500
INCREASE IN ACCOUNTABLE GFA TOTAL 0 m²
DECREASE IN ACCOUNTABLE GFA TOTAL 0 m²



ROOF L7 G.F.A. DIAGRAM
SCALE: 1:500
INCREASE IN ACCOUNTABLE GFA TOTAL 0 m²
DECREASE IN ACCOUNTABLE GFA TOTAL 0 m²



L4 G.F.A. DIAGRAM
SCALE: 1:500



L1 G.F.A. DIAGRAM
SCALE: 1:500

INCREASE IN ACCOUNTABLE GFA TOTAL 0 m²

DECREASE IN ACCOUNTABLE GFA

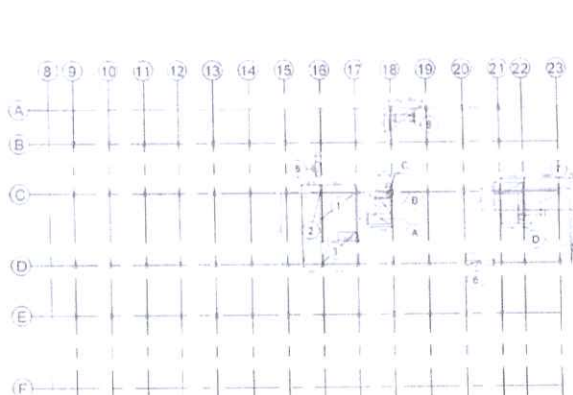
① = 15.925 m x 15.90 m = 584.91 m²

② = 3.525 m x 0.295 m + 3.40 m x 0.7 m + 3.275 m x 5.300 m + 3.450 m x 0.7 m + 1.800 m x 1.450 m = 29.817 m²

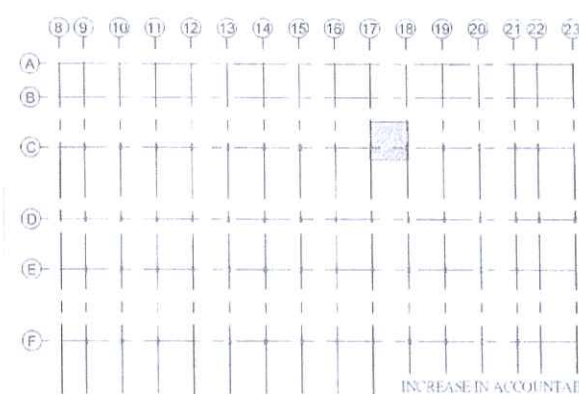
③ = 1.60 m x 0.650 m + 4.25 m x 0.90 m + 3.60 m x 0.700 m = 16.163 m²

④ = 3.0.5 m x 0.495 m + 5.60 m x 0.700 m + 3.425 m x 0.720 m = 43.908 m²

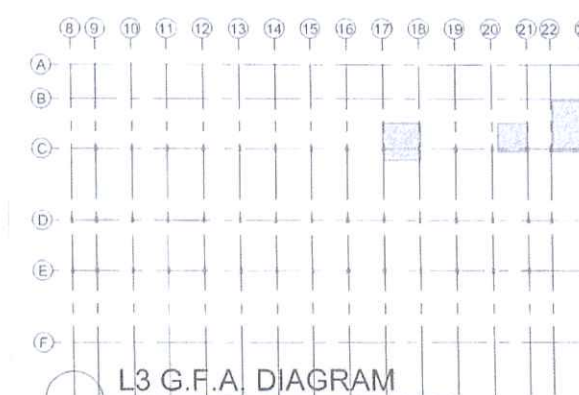
TOTAL = 674.802 m²



L5 G.F.A. DIAGRAM
SCALE: 1:500



L2 G.F.A. DIAGRAM
SCALE: 1:500
INCREASE IN ACCOUNTABLE GFA TOTAL 0 m²
DECREASE IN ACCOUNTABLE GFA TOTAL 0 m²



L3 G.F.A. DIAGRAM
SCALE: 1:500
INCREASE IN ACCOUNTABLE GFA TOTAL 0 m²
DECREASE IN ACCOUNTABLE GFA TOTAL 0 m²

SITE COVERAGE DIAGRAM
SCALE: 1:500

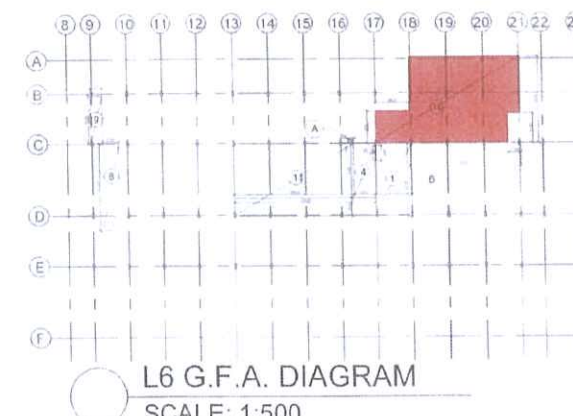
CHANGE IN SITE COVERAGE FOR NON-DOMESTIC :
(REFER TO ICU APPROVED PLAN, DWG NO HM/SITE/AV/ICU-04/FL, DATED 3/2004)

EXISTING NON-DOMESTIC COVERAGE AREA = 8.861% < 67.5% (FOR REFERENCE ONLY)

INCREASE IN NON-DOMESTIC SITE COVERAGE AREA = 3.95 x 1.98 m² = 7.821 m²

DECREASE IN NON-DOMESTIC SITE COVERAGE AREA = 0.735 x 10.700 m² = 7.865 m²

ACTUAL CHANGE IN NON-DOMESTIC SITE COVERAGE AREA = -0.044 m²



L6 G.F.A. DIAGRAM
SCALE: 1:500

INCREASE IN ACCOUNTABLE GFA

① = 0.825 m x 3.000 m = 2.475 m²

② = 1.251 m x 3.000 m = 3.753 m²

③ = 5.000 m x 3.000 m = 15.000 m²

④ = 2.700 m x 0.530 m = 1.431 m²

⑤ = 1.950 m x 1.530 m = 2.983 m²

⑥ = 2.240 m x 0.530 m = 1.187 m²

⑦ = 2.000 m x 0.700 m = 1.400 m²

⑧ = 0.870 m x 1.100 m = 0.957 m²

⑨ = 2.250 m x 10.700 m = 24.075 m²

TOTAL = 51.671 m²

DECREASE IN ACCOUNTABLE GFA

① = 1.900 m x 2.050 m = 3.895 m²

② = 1.950 m x 0.800 m = 1.560 m²

③ = 1.300 m x 1.050 m = 1.365 m²

④ = 0.260 m x 0.350 m = 0.091 m²

⑤ = 1.700 m x 0.900 m = 1.530 m²

TOTAL = 6.641 m²

INCREASE IN ACCOUNTABLE GFA

① = 5.125 m x 3.713 m = 19.055 m²

② = 2.575 m x 9.925 m = 25.557 m²

③ = 5.025 m x 3.212 m = 16.140 m²

④ = 2.500 m x 1.200 m = 3.000 m²

⑤ = 2.000 m x 0.735 m = 1.470 m²

⑥ = 2.100 m x 0.700 m = 1.470 m²

⑦ = 3.250 m x 1.525 m + 0.400 m x 0.25 m + 12.300 m x 2.325 m + 0.950 m x 2.325 m + 1.885 m x 0.655 m = 30.762 m²

⑧ = 12.300 m x 0.985 m + 1.723 m x 2.302 m + 0.918 m x 2.302 m = 4.163 m²

TOTAL = 101.230 m²

DECREASE IN ACCOUNTABLE GFA

① = 2.825 m x 1.450 m = 4.125 m²

② = 2.180 m x 1.600 m = 3.488 m²

③ = 0.950 m x 0.600 m = 0.570 m²

④ = 7.675 m x 0.735 m = 5.641 m²

TOTAL = 13.824 m²

INCREASE IN ACCOUNTABLE GFA:

① = 5.175 m x 10.146 m = 52.506 m²

② = 3.000 m x 7.785 m = 23.355 m²

③ = 2.090 m x 0.350 m = 0.731 m²

④ = 2.300 m x 12.145 m = 27.934 m²

⑤ = 6.538 m x 1.650 m = 10.788 m²

⑥ = 15.350 m x 12.050 m = 184.867 m²

⑦ = 4.825 m x 4.500 m = 21.712 m²

⑧ = 1.750 m x 4.125 m = 7.219 m²

⑨ = 16.825 m x 7.585 m = 127.638 m²

⑩ = 19.826 m x 2.528 m = 50.102 m²

TOTAL = 491.051 m²

DECREASE IN ACCOUNTABLE GFA:

= 0.440 m x 0.350 m = 0.154 m²

TOTAL = 0.154 m²

GFA SUMMARY FOR THIS A&A SUBMISSION

FLOOR	FOR ICUs APPROVAL			FOR DLOS APPROVAL ONLY (NOT FOR ICUs APPROVAL)			
	INCREASE IN ACCOUNTABLE GFA (m ²)	DECREASE IN ACCOUNTABLE GFA (m ²)	NET CHANGE (m ²)	INCREASE IN COMMERCIAL FACILITIES GFA (m ²)	DECREASE IN COMMERCIAL FACILITIES GFA (m ²)	NEW OTHER FACILITIES GFA (m ²)	NEW WELFARE FACILITIES GFA (m ²)
LEVEL 0	-	-	174.22	-	-	-	-
LEVEL 1	-	674.802	-674.802	-	-	-	-
LEVEL 2	-	-	-	-	574.802	-	-
LEVEL 3	-	-	-	-	-	-	-
LEVEL 4	96.625	51.678	44.947	51.678	6.635	-	40.618 (SLOP 40%)
LEVEL 5	-	-	-	101.230	13.824	8.97 (GUARD ROSE)	-
LEVEL 6	490.228	491.051	-0.823	491.051	0.154	-	-
ROOF	-	-	-	-	-	-	-
TOTAL	688.228	611.959	76.269	643.959	695.415	8.970	40.618
NET CHANGE IN ACCOUNTABLE GFA (m ²)	688.228 m ² - 695.415 m ² = -7.187 m ²			643.959 m ² - 695.415 m ² = -51.456 m ²			

EXISTING COMMERCIAL FACILITIES GFA IN HING MAN COMMERCIAL CARPARK BLOCK - NET CHANGE UNDER THIS A&A SUBMISSION = 4393 - 51.456 = 4341.544 m²

THE WORKS SHOWN ON THESE PLANS ARE TYPE II WORKS IN RESPECT OF WHICH CONSENT IS APPLIED FOR THE PURPOSE OF FAST TRACK CONSENT APPLICATION UNDER REGULATION 33 OF THE BUILDING (ADMINISTRATION) REGULATIONS.

ICU REF: HD(ICU)E3 / 031(H)AA(13)-D1

F.S.D REF: FP 8 / 13570 <140>

NO.	DESCRIPTION	DATE
1	1st SUBMISSION	5/1/2014
2	2nd SUBMISSION	1/01/2017
3	3rd SUBMISSION	29/03/2017
4	1st AMENDMENT	4/09/2017
5	2nd AMENDMENT	28/01/2018
6	3rd AMENDMENT	04/02/2018
7	4th AMENDMENT	01/02/2018

- DECREASE GFA
- INCREASE GFA
- FOR REFERENCE ONLY
- NON-ACCOUNTABLE GFA

FIRE SERVICES REQUIREMENTS INCORPORATED

DATE 15 OCT 2018

(CHAN Wai-shun)
Senior Station Officer

ARCHITECT: JOHN HY YIP SURVEYORS LTD.

ADDRESS: UNIT 7, 4/F, EFFORT INDUSTRIAL BUILDING, 228 JING MAN STREET, KWAI CHEUNG, TAI CHEE, 2155 0336 FAX: 2155 0338 MAIL: INFO@JOHYIP.COM

CLIENT: ACE AMPLE HONG KONG LIMITED

PROJECT: ADDITIONS & ALTERATIONS WORKS TO COMMERCIAL / CARPARK BLOCK, HING MAN SHOPPING CENTRE, NO.188 TAI TAM ROAD, HONG KONG

SITE COVERAGE & GFA CALCULATION & DIAGRAM

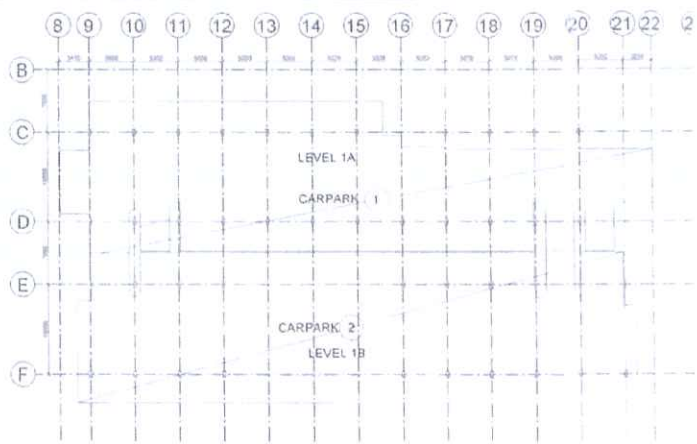
PROJECT: P-H-031617

DATE: 01 AUG 2018

SCALE: 1:500 @ A1

FOR ICU SUBMISSION

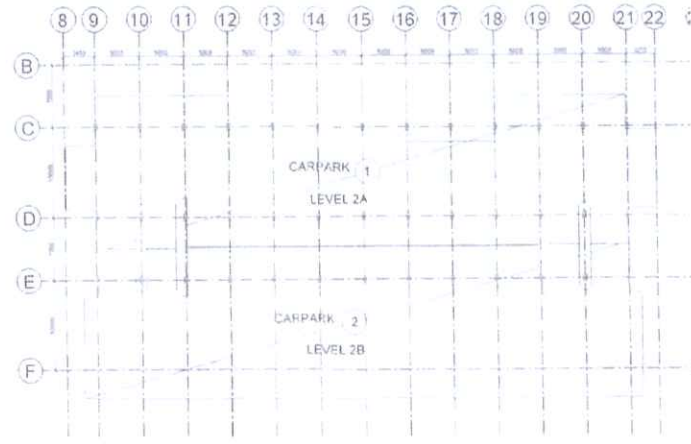
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L1 U.F.A. DIAGRAM
SCALE: 1:400

LEVEL 1 NON-DOMESTIC U.F.A. CALCULATION

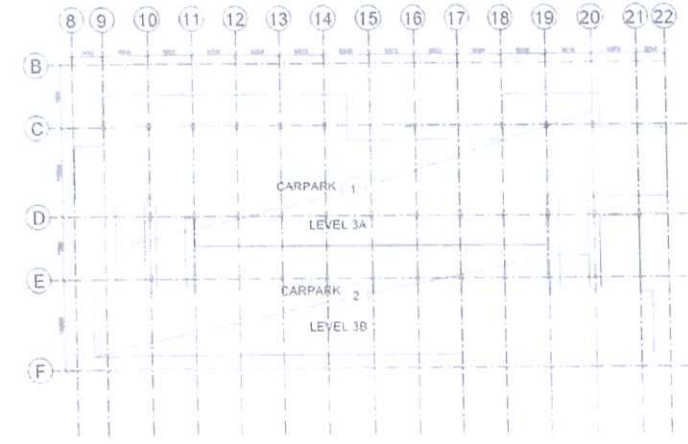
CARPARK	=	876.519 m ²
CARPARK	=	1020.705 m ²
TOTAL	=	1897.215 m²



L2 U.F.A. DIAGRAM
SCALE: 1:400

LEVEL 2 NON-DOMESTIC U.F.A. CALCULATION

CARPARK 1	=	983.165 m ²
CARPARK 2	=	10.474 m ²
TOTAL	=	993.639 m²

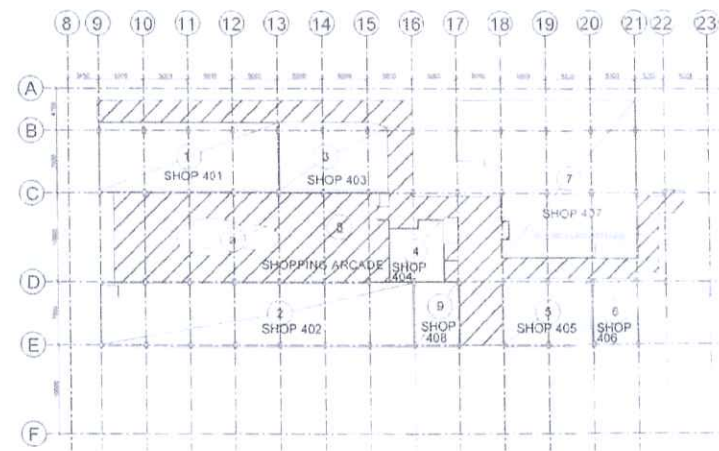


L3 U.F.A. DIAGRAM
SCALE: 1:400

LEVEL 3 NON-DOMESTIC U.F.A. CALCULATION

CARPARK	=	997.322 m ²
CARPARK	=	715.682 m ²
TOTAL	=	1623.004 m²

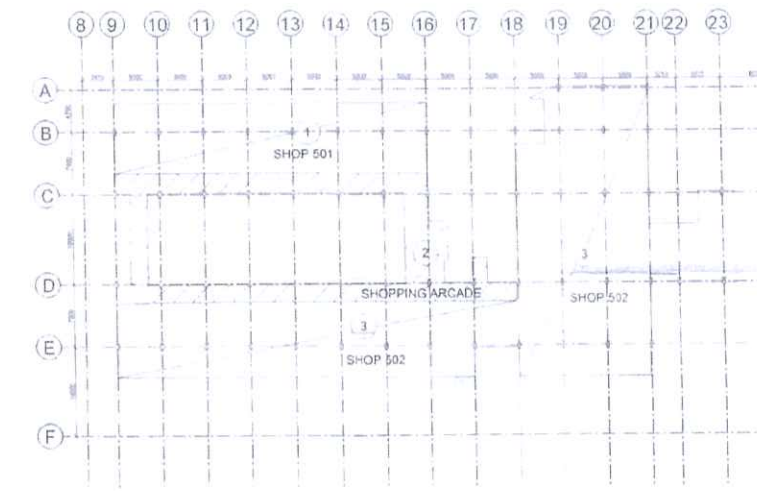
FIRE SERVICES REQUIREMENTS INCORPORATED
DATE 15 OCT 2018
(CHAN Wai-shun)
Senior Station Officer



L4 U.F.A. DIAGRAM
SCALE: 1:400

LEVEL 4 NON-DOMESTIC U.F.A. CALCULATION

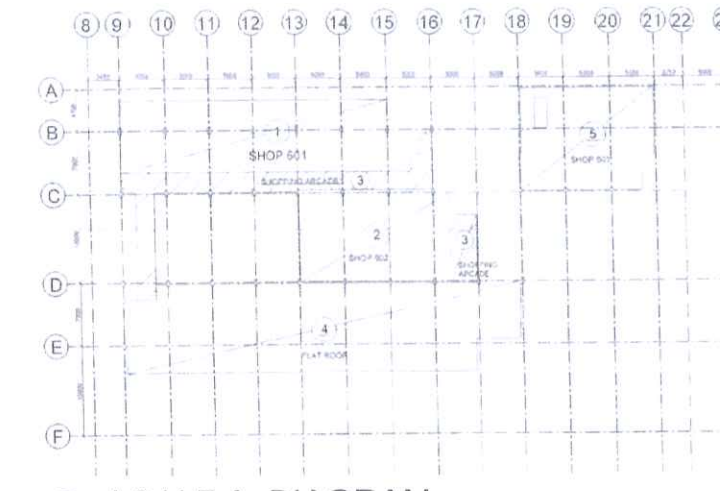
SHOP 401	1	=	154.682 m ²
SHOP 402	2	=	242.295 m ²
SHOP 403	3	=	93.805 m ²
SHOP 404	4	=	38.623 m ²
SHOP 405	5	=	74.625 m ²
SHOP 406	6	=	37.628 m ²
SHOP 407	7	=	289.426 m ²
SHOPPING ARCADE	8	=	553.555 m ²
SHOP 408	9	=	36.015 m ²
TOTAL		=	1528.787 m²



L5 U.F.A. DIAGRAM
SCALE: 1:400

LEVEL 5 NON-DOMESTIC U.F.A. CALCULATION

SHOP 501	1	=	274.694 m ²
SHOPPING ARCADE	2	=	226.659 m ²
SHOP 502	3	=	904.299 m ²
TOTAL		=	1405.652 m²



L6 U.F.A. DIAGRAM
SCALE: 1:400

LEVEL 6 NON-DOMESTIC U.F.A. CALCULATION

SHOP 601	1	=	210.901 m ²
SHOP 602	2	=	171.824 m ²
SHOPPING ARCADE	3	=	128.568 m ²
FLAT ROOF	4	=	468.799 m ²
SHOP 603	5	=	364.565 m ²
TOTAL		=	1473.660 m²

ICU REF: HD(ICU)E3 / 031(H)AA(13)-D1

F.S.D REF: FP 8 / 13570 <140>

REVISIONS

NO.	DESCRIPTION	DATE
1	1ST SUBMISSION	3/1/2016
2	2ND SUBMISSION	11/1/2017
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4	1ST AMENDMENT	4/09/2017
5	2ND AMENDMENT	06/01/2018
6	3RD AMENDMENT	30/03/2018
7	4TH AMENDMENT	01/06/2018

APPROVED PERSON'S SIGNATURE: WONG SHING TANG

CONSULTANT
JOHN HY YIP SURVEYORS LTD.
ADDRESS: UNIT F, EFFORIE INDUSTRIAL BUILDING
2 BAKING KF STREET, KWAI CHUNG, NT
TEL: 2155 0938 FAX: 2155 0933
EMAIL: JHY@JHYSP.COM.HK

CLIENT
ACE AMPLE HONG KONG LIMITED

PROJECT
ADDITIONS & ALTERATIONS WORKS TO
COMMERCIAL / CARPARK BLOCK,
HING MAN SHOPPING CENTRE,
NO.188 TAI TAM ROAD, HONG KONG.

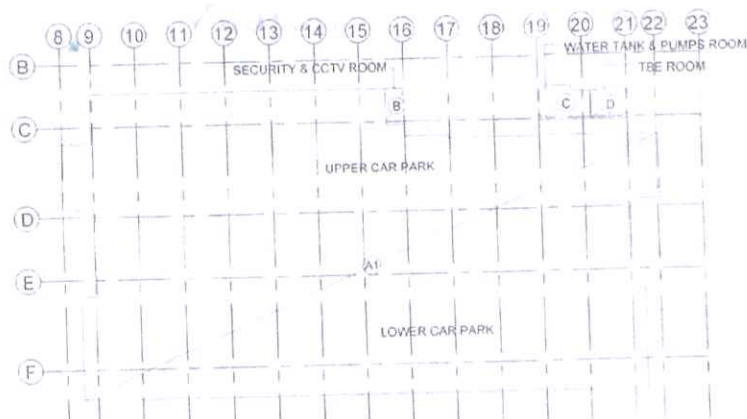
DRAWING TITLE
UFA CALCULATION & DIAGRAM

PROJECT NO.	DATE	SCALE
PHK16117	01 AUG 2018	1:400 B A 1
DESIGNER	CHECKER	APPROVER
EMW	JOY	JOY

FOR ICU SUBMISSION

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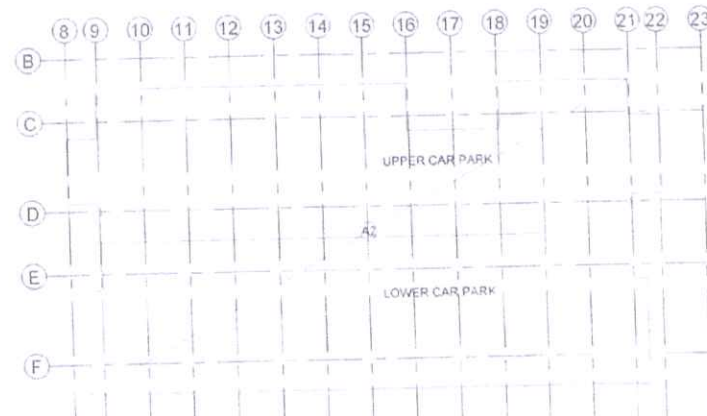
L1 COMPARTMENT DIAGRAM

COMPARTMENT: A1 = 1978.270 m2
 B = 8.354 m2
 C = 20.217 m2
 D = 12.756 m2
 HEIGHT: 3200mm



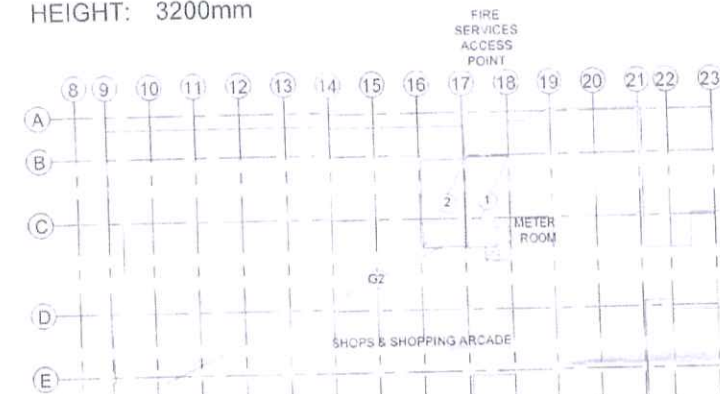
L4 COMPARTMENT DIAGRAM

COMPARTMENT: G1 = 1637.555 m2
 H = 6.235 m2
 1636.543 m2
 HEIGHT: 4000mm



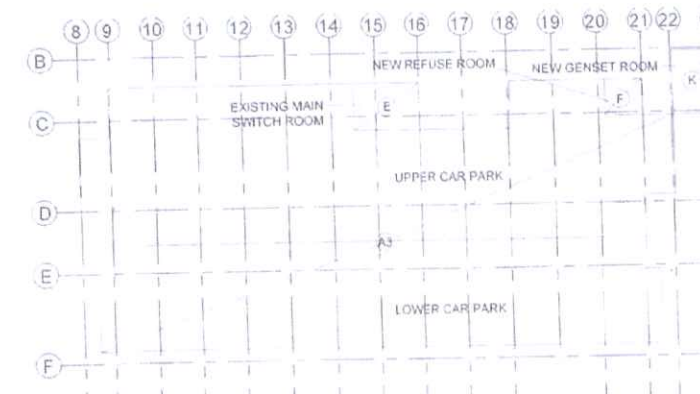
L2 COMPARTMENT DIAGRAM

COMPARTMENT: A2 = 2077.332 m2
 HEIGHT: 3200mm



L5 COMPARTMENT DIAGRAM

COMPARTMENT: G2 - 1 - 2 = 1823.888 m2
 I = 7.613 m2
 HEIGHT: 4000mm



L3 COMPARTMENT DIAGRAM

COMPARTMENT: A3 = 1730.945 m2
 E = 39.375 m2
 F = 16.829 m2
 K = 29.819 m2
 HEIGHT: 3200mm(FOR A3, E & F), 4100MM(FOR K)



L6 COMPARTMENT DIAGRAM

COMPARTMENT: G3 = 1252.533 m2
 L = 171.744 m2
 HEIGHT: 4000mm

FIRE RESISTANCE REQUIREMENTS FOR ELEMENTS OF CONSTRUCTION										MIN. DIMENSION OF ELEMENTS OF CONSTRUCTION								
COMPARTMENT	FLOOR	USE	CLASS	FL. HEIGHT (m)	AREA (m ²)	VOLUME (m ³)	EXTG. AREA (m ²)	EXTG. VOLUME (m ³)	REQ. F.R.R. (minutes)	PRO. F.R.R. (minutes)	R.C.C. WALL		R.C.C. SLAB		R.C.C. BEAM		R.C.C. COL.	
											THICKNESS	COVER TO STEEL	THICKNESS	COVER TO STEEL	THICKNESS	COVER TO STEEL	THICKNESS	COVER TO STEEL
A (A1-A2-A3)	L1, L2 & L3	CARPARK	7	3.2	5786.547	18516.950	5526.023	17905	60	120	100	25	125	35	200	50	300	25
B	L1	SECURITY & CCTV ROOM	-	3.2	8.354	26.734	-	-	120	120	100	25	125	35	200	50	300	35
C	L1	WATER TANK & PUMP RM	-	3.2	20.217	64.694	-	-	120	120	100	25	125	35	200	50	300	35
D	L1	TBE ROOM	-	3.2	12.756	40.819	-	-	120	120	100	25	125	35	200	50	300	35
E	L3	EXISTING MAIN SWITCH ROOM	-	3.2	39.375	126.000	19.375	126.000	120	120	100	25	125	35	200	50	300	35
F	L3	REFUSE ROOM	-	3.2	16.829	53.853	-	-	120	120	100	25	125	35	200	50	300	35
G (G1-G2-G3)	L4, L5 & L6	SHOPS & SHOPPING ARCADE	4b	4	1712.969	18851.840	3665.483	14662	120	120	100	25	125	35	200	50	300	35
H	L4	METER ROOM	-	4	6.235	24.940	-	-	120	120	100	25	125	35	200	50	300	35
I	L5	METER ROOM	-	4	7.613	30.452	-	-	120	120	100	25	125	35	200	50	300	35
K	L5	GENSET ROOM	-	4.1	31.505	128.591	-	-	120	120	100	25	125	35	200	50	300	35
L	L6	SHOP	4b	4	171.744	686.976	-	-	120	120	100	25	125	35	200	50	300	35

* R.C. WALL SHALL CONTAIN NOT LESS THAN 1 PERCENT OF VERTICAL REINFORCEMENT
 ** REINFORCEMENT CONSISTING OF EXPANDED METAL LATH OR WIRE FABRIC NOT LIGHTER THAN 0.5kg/m² WITH 2mm DIAMETER WIRE AT NOT MORE THAN 100mm. CENTRES OR A CONTINUOUS ARRANGEMENT LINKS AT NOT MORE THAN 200mm
 CENTRES SHOULD BE INCORPORATED IN THE CONCRETE COVER AT A DISTANCE
 *** PART OF THE INFORMATION IS EXTRACTED FROM AS-BUILT DRAWING (DWG NO. HM/SITE/ICU-05/1) CERTIFIED AS TRUE RECORD AS AT MARCH 2004

ICU REF: HD(ICU)E3 / 031(H)AA(13)-D1
 F.S.D REF: FP 8 / 13570 <140>

REV/S	DESCRIPTION	DATE
1	1ST SUBMISSION	21/11/2018
A	2ND SUBMISSION	11/01/2019
B	3RD SUBMISSION	29/02/2019
C	1ST AMENDMENT	19/03/2019
D	2ND AMENDMENT	26/03/2019
E	3RD AMENDMENT	04/05/2019
F	4TH AMENDMENT	01/05/2019

FIRE SERVICES REQUIREMENTS INCORPORATED
 DATE 15 OCT 2018
 (CHAN Wai-shun)
 Senior Station Officer

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ARCH/RECT
JOHN HY YIP SURVEYORS LTD.
 ADDRESS: UNIT 4/F, ETCOR INDUSTRIAL BUILDING,
 28 KUNG HO STREET, KWAI CHUNG, NT
 TEL: 2355 0928 FAX: 2355 0933
 EMAIL: INFO@JOHNYIP.NET

CLIENT
ACE AMPLE HONG KONG LIMITED

PROJECT
 ALTERATION & ADDITIONAL WORKS TO
 COMMERCIAL / CARPARK BLOCK,
 HING MAN SHOPPING CENTRE,
 NO. 188 TAI TAM ROAD, HONG KONG

DRAWING FILE
 COMPARTMENT CALCULATION & DIAGRAM

DATE: 01 AUG 2018
 SCALE: 1:400 @ A1
 DRAWN BY: JOY
 CHECKED BY: JOY
 APPROVED BY: JOY

FOR ICU SUBMISSION

DO NOT SCALE AND MEASURE THIS DRAWING. THE DIMENSION SHOWN ON THE DRAWING IS FOR REFERENCE AND INDICATION ONLY. CONTRACTOR SHOULD VERIFY THE SITE CONDITIONS PRIOR TO ANY MANUFACTURING AND CONSTRUCTION. IF THERE IS ANY DISCREPANCY FOUND ON THIS DRAWING AND TO THE SITE CONDITIONS, THE CONTRACTOR IS RESPONSIBLE TO NOTIFY JOHN HY YIP SURVEYORS LTD. IN WRITING. ALL COPYRIGHTS OF THIS DRAWING IS RESERVED BY JOHN HY YIP SURVEYORS LTD. NO REPRODUCTION OF THIS DRAWING UNLESS A WRITTEN CONSENT IS ISSUED BY JOHN HY YIP SURVEYORS LTD. JOHN HY YIP SURVEYORS LTD. DOES NOT RESPONSIBLE FOR ANY DAMAGES AND LOSS DUE TO THE MISUSE OR MISREPRESENTATION OF THIS DRAWING.

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APPENDIX 8

Site Photos

Site Photos

