



Ref.: ADCL/PLG-10290/R001

**Section 16 Planning Application
Renewal of Planning
Application No. A/NE-FTA/192**

Temporary Asphalt Plant for a Period
of Five Years

Lots 20 RP (Part), 21 and 23 RP (Part)
in D.D. 88 and Adjoining Government
Land, East of Man Kam To Road,
Sheung Shui, New Territories

Planning Statement

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EXECUTIVE SUMMARY

(In case of discrepancy between English and Chinese Versions, English shall prevail)

This Planning Statement is submitted to the Town Planning Board (hereinafter referred to as “the Board”) in support of a planning application (hereinafter referred to as “the current application”) for **Temporary Asphalt Plant for a Period of Five Years** (hereinafter referred to as “the Temporary Asphalt Plant”) at Lots 20 RP (Part), 21 and 23 RP (Part) in D.D. 88 and adjoining Government Land, East of Man Kam To Road, Sheung Shui, New Territories (hereinafter referred to “the application site”). The current application aims to renew the latest planning permission under Planning Application No. A/NE-FTA/192 from the Board which will be expired on 12.12.2024 such that the Applicant can be given opportunity to continue using the application site for the Temporary Asphalt Plant. The Planning Statement serves to provide background information and planning justifications in support of the Temporary Asphalt Plant in order to facilitate consideration by the Board.

The application site is subject to three previous planning applications (No. A/NE-FTA/123, A/NE-FTA/148 and A/NE-FTA/192). The latest planning application No. A/NE-FTA/192 for the same use was approved with conditions by the Board on 18.10.2019.

The application site currently falls within an area zoned “Open Storage” (“OS”) on the approved Fu Tei Au and Sha Ling Outline Zoning Plan (OZP) No. S/NE-FTA/18 gazetted on 19.4.2024. As detailed in this Planning Statement, the Temporary Asphalt Plant is well justified on the grounds that:-

- (a) Approval of the current application enables the Applicant to continue utilizing the application site to support the industry and the community and benefit Hong Kong's long-term development;*
- (b) The Temporary Asphalt Plant supports with the development principle of "driving development by transport infrastructure" under the Hong Kong Major Transport Infrastructure Development Blueprint promulgated in 2023 and fuels future growth and development in Hong Kong;*
- (c) The Temporary Asphalt Plant is essential to address local and territorial demand for asphalt and support Hong Kong infrastructural developments;*
- (d) There will be no substantial changes in planning circumstances by allowing the current application and the Applicant has demonstrated his full compliance of planning approval conditions of previous planning approval;*
- (e) The application is of temporary nature, which will not jeopardise the long-term planning intention of “OS”;*
- (f) The Temporary Asphalt Plant will not be in conflict with the implementation programme of the relocation of Cheung Sha Wan Temporary Wholesale Poultry Market;*
- (g) No adverse environmental impact is expected as the Temporary Asphalt Plant will continue to be in line with all the required environmental control measures and good site*

practices;

- (h) No adverse traffic impact is expected as there is no significant change in planning circumstances and all key junctions will operate with sufficient capacity;*
- (i) No adverse drainage impact is expected as there is no change in the drainage system and the Applicant will continue to carry out routine maintenance; and*
- (j) The approval of the current application will not set an undesirable precedent.*

In view of the above and the list of detailed planning justifications in this Planning Statement, it is sincerely hoped that the Board will give favourable consideration to approve the current application for a temporary period of five years.

行政摘要

(如內文與其英文版本有差異，則以英文版本為準)

此規劃報告書在支持一宗遞交予城市規劃委員會（以下簡稱「城規會」）的規劃申請（以下簡稱「該申請」）作為期五年的臨時瀝青廠（以下簡稱「臨時瀝青廠」）。該申請涉及地點位於新界上水文錦渡路以東丈量約份第 88 約地段第 20 號餘段(部分)、第 21 號及第 23 號餘段(部分) 和毗連政府土地（以下簡稱「申請地點」）。該申請是為了將於 2024 年 12 月 12 日到期之規劃許可續期，從而可給予申請人機會於申請地點繼續作臨時瀝青廠。此規劃報告書提供該申請的背景及規劃理據以支持臨時瀝青廠作城規會考慮。

申請地點過往涉及三宗先前申請(編號：A/NE-FTA/123、A/NE-FTA/148 及 A/NE-FTA/192)。最近作同樣用途的規劃申請(編號：A/NE-FTA/192) 於 2019 年 10 月 18 日獲城規會有條件下批給臨時性質的許可。

申請地點現時於 2024 年 4 月 19 日刊憲公佈之虎地坳及沙嶺分區計劃大綱核准圖（編號：S/NE-FTA/18）內被劃為「露天貯物」地帶。此規劃報告書詳細闡述臨時瀝青廠的規劃理據，當中包括：-

- (一) 批准申請讓申請人繼續使用申請地點，以支持業界和社會，並有利於香港的長遠發展；
- (二) 臨時瀝青廠符合 2023 年香港主要運輸基建發展藍圖中「以運輸基建帶動發展」的發展原則，香港未來的增長和發展提供動力；
- (三) 臨時瀝青廠對滿足地區和本地的瀝青需求以及支持香港的基礎建設發展是不可或缺的；
- (四) 批准該申請不會對規劃情況帶來重大改變及申請人已證明其履行先前的規劃許可所附帶的所有規劃條件；
- (五) 申請屬臨時性質，不會影響「露天貯物」用途的長遠規劃意向；
- (六) 臨時瀝青廠不會影響長沙灣臨時家禽批發市場的搬遷計劃；
- (七) 臨時瀝青廠將繼續符合所有必要的環境管制和良好的地盤作業守則，預計不會對環境造成不良影響；
- (八) 臨時瀝青廠的規劃情況與先前獲批申請相較，沒有顯著改變，所有路口將以足夠的容量運作，預計不會對交通造成不良影響；
- (九) 由於排水系統沒有改變，而且申請人會繼續進行日常維修，因此預計不會對排水系統造成不良影響；及
- (十) 批准申請不會立下不良先例。

鑑於以上各點及此規劃報告書內所提供的詳細規劃理據，懇請城規會批准該申請作為期五年之擬議用途。

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1. INTRODUCTION

1.1 Purpose

1.1.1 Pursuant to section 16 of the Town Planning Ordinance (TPO) (Cap. 131), this *Planning Statement* is submitted to the Town Planning Board (hereinafter referred to as “the Board”) in support of a planning application (hereinafter referred to as “the current application”) for **Temporary Asphalt Plant for a Period of Five Years** (hereinafter referred to as “the Temporary Asphalt Plant”) at Lots 20 RP (Part), 21 and 23 RP (Part) in D.D. 88 and adjoining Government Land, East of Man Kam To Road, Sheung Shui, New Territories (hereinafter referred to “the application site”). The Planning Statement serves to provide background information and planning justifications in support of the Temporary Asphalt Plant in order to facilitate the consideration by the Board. The application site has a total area of approximately 9,056m², including 799m² of Government Land. Its location is shown on **Figure 1** whilst **Figure 2** indicates relevant private lots and government land which the application site involves.

1.1.2 Prepared on behalf of *K. Wah Asphalt Limited* (hereinafter referred to as “the Applicant”), Aikon Development Consultancy Limited have been commissioned to prepare and submit the current application on his behalf. The current application aims to **re-new** the latest planning permission under Planning Application No. A/NE-FTA/192 (hereinafter referred to as “the previous application”) from the Board which will be expired on 12.12.2024 such that the Applicant will be given an opportunity to continue utilising the application site for the Temporary Asphalt Plant under the circumstances that the proposed development parameters would be **in-principle the same** as those in the approved scheme under A/NE-FTA/192, and the site configuration and the nature/operation of the Temporary Asphalt Plant would be **identical to the approved scheme**, with no significant change in the overall physical setting surrounding the application site.

1.1.3 The application site currently falls within an area zoned “Open Storage” (“OS”) on the approved Fu Tei Au and Sha Ling Outline Zoning Plan (OZP) No. S/NE-FTA/18 gazetted on 19.4.2024 (hereinafter referred to as “the Current OZP”) (please refer to **Figure 3**). According to the Notes of the Current OZP, ‘Asphalt Plant’ use is a Column 2 use within the “OS” zone which requires planning permission from the Board.

1.1.4 In this connection, the Applicant wishes to seek planning permission again from the Board for the Temporary Asphalt Plant for a **temporary period of five years**.

1.2 Objectives

1.2.1 The current application strives to achieve the following objectives:-

(a) *To be given an opportunity to the Applicant to continue utilising the application site for the Temporary Asphalt Plant under the circumstances that the proposed development parameters would be in in-principle the same as those in the approved scheme under A/NE-FTA/192, and the site configuration and the nature/operation of the Temporary Asphalt Plant would be identical to the*

- approved scheme, with no significant change in the overall physical setting surrounding the application site;*
- (b) To continuously offer a suitable location for providing essential high-quality asphalt for infrastructural development and road maintenance in Hong Kong so as to generate socio-economic value for the city;*
- (c) To maximize land utilization of the application site that has been accommodating the temporary asphalt plant and surrounded by rural industrial uses; and*
- (d) To induce no adverse environmental nor traffic impacts on its surroundings by providing adequate protection and mitigation measures.*

1.3 Background

Providing Infrastructural Support for Hong Kong and Building the Backbone for Infrastructural Development

- 1.3.1 The Applicant has been engaged in various major infrastructure projects by Highways Department (HyD), Civil Engineering and Development Department (CEDD), Airport Authority (AA) and MTR Corporation (MTRC), namely Tseung Kwan O - Lam Tin Tunnel (TKO-LTT), The Hong Kong – Zhuhai – Macao Bridge (HZMB), Liantang/Heung Yuen Wai Boundary Control Point (LTHYW BCP), Central – Wan Chai Bypass, Tuen Mun – Chek Lap Kok Link, Queen’s Hill Development, the North and South Runway Asphalt Resurfacing projects, as well as ongoing road maintenance works for Kowloon West and New Territories West. All of these projects form the backbone of Hong Kong’s infrastructural development, adding capacity for future growth and laying a solid foundation towards a competitive, liveable and high-density city. The Temporary Asphalt Plant managed by the Applicant is well-operated and has been supplying high quality asphalt and playing an important role in these infrastructural projects and road maintenance works.
- 1.3.2 In recent years, the Hong Kong government has been in the forefront in developing the Northern Metropolis and others New Development Areas. The latest release of the Hong Kong Major Transport Infrastructure Development Blueprint also highlights the government's commitment in building a liveable, competitive and sustainable Hong Kong through "**driving development by transport infrastructure**" by adopting the planning principles of "infrastructure-led" and "capacity-creating". The road network of Hong Kong would be expanded and with increased capacity, and it is foreseeable that there is a **growing demand for high quality asphalt to materialise the vision.**
- 1.3.3 In addition, there is a series future contracts of Hong Kong key developments, such as the Northern Link - Kwu Tung Station, Hung Shui Kiu Station, Tuen Mun South Extension, a Tung Chung Line Extension etc (see **Table 1**). These projects have been approved by the Chief Executive Council and would be key drivers to support future Hong Kong economic development. The demand for high-quality asphalt is expected to be significant in realizing the strategic planning vision outlined in Hong Kong 2030+.

Table 1 Future Contracts of Hong Kong Developments, Projects Authorised/Approved by the Executive Council

| Project Details | Target Completion Year |
|--|-------------------------------|
| MTR Northern Link - Kwu Tung Station | 2027 |
| MTR Tung Chung Line Extension | 2029 |
| MTR Tuen Mun South Extension | 2030 |
| MTR Hung Shui Kiu Station | 2030 |
| Kwu Tung North and Fanling North New Development Area - Remaining Phase of Site Formation and Engineering Infrastructure Works | 2031 |
| Yuen Long South Development - Second Phase Development | 2031 |

The Importance of the Temporary Asphalt Plant in the North New Territories

- 1.3.4 Amongst all the asphalt plants in Hong Kong, the Temporary Asphalt Plant under the current application is the **only asphalt plant in the North New Territories**. The Temporary Asphalt Plant has been a crucial supplier of high-quality asphalt in the North New Territories, playing a significant role in infrastructural projects and road maintenance works. The Temporary Asphalt Plant is also anticipated to play a major role in facilitating the development of the Northern Metropolis.
- 1.3.5 In addition, many infrastructure projects currently utilizing the Temporary Asphalt Plant are **ongoing** (see **Table 2**) and are **not expected to be completed within the current approval period**. Should the Temporary Asphalt Plant have to be ceased operation, it would cause serious disruption in the progress of the involved projects. In order to continue to utilise the application site and to ensure the supply of asphalt to support infrastructure projects in the locality and territory, the Applicant seeks to renew the previous approved application No. A/NE-FTA/192, which shall be expired on 12.12.2024.

Table 2 Contracts on hand / on-going contracts of K. Wah Asphalt Limited (Sheung Shui Asphalt Plant)

| Employer | Contract | Details of Contract | Anticipated Completion |
|---|-------------------|---|------------------------|
| Airport Authority (AA) | Contract No. 3310 | North Runway Modification Works | 2025 |
| Highways Department (HyD) | 12/HY/2019 | Highways Department Term Contract (Management and Maintenance of Roads in Kowloon West excluding Expressways and High Speed Roads 2020-2026) | 2026 |
| Highways Department (HyD) | 04/HY/2020 | Highways Department Term Contract (Management and Maintenance of Roads in Tuen Mun and Yuen Long Districts excluding Expressways and High Speed Roads 2021-2026) | 2026 |
| Highways Department (HyD) | HY/2014/08 | Central Kowloon Route - Construction of Tunnel at Yau Ma Tei, Reconstruction of a Section of the Gascoigne Road Flyover and Re-provisioning of Affected Public Facilities at Yau Ma Tei | 2026 |
| Highways Department (HyD) | HY/2019/13 | Central Kowloon Route - Construction of administration building and ventilation buildings, and installation of route-wide electrical and mechanical works | 2028 |
| Highways Department (HyD) | HY/2020/07 | Widening of Castle Peak Road between Kwun Tsing Road and Hoi Wing Road) | 2025 |
| Highways Department (HyD) | HY/2020/08 | Flyover from Kwai Tsing Interchange Upramp to Kwai Chung Road | 2026 |
| Highways Department (HyD) | HY/2021/16 | Provision of Universal Accessibility Facilities at Footbridges, Elevated Walkways and Subways – Package 5 Contract 2 | 2025 |
| Drainage Service Department (DSD) | DC/2019/12 | Upgrading of West Kowloon and Tsuen Wan Sewerage – Phase 2B | 2027 |
| Drainage Service Department (DSD) | DC/2020/03 | Drainage Maintenance and Construction in Hong Kong Island and Islands Districts (2021-2025) And Building and Civil Maintenance and Minor Works to DSD Plants and Facilities (2020-2025) | 2025 |
| Civil Engineering and Development Department (CEDD) | CV/2020/01 | Site formation and infrastructure works for public housing developments at Pok Fu Lam South | 2027 |
| Civil Engineering and Development Department (CEDD) | CV/2022/07 | Site formation and infrastructure works for public housing developments at Long Bin, Yuen Long - Phase 2 | 2026 |

| Employer | Contract | Details of Contract | Anticipated Completion |
|---|------------|---|------------------------|
| Civil Engineering and Development Department (CEDD) | ED/2018/04 | Trunk Road T2 and Infrastructure Works for Developments at the Former South Apron | 2026 |
| Civil Engineering and Development Department (CEDD) | ND/2019/01 | Kwu Tung North New Development Area, Phase 1: Site Formation and Infrastructure Works | 2026 |
| Civil Engineering and Development Department (CEDD) | ND/2019/04 | Fanling North New Development Area, Phase 1: Fanling Bypass Eastern Section (Shek Wu San Tsuen North to Lung Yeuk Tau) | 2026 |
| Civil Engineering and Development Department (CEDD) | NE/2017/03 | Development of Anderson Road Quarry Site - Road Improvement Works and Pedestrian Connectivity Facilities Works Phase 2A | 2026 |
| Civil Engineering and Development Department (CEDD) | NE/2017/05 | Widening of Tai Po Road (Sha Tin Section) | 2025 |
| Civil Engineering and Development Department (CEDD) | NL/2020/03 | Tung Chung New Town Extension - Major Infrastructure Works in Tung Chung East | 2028 |
| Civil Engineering and Development Department (CEDD) | NL/2020/06 | Tung Chung New Town Extension - Site Formation and Infrastructure Works at Tung Chung Valley, Phase 1 | 2027 |
| Civil Engineering and Development Department (CEDD) | YL/2020/06 | Site Formation and Infrastructure Works for Public Housing Developments at Kam Tin South, Yuen Long – Phase 1 | 2026 |
| HK & China Gas Company Limited | N.A | Reinstatement Service (Term Contract 2023-2025) | 2025 |
| Hongkong International Terminals (HIT) | N.A | Bituminous Re-surfacing Works at Terminal 4, 6, 7, 8, 9 & Depot S (1+1 Term Contract) | 2025 |

Renewal of the Planning Approval under Current Application

- 1.3.6 The Applicant has been operating the Temporary Asphalt Plant at the application site since the approval of the previous applications. This application seeks to renew planning approval, allowing the Applicant to continue serving the territory and contribute to the development of the Northern Metropolis.
- 1.3.7 The application site is subject to three previous planning applications (No. A/NE-FTA/123, A/NE-FTA/148 and A/NE-FTA/192). The previous application (No. A/NE-FTA/192) for the same use was approved by the Board with conditions on a temporary basis for a period of five years on 18.10.2019 (**Appendix 1**). The Applicant has duly complied with all the approval conditions under the previous application (**Appendix 2a to 2e**).
- 1.3.8 Subsequent to the approval of planning application (No. A/NE-FTA/192), the Applicant has submitted a renewal of Temporary Building Permit (TBP) and Temporary Occupation Permit (TOP) to the Buildings Department (BD) in 2023, and the renewal of the TBP and TOP for the Temporary Asphalt Plant was subsequently approved by the BD, based on the supplementary information provided. The Temporary Asphalt Plant is currently operating in accordance with the approved TBP and TOP (see **Appendix 3**).
- 1.3.9 Under the current application, the site configuration and the nature/operation of the Temporary Asphalt Plant would be **identical to the approved scheme**, with no significant change in the overall physical setting surrounding the application site.
- 1.3.10 While the site configuration remains unchanged, it has been noted that there is a discrepancy between the total Gross Floor Area (“GFA”) approved under application No. A/NE-FTA/192 and the GFA shown on the subsequent Building Plans (BPs) submitted to the BD. The said discrepancy is mainly attributable to the determination of GFA between departments. In determining the GFA for the Temporary Asphalt Plant for the s.16 planning application purpose, relevant GFA of the ancillary structures of the Temporary Asphalt Plant of about **430.87m²**, i.e. staircases and platforms for maintenance and emergency access, **were not included in the previous planning submission** having considered its ancillary nature. However, as far as the building requirements from BD for the BPs submission purpose is concerned, the GFA of these ancillary structures are accountable. In order to ensure smooth processing of the subsequent TBP and TOP after approval of the current application, the current application seeks to **aligns the GFA, while confirming the application site remains unchanged** when compared to the previous application, and there was **no change to the site configuration, building bulk, site area, form, and major development parameters** of the approved Temporary Asphalt Plant.

Safe and Non-Polluted Operation

- 1.3.11 Since obtaining the first planning approval in 2014, the Applicant has dedicated efforts to undertaking various measures to minimize any potential adverse impacts and offer a safe and sustainable occupational environment for the Applicant's

employees.

- 1.3.12 The Applicant has submitted an application to Environmental Protection Department (EPD) for a Specified Process (SP) Licence on 6.10.2015, pursuant to Section 14 of the Air Pollution Control Ordinance (APCO) for the Temporary Asphalt Plant and the SP Licence was issued on 23.2.2017. A renewal application of SP licence was submitted in 2018, and the SP license renewed in 2020. The operations of the Asphalt Plant have strictly complied with the APCO. The Applicant is applying for a renewal of SP license in 2024, ensuring the current operation has met relevant regulations. While the Air Pollution Control Plan (APCP) has been reviewed by EPD and it is being finalised, no adverse comment from EPD has been received on the APCP.
- 1.3.13 Apart from complying with the relevant regulations and requirements, the Applicant has also carried out several voluntary improvement measures on his operation process upon the previous planning approvals. A deodorization system has been installed in 2018 to filter the particles and odour. The Temporary Asphalt Plant has also been using low odour bitumen since June 2018 to reduce the volatility and formation of bitumen fume. All asphalt trucks of the Applicant have been well equipped with cover for reducing dusts and odour during transportation. Moreover, the Applicant provided continuous training to his employees to ensure they are equipped with the latest technology to minimise adverse environmental impacts. Regular environmental monitoring has also been conducted within the application site and at the surrounding area to ensure minimal impacts to the neighbourhood since the approval of previous application. The results of such monitoring demonstrate a constant compliance with the required standards.
- 1.3.14 In addition, the Applicant has also obtained ISO certificates (**Appendix 4**) which demonstrated the compliance with the requirements of ISO 14001:2015 for environmental management system standards, ISO 45001:2018 for occupational health and safety management system specification, ISO 9001: 2015 for quality management system standards. These certificates remain valid due to good operation and management by the Applicant. Furthermore, a dangerous goods license (**Appendix 5**) has been issued to the Applicant, and the Applicant is strictly complying with Dangerous Goods Ordinance to ensure public and operation safety.
- 1.3.15 The Applicant has maintained a close and responsive communication with the local community, such as establishing a hotline for providing comments and reporting issues.
- 1.3.16 The Applicant is deeply committed to environmental sustainability and has made significant strides in energy saving and carbon reduction, echoing the Hong Kong Climate Action Plan 2050. In 2022, the Applicant was awarded the Energy Management Award (Grand) from the CLP (see **Appendix 6**), recognising its outstanding performance in energy efficiency and conservation measures.

The Applicant's Mission in Being a Leader in Quality, Innovation, and Community Engagement and Supporting the Industry, Community and the Territory

- 1.3.17 The Applicant has established itself as a leading enterprise specializing in the production of high-quality asphalt. Driven by a commitment to excellence, they have consistently invested in upgrading their production processes, striving to deliver superior asphalt products. Recognizing the importance of sustainability, the Applicant has developed recycled asphalt as a green product, offering a more environmentally friendly solution. Simultaneously, the Applicant is dedicated to innovation and technological advancements. They have forged close collaborations with local university, working together on cutting-edge research projects, aiming to enhance the performance of materials while introducing new, sustainable, and groundbreaking solutions within the industry. Their resources and industry expertise shared with local university, support tertiary education and the development of the industry.
- 1.3.18 Beyond its leading role in the asphalt industry, the Applicant upholds a strong sense of social responsibility. Site visits were also offered for villagers in the locality and students for educational purpose to promote the understanding of asphalt products as being essential road building construction materials. As an enterprise committed to community contributions, the Applicant has visited villages after severe weather events, resurfaced roads in poor condition, and voluntarily helped repair village roads. The Applicant is also keen on participating in social services that advocate for active aging. Some of the community services engaged by the Applicant is listed as follow.
- **Community Engagement:** Invited members of the public to visit the approved Temporary Asphalt Plant, providing a platform for open dialogue and gathering valuable feedback.
 - **Youth Development:** Implemented various youth exchange and internship programs, aiming to foster understanding of Hong Kong's heavy industry and broaden the horizons of young people.
 - **Pandemic Support:** During the COVID-19 pandemic, provided essential support to the community by distributing masks and sanitizers to those in need.
 - **Community Outreach:** Participated in various community initiatives, including distributing mooncakes to elderly residents during Mid-Autumn Festival, a gesture of care and support.
 - **Infrastructure Support:** Actively assisted in repairing damaged village roads after heavy rainstorms.
 - **Supporting Active Ageing:** Participated in social events for elderly residents, encouraging active aging through both physical and mental engagement;
 - **Elderly Care:** Distributed lucky bag to hundreds of elderlies, acknowledging their contributions to society with respect and provided assistance to elderly neighbors by helping with home repairs, demonstrating a genuine concern for their well-being.
- 1.3.19 Being the **only** asphalt plant in the North New Territories owned by the Applicant, the Temporary Asphalt Plant occupies a strategic position in arranging relevant community initiatives and programs to serve the community's needs in the area. Considering the North New Territories faces challenges from severe weather events,

infrastructural disruptions, and a growing population due to the vision of Northern Metropolis, the Applicant anticipates an increasing demand for community services and the Temporary Asphalt Plant will become a key location for arranging these services, serving a wider community.

1.3.20 The Applicant's dedication to contributing to both Hong Kong's overall development and the local community has garnered widespread support and appreciation from both the institution and the community at large (see **Appendix 7**).

1.3.21 As mentioned, as a pioneer in the industry, the Applicant wishes to continue leading the delivery of services to the territory and is dedicated to meeting the evolving needs of society. Sincere efforts have been made by the Applicant to implement various environmental control measures. Such measures not only minimise the adverse impacts to the environment and surroundings, also offer a safe and sustainable occupational environment for the Applicant's employees. Various awards and certificates were presented to the Applicant to recognise the efforts made in such aspects. In this regard, the Applicant seeks to **renew** the latest planning permission under Planning Application No. A/NE-FTA/192 from the Board which will be expired on 12.12.2024 such that the Applicant will be given an opportunity to continue utilising the application site for the Temporary Asphalt Plant in supporting Hong Kong's future development, contributing to the community whilst inducing no adverse infrastructural and environmental impact.

1.4 Structure of the Planning Statement

1.4.1 This Planning Statement is divided into 7 chapters. **Chapter 1** is the above introduction outlining the purpose and background of the current application. **Chapter 2** gives background details of the application site in terms of the current land-use characteristics and neighbouring developments. Planning context of the application site is reviewed in **Chapter 3** whilst **Chapter 4** provides details of the Temporary Asphalt Plant. **Chapter 5** demonstrates the result of technical assessments. A full list of planning justifications is given in **Chapter 6** whilst **Chapter 7** summarizes the concluding remarks for the Temporary Asphalt Plant.

2. SITE PROFILE

2.1 Location of the Application Site

2.1.1 The application site is located in Fu Tei Au, Sheung Shui, near the border with Shenzhen. The application site is located to the immediate east of Man Kam To Road and is south of Sha Ling and north of Hung Kiu San Tsuen (**Figure 1** refers).

2.1.2 The application site comprises Lots 20 RP (Part), 21 and 23 RP (Part) in D.D. 88, as well as the adjoining Government Land with a total area of approx. 9,056m² including 799m² of Government Land. The application site is situated in a rural character surrounded by various open storage/ vehicle repair workshop uses. The surrounding land-use characteristics and physical settings have remained unchanged since the approval granted for the previous planning application and amendments to the approved application.

2.2 Current Condition of the Application Site

2.2.1 As shown per **Illustration 1**, the application site is generally flat, and a piece of hard-paved land currently being utilised for the Temporary Asphalt Plant. It is connected to Man Kam To Road via an existing local access road.

2.3 Surrounding Land-use Characteristics

2.3.1 As demonstrated per **Illustration 2**, the surrounding areas are generally rural in character. To the immediate south of the application site is a vehicle repair workshop. To the west and southwest of the application site across the Man Kam To Road are a number of vehicle repair workshops and temporary structures. To the east of the application site are some temporary structures and vacant land. Land to the north and east of the application site is an area zoned "Green Belt" ("GB") with tree groups, graves, pipelines and electricity pylons on the higher slopes.

2.3.2 To the further south of the application site is a site zoned "Other Specified Use (Poultry Slaughtering Centre)" ("OU(PSC)") which was under Government's consideration for accommodating the relocation of Cheung Sha Wan Temporary Wholesale Poultry Market ("CSWTWPM") as shown per **Figure 3**. There is no detailed programme for the relocation at the moment. The land zoned as "OU(PSC)" is currently being used by Water Services Department Contract 4/WSD/16 for site office and open storage. A buffer distance of about 10m is situated between the application site and the "OU(PSC)" site, which is overgrown with trees and thick vegetation as well as accommodating an open drainage channel / nullah.

2.3.3 The application site is connected to Man Kam To Road via an existing access road. Land uses fronting Man Kam To Road are generally vehicle repair workshops, public vehicle park (including parking of container trailers/tractors and lorries), and warehouse facilities (**Figure 1** refer). The Man Kam To Road connects the Man Kam To Control Point to the North and Sheung Shui town centre via Jockey Club Road to the south.

3. PLANNING CONTEXT

3.1 The Current OZP

- 3.1.1 The application site currently falls within an area zoned “OS” on the Current OZP (please refer to Figure 3). The planning intention of the “OS” zone is primarily for the provision of land for appropriate open storage uses and to regularize the already haphazard proliferation of open storage uses. It provides for the orderly development of land for open storage uses that cannot be accommodated in conventional godown premises. According to the Notes of the Current OZP, ‘Asphalt Plant’ use is a Column 2 use, which requires planning permission from the Board.
- 3.1.2 According to the Explanatory Statement of the Current OZP, the land within the Fu Tei Au and Sha Ling OZP was previously included in the Fu Tei Au and Sha Ling Interim Development Permission Area (IDPA) Plan No. IDPA/NE-FTA/1 which was prepared by the Director of Planning and notified in the Gazette on 7 September 1990. Since the gazette of the IDPA, the application site has been zoned as “OS”.
- 3.1.3 On 16 October 2009, the Draft Fu Tei Au and Sha Ling OZP No. S/NE-FTA/11 was exhibited for public inspection under Section 5 of the Town Planning Ordinance. Amendments to the OZP included revision to the Statutory Notes for the “OS” zone by amending the land use term ‘Concrete Batching Plant’ to ‘Asphalt Plant/Concrete Batching Plant’ under Column 2 and rezoning the site to the immediate south of the application site from “OS” and “OU(Petrol Filling Station)” to “OU(PSC)”.
- 3.1.4 On 19 April 2024, the approved Fu Tei Au and Sha Ling OZP No. S/NE-FTA/18 (the Current OZP) was exhibited for public inspection under section 9(D)(2) of the Ordinance. Despite several amendments of the Fu Tei Au and Sha Ling OZP since the previously approved application, **the zoning of the application site remained unchanged.**

3.2 “Other Specified Use (Poultry Slaughtering Centre)” Zone

- 3.2.1 The “OU(PSC)” zone is intended primarily for the development of a poultry slaughtering centre to centralize the processing of poultry slaughtering so as to minimize the risk of human infection by avian influenza.
- 3.2.2 The proposal of developing a centralised poultry slaughtering centre was shelved by the Government in 2010 since the risk of avian influenza in Hong Kong was kept at a low level. The Food and Health Bureau (FHB) commissioned in mid-2015 a consultancy study to advise on the way forward for the live poultry trade in Hong Kong. The consultancy study advised to use the concerned “OU(PSC)” site for relocation of the CSWTWPM.
- 3.2.3 Given there is no detailed implementation programme for relocation of the CSWTWPM at the moment and considering the relocation of CSWTWPM shall subject to various potential procedures, including technical assessments, public consultation and funding process, it is unlikely to materialise nor putting forth the relocation of the

CSWTWPM in the coming five years. As such, the Temporary Asphalt Plant of temporary nature for a further five years, will not be in conflict with the implementation programme of the relocation of CSWTWPM.

3.3 Previous Planning Applications

3.3.1 The application site is subject to three previous planning applications (No. A/NE-FTA/123, 148 and 192) for the same use. Whilst a permanent development was sought under planning application No. A/NE-FTA/123, the application was rejected by the Board on 4.4.2014. The planning application No. A/NE-FTA/148 was the same as the planning application No. A/NE-FTA/123 in terms of the site area, layout and major development parameters except that the application No. A/NE-FTA/148 was on a temporary basis for a period of five years. The previous application No. A/NE-FTA/192 was approved by the Board on 18.10.2019. **Table 3** encapsulates details of these previous planning applications.

Table 3: Previous Planning Applications at the Application Site

| Application No. | Proposed Use | Zone | Decision of the Board |
|-----------------|---|------|---|
| A/NE-FTA/123 | Proposed Asphalt Plant | "OS" | Rejected (4.4.2014) |
| A/NE-FTA/148 | Proposed Temporary Asphalt Plant for a Period of Five Years | "OS" | Approved with conditions on a temporary basis for a period of five years (12.12.2014) |
| A/NE-FTA/192 | Proposed Temporary Asphalt Plant for a Period of Five Years | "OS" | Approved with conditions on a temporary basis for a period of five years (18.10.2019) |

3.3.2 As compared with the previously approved scheme under Application No. A/NE-FTA/192, the **development scheme and site configuration remain the same**, except minor changes in gross floor area to include existing ancillary facilities.

3.3.3 All approval conditions of the previous planning approval (Planning Application No. A/NE-FTA/192) have been duly complied with and the subsequent **Table 4** concludes the compliance with planning conditions under the previous approved application.

Table 4: Compliance with planning conditions under approved Planning Application No. A/NE-FTA/192

| Planning Approval Conditions | Discharged Date |
|---|-----------------|
| (c) the submission of a drainage proposal | 27.08.2020 |
| (d) the implementation of drainage proposal | 14.12.2020 |
| (e) the submission of proposals for fire service installations and water supplies for fire-fighting | 27.7.2020 |
| (f) the implementation of the proposals for fire service installations and water supplies for fire-fighting | 2.11.2020 |
| (g) the implementation of noise mitigation measures | 26.7.2021 |

3.4 Town Planning Board Guidelines (TPB PG-No. 34D)

- 3.4.1 Town Planning Board Guidelines on Renewal of Planning Approval and Extension of Time for Compliance with Planning Conditions for Temporary Use or Development (TPG PG-No. 34D) are relevant to the application. The current application is considered in line with the TPB-PG No.34D for the following grounds:-
- 3.4.2 There has been no material change in planning circumstances since the previous approval was granted as there has been no significant change in land-use zoning and the physical settings surrounding the application site compared to the previously approved planning application;
- 3.4.3 The nature of the current application in terms of approval period sought, proposed asphalt plant use and the operation of the Temporary Asphalt Plant are the same as that proposed in the previous planning application. There are minor changes in the proposed development parameters which accounts for the existing ancillary structures (i.e. staircases and platforms for maintenance and emergency access for subsequent Building Plan submission). Despite the minor changes in GFA due to new determination of GFA, there was **no change to the site configuration, building bulk, site area, form and major development parameters**. No material changes to the approved development are involved as the current application only involves amendments of countable GFA to facilitate subsequent Building Plan submission.
- 3.4.4 No adverse planning implications by allowing the current application is likely to be anticipated and the Applicant has in fact complied with all planning conditions under previous approval within specified time limits (**Table 4 refers**).

4. THE DEVELOPMENT PROPOSAL

4.1 Site Configuration, Layout & Operation

- 4.1.1 The application site is currently occupied by the Temporary Asphalt Plant, comprising administrative blocks including ancillary offices, laboratory and storages as well as operation blocks with ancillary equipment / machines including, a mixing tower, an emergency generator, a bituminous emulsion plant, a removable bitumen tank, a rubber bitumen removable tank, a horizontal conveyor belt, a slant conveyor belt, five elevated bitumen tanks, an underground hopper, six aggregate storage bins, seven aggregate stock piles, a reclaimed asphalt pavement (RAP) stock pile, a RAP processing depot, a mechanical workshop and store room, a truck wheel washing bay, weighbridges, a weighbridge control room and a mobile bitumen storage and drum decanter and other supporting structures.
- 4.1.2 It is proposed to continue utilising the application site for the Temporary Asphalt Plant. As compared with the last approved scheme, there is **no change in the nature/operation of the current application** and there is **no change in site configuration** as compared with the approved scheme of No. A/NE-FTA/192 and is **identical to the approved scheme**.
- 4.1.3 The development parameters under the current application seeks to aligns the GFA by including the existing ancillary structures of the Temporary Asphalt Plant (i.e. staircases and platforms for maintenance and emergency access). The said existing ancillary structures of the Temporary Asphalt Plant **has long been exists** in the previous application, the GFA was not include in the planning submission having considered its ancillary nature. The inclusion of these existing GFA aims at reflecting the existing condition and ensuring a smooth processing of the subsequent building plan submission. Whilst the said existing ancillary structures has been existed in the previously approved application, there is **no change to the site configuration, building bulk, site area, form, and major development parameters** of the approved Temporary Asphalt Plant. The application site **remains unchanged when compared to the previous application**.
- 4.1.4 The site configuration remains identical to the last approved Planning Applications No. A/NE-FTA/192 and are shown in the Layout Plan per **Figure 4** whilst **Table 5** encapsulates a comparison of the major development parameters/items of the current application and the last approved Planning Applications No. A/NE-FTA/192.
- 4.1.5 There is **no change in the asphalt production process and operation**. The Temporary Asphalt Plant will continue to have a maximum hourly production capacity of 160 tonnes. Asphalt production for infrastructure projects is usually conducted at daytime. However, most of the road resurfacing is usually conducted during night-time to minimise traffic disruption during daytime. The Temporary Asphalt Plant would also supply asphalt products for emergency road works or repair and maintenance works of underground utilities, which could happen at any time. As such, to meet the market and emergency demand and to ensure the quality of asphalt products, the Temporary Asphalt Plant will continue to be required to be operated 24 hours a day, 7 days a

week. Despite the operation hour would be proposed to be 24 hours a day, it should be noted that the actual production rate and time will continue to be subject to the overall market situation and the demand from construction and road works sites. The current application has proposed the operation hours in maximum terms, allowing flexibility to adapt to fluctuating market conditions, rather than as a constant requirement.

- 4.1.6 Vehicle access to/from the application site remains the same as that proposed in the previously approved application which will be via an existing access road to Man Kam To Road (see **Figure 1**). As the Temporary Asphalt Plant is currently in operation, no additional traffic is expected to be generated upon the approval of current application. The maximum traffic generation is anticipated to be 30 vehicles/hour (2-way), i.e. 75 pcu/hour as in the existing Temporary Asphalt Plant.

Table 5: Comparison of Major Parameters/Items of the Current Application and the previous approved Planning Application No. A/NE-FTA/192

| Major Parameters/Items | Previously Approved Application (No. A/NE-FTA/192) (a) | Current Application (b) | Difference (b) – (a) |
|---|--|--|--|
| Site Area (m²) Total Private Land Government Land | About 9,056 About 8,257 (91.18%) About 799 (8.82%) | About 9,056 About 8,257 (91.18%) About 799 (8.82%) | No Change No Change No Change |
| Proposed Use(s) | Temporary Asphalt Plant for a Period of 5 Years | Temporary Asphalt Plant for a Period of 5 Years | No Change |
| Gross Floor Area (m²) Total • Administrative Blocks (Ancillary Office/Storage) • Operational Block (Asphalt Plant and Ancillary Equipment/Machines) • Existing Ancillary Structures (i.e. Staircases and platforms for maintenance and emergency access (accountable for Building Plan submission) ¹ | 2,373.32 279.60 2,093.72 N.A | 2,804.19 279.60 2,093.72 430.87 | +430.87 No Change No Change +430.87 |
| Plot Ratio Site Coverage | About 0.26 About 27% | About 0.31 About 27% | +0.05 No Change |
| Number of Block | 2 | 2 | No Change |

¹ The existing ancillary structures of the Temporary Asphalt Plant have been existed since previous planning approvals, however, were not included in the previous planning submissions having considered its ancillary nature. In order to align with requirement for Building Plan submission, the current application included the GFA of the existing ancillary structures in order to ensure smooth processing of the subsequent TBP and TOP after approval of the current application. The application site remains unchanged when compared to the previous application, and there was no change to the site configuration, building bulk, site area, form, and major development parameters of the approved Temporary Asphalt Plant.

| Major Parameters/Items | Previously Approved Application (No. A/NE-FTA/192) (a) | Current Application (b) | Difference (b) – (a) |
|--|--|--------------------------------|-------------------------|
| Building Height (m) | | | |
| • Asphalt Plant and Ancillary Facilities (Excl. Ancillary Office) | Max. 34.6 | Max. 34.6 | No Change |
| • Ancillary Administrative Blocks | Max. 8.1 (1-storey) | Max. 8.1 (1-storey) | No Change |
| No. of Parking Spaces and Loading/ Unloading Spaces | | | |
| • Private Car Parking Spaces | 6 | 6 | No Change |
| • Goods Vehicle L/UL Bay | 1 | 1 | No Change |
| • Asphalt Trucks & Bitumen Trucks L/UL Bays (including 6 waiting spaces) | 9 | 9 | No Change |
| • Pick-Up/Drop-off Lay-by for Taxis & Private Cars | 1 | 1 | No Change |
| Operation Hours | 24 hours (Monday to Sunday) | 24 hours (Monday to Sunday) | No Change |

4.1.7 Internal transport facilities will **remain the same** as proposed under the previously approved application. 6 existing private car parking spaces, one existing loading/unloading (L/UL) bay for goods vehicles, one existing pick-up/ drop-off lay-by for taxis and private cars and nine existing L/UL bays with six waiting spaces for Asphalt trucks and Bitumen trucks will be remained in the application site. Sufficient circulation space, parking spaces and waiting area will continue to be provided within the application site. No queueing outside the application site by vehicles associated with the Temporary Asphalt Plant has been observed since the approval of previous planning application.

4.2 Provision of Landscape Treatment

4.2.1 The Applicant has submitted and implemented the Tree Preservation and Landscape Proposals under previous application. The Approved Tree Preservation and Landscape Proposals under A/NE-FTA/148 (**Appendix 8**) was implemented accordingly in 2017. The implemented landscape provision within the application site have been **kept in good and healthy condition** by the Applicant (**Illustration 3**). As such, it is proposed to maintain all the trees and plantings during the approval period should the current application be approved by the Board.

4.3 Provision of Boundary Fencing on the Application Site

4.3.1 Boundary fencing has been provided in compliance with the approval condition (a) of the previous application. The Applicant has been and will be maintaining the boundary fencing to the satisfaction of the relevant Government department(s). Current condition of the boundary fencing is demonstrated per **Illustration 4**.

4.4 Provision of Water Supplies for Fire-Fighting, Fire Service Installations and Emergency Vehicular Access (EVA)

4.4.1 A proposal for water supplies for fire-fighting and the fire service installations and a design of EVA were submitted by the Applicant in view of approval conditions (e) and (f) laid down per the previous application. The provision of water supplies for fire-fighting, fire service installations and EVA were then implemented accordingly. The approval conditions (e) and (f) regarding the aforesaid were discharged on 27.7.2020 and 2.11.2020 (**Appendices 2c** and **2d**). The Applicant will continue to properly maintain the installations and EVA to the satisfaction of the relevant Government department(s).

4.4.2 The existing fire services related facilities have been thoroughly inspected and certified by authorised bodies, demonstrating the existing performance meets the required standards. The certificates of fire-service installation and equipment of the application site dated 10.4.2024 and 11.4.2024 are attached per **Appendix 9** to demonstrate the current provision of water supplies for fire-fighting and fire service installations for the application site by the Applicant.

5. Traffic, Environmental and Drainage Considerations

5.1 Traffic Impact Assessment

- 5.1.1 A Traffic Impact Assessment (TIA) was conducted to examine the existing traffic condition and to assess the potential traffic impact arising from the Temporary Asphalt Plant.
- 5.1.2 While there is **no change** in the operation and no in-principal change in the development parameters of the Temporary Asphalt Plant, the existing internal transport facilities are expected to be sufficient to serve the Temporary Asphalt Plant.
- 5.1.3 The traffic generated by the Temporary Asphalt Plant is expected to be remained the same as the existing Temporary Asphalt Plant. No additional traffic is expected to be generated. The peak traffic generation and attraction are considered to be remained as 75 pcu/hour respectively.
- 5.1.4 Traffic survey was conducted at key junctions in the vicinity of the application site and junction capacity analysis was also conducted. The analysis concluded that all junctions would have sufficient capacity to accommodate the expected traffic growth to 2029 (i.e. Design Year), taking into account the traffic generated by the Temporary Asphalt Plant, developments in the surrounding areas and the growth of traffic. The Temporary Asphalt Plant will not have adverse traffic impact to the local road network. Please refer to **Appendix 10** for details of the TIA.

5.2 Environmental Assessment

- 5.2.1 An Environmental Assessment (EA) (**Appendix 11**) was conducted to review the potential environmental impacts associated with the Temporary Asphalt Plant, in terms of air quality, noise, water quality, waste management and land contamination.
- 5.2.2 The Temporary Asphalt Plant has already been built and in operation since 2017 and no construction works will be required. Therefore, impact on air quality, noise, water quality, waste management and land contamination arising from construction is not anticipated. The environmental impacts arising from the operation of the Plant arising from the operation of the Plant has not been changed since the 2019 EA report.
- 5.2.3 The Temporary Asphalt Plant has been and will continue to be subject to stringent environmental controls and good site practices of relevant statutory and non-statutory requirements. Being in line with all the controls and with implementation of recommended mitigation measures and good site practices, the Temporary Asphalt Plant will not result in any unacceptable environmental impacts. Please refer to **Appendix 11** for details of the EA.

5.3 Drainage Review

- 5.3.1 A Drainage Review (DR) (**Appendix 12**) was conducted to review the existing drainage system within the application site, referencing the accepted drainage proposal and its implementation in 2020, and recommend appropriate mitigation measures to mitigate any impacts if necessary.
- 5.3.2 A Drainage Impact Assessment (DIA) was submitted by the Applicant in a view to discharge the approval condition (c) laid down per the last planning approval. Drainage facilities were provided in according with the approved DIA under the approval condition (d) of the previous application (**Appendix 2a and 2b**).
- 5.3.3 According to the Drainage Review (**Appendix 12** refers), the existing drainage system within the application site is the same as that shown in the drainage proposal accepted in 2020. It is confirmed that no change in the drainage system is observed. The existing drainage system is well-maintained and there have been no flooding reports during severe rainstorms in the previous years.
- 5.3.4 The Applicant is well committed that the existing drainage provision implemented on the application site will be continued to be properly maintained during the approval period once the current application is approved by the Board.

6. PLANNING JUSTIFICATIONS

6.1 Supports with the Development Principle for "Driving Development by Transport Infrastructure" and Fuels Future Growth and Development

6.1.1 The Temporary Asphalt Plant has been playing an important role in the infrastructure projects by supplying high-quality asphalt to projects by public bodies and Government departments, namely TKO-LTT, HyD, CEDD, AA and MTRC such as HZMB, LTHYW BCP, Central – Wan Chai Bypass, Tuen Mun – Chek Lap Kok Link, Queen's Hill Development and the Airport Runway Asphalt Resurfacing projects, to name but a few. These projects form the backbone of Hong Kong's infrastructural development, adding capacity for future growth and laying a solid foundation towards a competitive, liveable and high-density city.

6.1.2 The construction industry in Hong Kong has revived in recent years, there is a series future contracts of Hong Kong key developments, such as the Northern Link - Kwu Tung Station, Hung Shui Kiu Station, Tuen Mun South Extension, a Tung Chung Line Extension etc. All of these projects have been approved by the Chief Executive Council and would be key drivers to support Hong Kong economic development and materialising the strategic planning vision under Hong Kong 2030+. With the implementation of various infrastructure projects and new development areas, a **continuous demand for high quality asphalt** is expected. In addition, the Hong Kong government has been in the forefront in developing the Northern Metropolis and others New Development Areas. The latest release of the Hong Kong Major Transport Infrastructure Development Blueprint also highlights the government's commitment in building a liveable, competitive and sustainable Hong Kong through "*driving development by transport infrastructure*" by adopting the planning principles of "*infrastructure-led*" and "*capacity-creating*". The road network of Hong Kong would be expanded and with increased capacity, and it is foreseeable that there is a growing demand for high quality asphalt to materialise the vision. The Temporary Asphalt Plant in Sheung Shui would be playing a key role in facilitating the development of the Northern Metropolis.

6.2 Meeting Local and Territorial Demand for Asphalt

6.2.1 There is a series of ongoing infrastructural projects engaged by the Applicant and are **unlikely to be completed within the current approval period**. Should the operation of the Temporary Asphalt Plant be ceased due to the failure in renewing the planning permission, a disruption might be expected on the on-going infrastructures projects supported by the Applicant's supply of asphalt. Apart from infrastructure projects, the Temporary Asphalt Plant is also engaging in road maintenance works and other road associated emergency repair and maintenance works carried out by Government departments by supplying asphalt as surfacing material to roads.

6.2.2 Establishing of an asphalt plant will require a considerable size of flat land, with suitable planning circumstances such as permitted zoning, compatible surrounding area and sufficient infrastructural support. The development of a similar asphalt plant

in an alternative location is not likely to be materialized in the short term given the **locational advantages** and not unsuitable planning circumstances of the application site as well as the requirement for establishment of an asphalt plant.

6.2.3 Considering the upcoming infrastructure projects and new development areas in North and Northeast New Territories, the Temporary Asphalt Plant, being **the only asphalt plant** in the North New Territories, is at a strategic location with convenient vehicular access to ensure reliable asphalt supply and to facilitate the implementation of new development areas in the New Territories. Approval of the planning application will allow the continuous supply of asphalt to address local and territorial demand for both infrastructure projects and different kinds of road maintenance works.

6.3 No Substantial Changes in Planning Circumstances and Full Compliance of Planning Approval Conditions of Previous Planning Approvals

6.3.1 The nature of the current application in terms of approval period sought, the use and operation of the Temporary Asphalt Plant is **the same as** that proposed in the previous planning application. The **site configuration in the current application is identical to the previously approved scheme**. More importantly, there have been **no substantial changes in the planning circumstances** such as land-use zoning and the physical settings surrounding the application site when comparing with all the previously approved planning application(s). Given that the development parameters of the Temporary Asphalt Plant is in- principle the same as the previous application and site configuration remains unchanged, as such, **no adverse planning implications** by allowing the current application is likely to be anticipated. The Applicant has in fact **complied with all planning conditions under previous approval** within specified time limits. And the Applicant has been and will be maintaining the implemented facilities required by the planning conditions.

6.3.2 No adverse planning implication by allowing the current application is likely to be anticipated. In view of the above, it is considered that the current application is **in line with** the TPB PG-No. 34D.

6.4 Temporary Nature Would Not Jeopardize the Planning Intention of “OS” zone

6.4.1 Notwithstanding the application site falls within an area zoned “OS” on the Current OZP, the **temporary nature of the current application will by no means jeopardize the long-term planning intention of “OS”**.

6.4.2 Moreover, it is the mere fact that such a period of the planning approval could be adjusted by the Board to a period of five years or less, and that a fresh section 16 planning application is required upon its expiry. The entire authority is always rested from the Board whether a new planning application for the continuation of the Temporary Asphalt Plant is further allowed or not. In this connection, the temporary nature of the Temporary Asphalt Plant would not in any sense pose any constraint to jeopardize nor preempt the long-term planning intention of “OS” zone or any planned

infrastructural development.

6.5 The Temporary Asphalt Plant will not be in conflict with the Implementation Programme of the Relocation of CSWTWPM

6.5.1 The land to the immediate south of the application site is zoned as “OU(PSC)” for the development of a poultry slaughtering centre to centralize the processing of poultry slaughtering. The proposal of developing a centralised poultry slaughtering centre was shelved by the Government in 2010 since the risk of avian influenza in Hong Kong was kept at a low level. The Food and Health Bureau (FHB) commissioned in mid-2015 a consultancy study to advise on the way forward for the live poultry trade in Hong Kong. The consultancy study advised to use the concerned “OU(PSC)” site for relocation of the CSWTWPM.

6.5.2 Given there is no detailed implementation programme for relocation of the CSWTWPM at the moment and considering the relocation of CSWTWPM shall be **subject to various potential procedures**, including technical assessments, public consultation and funding process, it is **unlikely** to materialise nor putting forth the relocation of the CSWTWPM in the coming five years. As such, the Temporary Asphalt Plant of temporary nature for further five years, will not be in conflict with the implementation programme of the relocation of CSWTWPM.

6.6 No Adverse Traffic Impact

6.6.1 A TIA was conducted to examine the existing traffic condition and to assess the potential traffic impact arising from the Temporary Asphalt Plant. The provision of internal transport facilities is considered to be sufficient as there is no substantial change in the planning circumstances. The traffic generation and attraction are expected to remain unchanged as current recorded figures of the existing asphalt plant. Junction capacity analysis concluded that all the key junctions in the vicinity of the application site will operate with adequate capacity in the design year 2029. It is concluded that the Temporary Asphalt Plant **will not have adverse traffic impact** to the surrounding road network.

6.7 No Adverse Environmental Impact

6.7.1 An EA was conducted to review the potential environmental impacts associated with the Temporary Asphalt Plant, in terms of air quality, noise, water quality, waste management and land contamination. The Temporary Asphalt Plant has been and will continue to be subject to stringent environmental controls and good site practices of relevant statutory and non-statutory requirements. While being in line with all the requirements, appropriate mitigation measures would continue to be taken. **No significant adverse impact** on environment is anticipated according to the EA.

6.8 No Adverse Drainage Impact

6.8.1 Drainage impact assessment has been carried out in previous applications and

subsequent discharge of approval conditions. A Drainage Review is prepared under the current application to confirm there is **no change in the drainage system** and the Site is the same as that shown in the drainage proposal accepted in 2020.

6.8.2 The existing drainage system is well-maintained and there have been no flooding reports during severe rainstorms in the previous years.

6.8.3 The Applicant is well committed that the existing drainage provision implemented on the application site will be **continued to be properly maintained** during the approval period once the current application is approved by the Board.

6.9 Continue to Support the Industry, the Community, and Hong Kong's Overall Development

6.9.1 The Applicant has been a leader in the asphalt industry, renowned for its commitment to producing high-quality products. The Applicant has continuously invested in upgrading their production processes to deliver superior asphalt while prioritizing sustainability. Apart from producing high-quality asphalt, they foster innovation and technological advancements by supporting tertiary education and local university research, aiming to enhance performance and introduce sustainable and groundbreaking solutions within the industry.

6.9.2 Beyond its industry leadership, the Applicant is deeply rooted in its community demonstrated by their extensive community support programs. This social responsibility has earned widespread appreciation. The Applicant's dedication to both Hong Kong's overall development and the local community is a valuable example in a competitive and profit-driven society and should receive recognition. The Temporary Asphalt Plant under the current application serves as a strategic location for upgrading asphalt production, providing materials for research, and facilitating community services and programs in the North New Territories. Approval of the planning application will allow the Applicant to continue its mission in supporting the industry and the community, benefiting Hong Kong's overall development.

6.10 No Setting of Undesirable Precedent

6.10.1 Since the approval of previous application, the Temporary Asphalt Plant at the application site has been **well maintained** and operated during the planning permission period.

6.10.2 **Regular self-monitoring measures** have been taken by the Applicant on the Temporary Asphalt Plant to maintain the potential environmental impacts to the minimal level. Apart from the self-monitoring measures, a renewal application for **SP Licence** has been submitted to EPD by the Applicant for the Temporary Asphalt Plant. Under the SP Licence, the Applicant has to comply with various requirements by the EPD to control and mitigate the potential impacts from the Temporary Asphalt Plant to an acceptable level.

- 6.10.3 Apart from complying with all the statutory requirements, the Applicant has been implementing various improvement measures on his operation process **voluntarily** upon the previous planning approval to further minimise the impact, including installing a deodorization system, using low odour bitumen and well equipping all asphalt trucks of the Applicant with cover.
- 6.10.4 Given that there is no substantial change in the planning circumstances; the Applicant has in fact complied with all planning conditions under previous approval within specified time limits; and that the Applicant has made sincere efforts to minimize and mitigate any potential impact voluntarily and under statutory requirements of the Government, the approval of current application to extend the planning permission time limit **will not set an undesirable precedent case** for other similar applications in the area.
- 6.10.5 Not only the approval of current application will not set an undesirable precedent case, but it will also **set a good example and demonstrate the good practices** for other asphalt plants in the territory. The Applicant has dedicated **sincere efforts** in implementing environmental protection and control measures, offering a safe occupational environment and maintaining close and responsive communication with local community to strike a balance between the interests of different stakeholders. The approval of current application will encourage the implementation of good practices by other asphalt plants.

7. CONCLUSION

- 7.1.1 This *Planning Statement* is submitted to the Board in support of a planning application for **Temporary Asphalt Plant for a Period of Five Years** at Lots 20 RP (Part), 21 and 23 RP (Part) in D.D. 88 and Adjoining Government Land, East of Man Kam To Road, Sheung Shui, New Territories. The current application aims to renew the previous planning permission under Planning Application No. A/NE-FTA/192 from the Board which will be expired on 12.12.2024 such that the Applicant can be given opportunity to continue using the application site for the Temporary Asphalt Plant.
- 7.1.2 The application site is subject to three previous planning applications (No. A/NE-FTA/123, A/NE-FTA/148 and A/NE-FTA/192). The latest planning application No. A/NE-FTA/192 for the same use was approved with conditions by the Board on 18.10.2019.
- 7.1.3 The application site currently falls within an area zoned "Open Storage" ("OS") on the approved Fu Tei Au and Sha Ling Outline Zoning Plan (OZP) No. S/NE-FTA/18 gazetted on 19.4.2024. As detailed in this Planning Statement, the Temporary Asphalt Plant is well justified on the grounds that:-
- (a) *Approval of the current application enables the Applicant to continue utilizing the application site to support the industry and the community and benefit Hong Kong's long-term development;*
 - (b) *The Temporary Asphalt Plant supports with the development principle of "driving development by transport infrastructure" under the Hong Kong Major Transport Infrastructure Development Blueprint promulgated in 2023 and fuels future growth and development in Hong Kong;*
 - (c) *The Temporary Asphalt Plant is essential to address local and territorial demand for asphalt and support Hong Kong infrastructural developments;*
 - (d) *There will be no substantial changes in planning circumstances by allowing the current application and the Applicant has demonstrated his full compliance of planning approval conditions of previous planning approval;*
 - (e) *The application is of temporary nature, which will not jeopardise the long-term planning intention of "OS";*
 - (f) *The Temporary Asphalt Plant will not be in conflict with the implementation programme of the relocation of Cheung Sha Wan Temporary Wholesale Poultry Market;*
 - (g) *No adverse environmental impact is expected as the temporary asphalt will continue to be in line with all the required environmental control measures and good site practices;*
 - (h) *No adverse traffic impact is expected as there is no significant change in planning circumstances and all key junctions will operate with sufficient capacity;*
 - (i) *No adverse drainage impact is expected as there is no change in the drainage system and the Applicant will continue to carry out routine maintenance; and*
 - (j) *The approval of the current application will not set an undesirable precedent.*

- 7.1.4 In view of the above and the list of detailed planning justifications in this Planning Statement, it is sincerely hoped that the Board will give favourable consideration to approve the current application for a temporary period of five years.

List of Figures

| | |
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| Figure 1 | Location Plan |
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LEGEND:



The Application Site

(For Identification Only)

Project:
Section 16 Planning Application for Temporary Asphalt Plant for a Period of 5 Years at Lots 20RP (Part), 21 and 23RP (Part) in D.D. 88 and Adjoining Government Land, East of Man Kam To Road, Sheung Shui, New Territories (Renewal of Planning Application No. A/NE-FTA/192)

Title:
Location Plan
(Extract of Survey Sheet 3-NW-C)

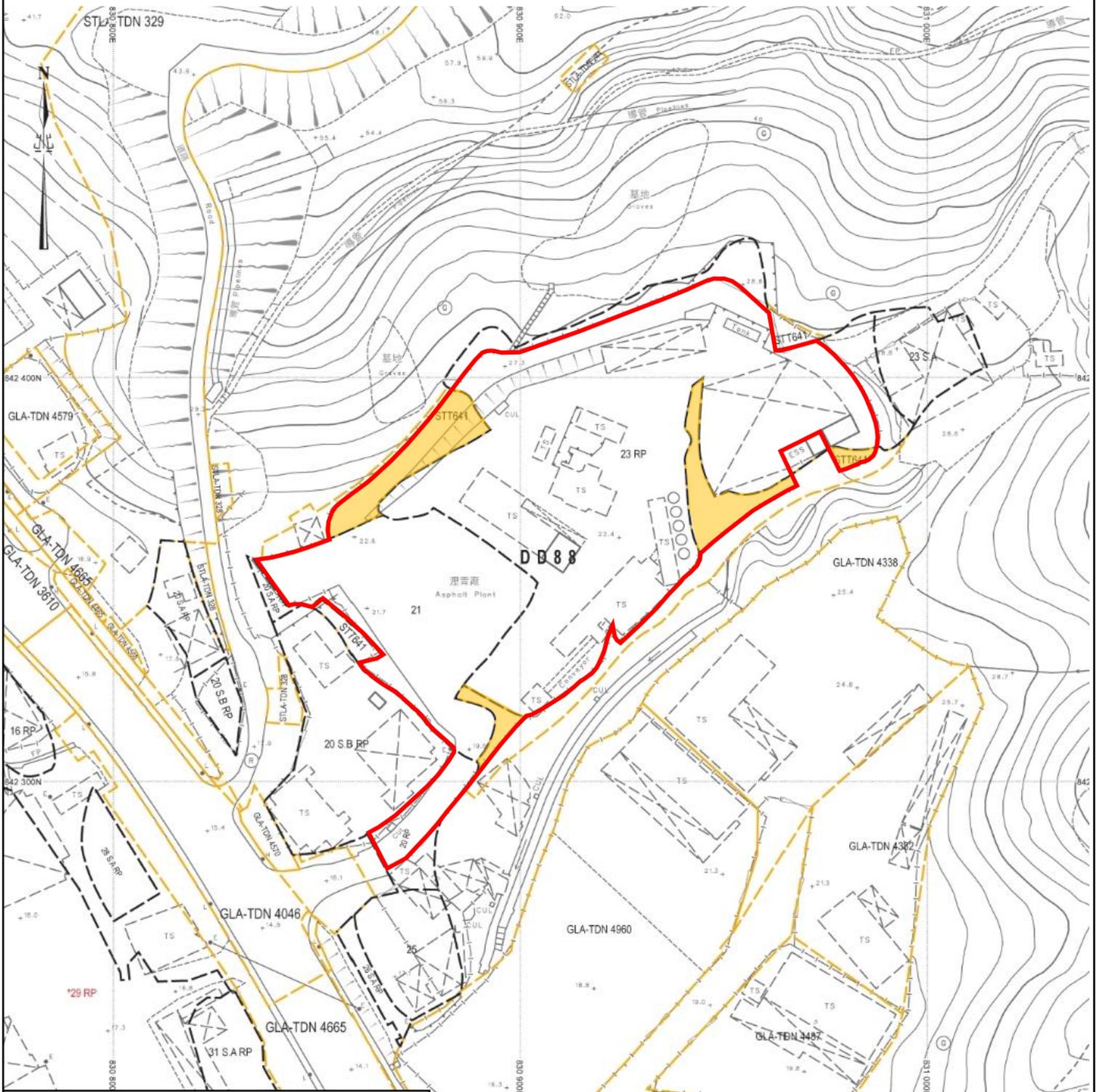
Ref.: ADCL/PLG-10290-R001/F001

Figure:
1

Scale:
Not to Scale

Date:
Aug 2024





LEGEND:



The Application Site



Government Land

(For Identification Only)

Project:

Section 16 Planning Application for Temporary Asphalt Plant for a Period of 5 Years at Lots 20RP (Part), 21 and 23RP (Part) in D.D. 88 and Adjoining Government Land, East of Man Kam To Road, Sheung Shui, New Territories (Renewal of Planning Application No. A/NE-FTA/192)

Title:

Extract of Lot Index Plan No. ags_S00000129261_0001

Ref.: ADCL/PLG-10290-R001/F001

Figure:

2

Scale:

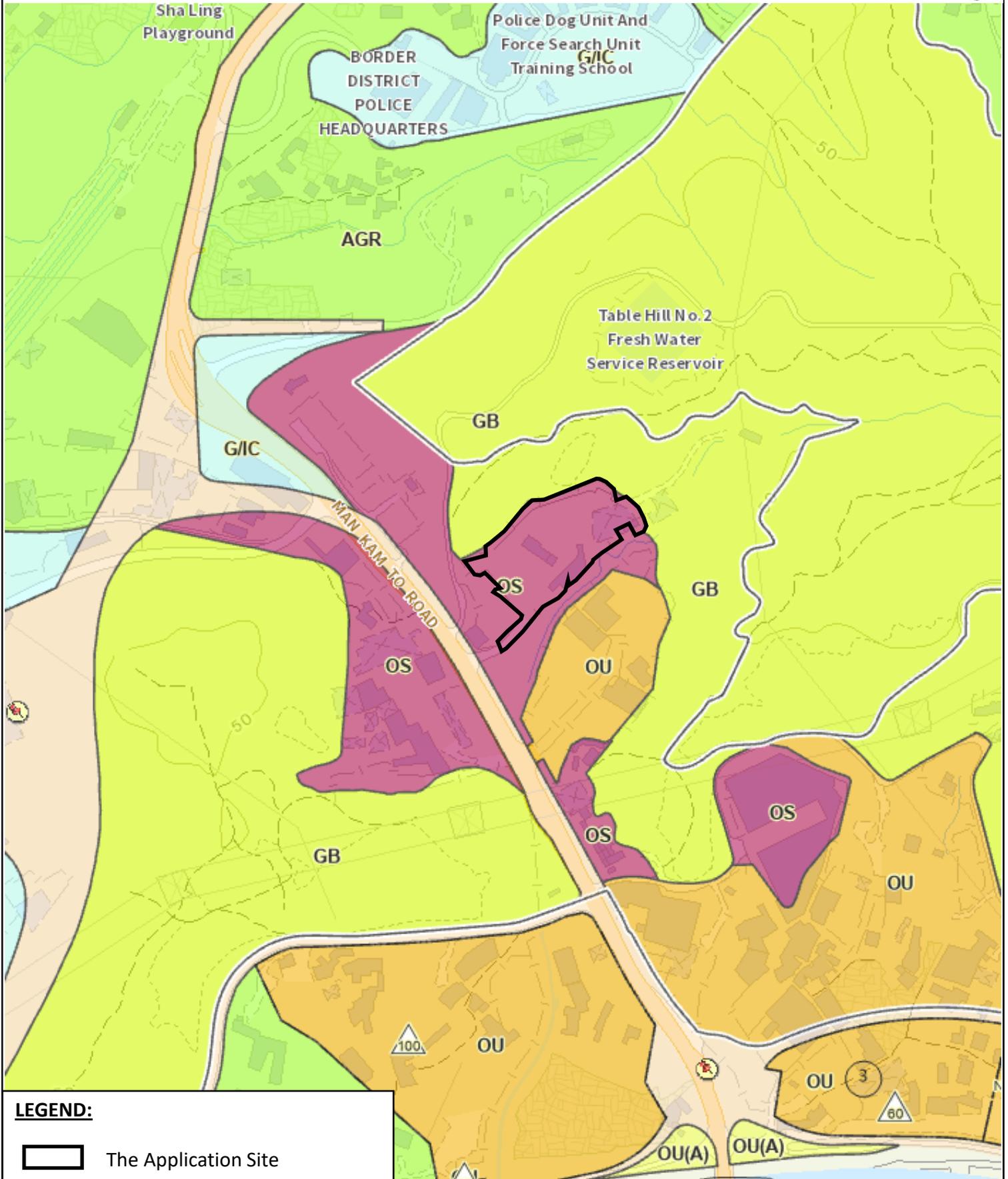
Not-to-scale

Date:

Aug 2024



AIKON DEVELOPMENT CONSULTANCY LTD.



LEGEND:



The Application Site

(For Identification Only)

Project:

Section 16 Planning Application for Temporary Asphalt Plant for a Period of 5 Years at Lots 20RP (Part), 21 and 23RP (Part) in D.D. 88 and Adjoining Government Land, East of Man Kam To Road, Sheung Shui, New Territories (Renewal of Planning Application No. A/NE-FTA/192)

Title:

Extract of Approved Fu Tei Au and Sha Ling Outline Zoning Plan No. S/NE-FTA/18

Ref.: ADCL/PLG-10290-R001/F003

Figure:

3

Scale:

Not to Scale

Date:

Aug 2024



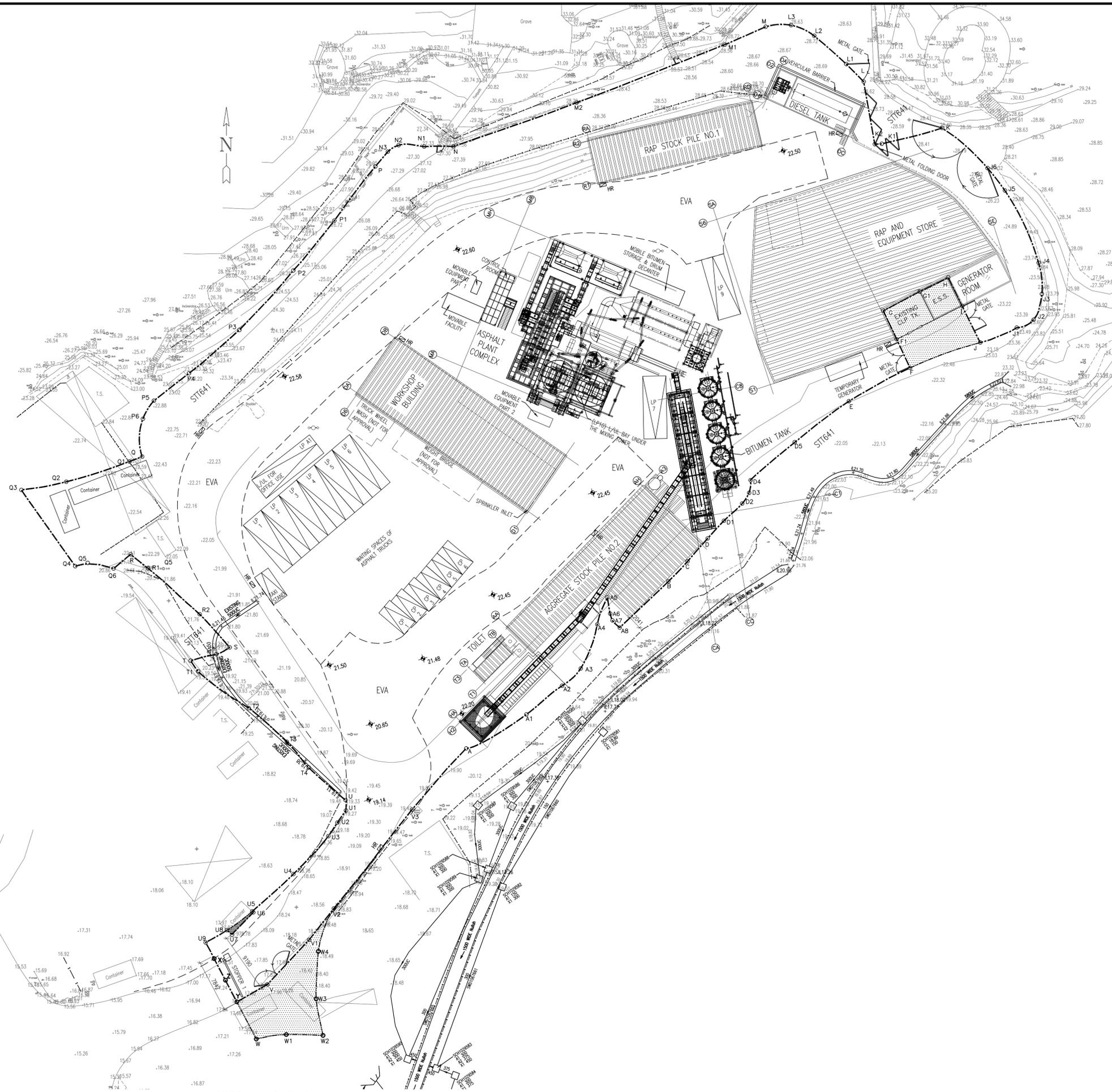
AIKON DEVELOPMENT CONSULTANCY LTD.

GENERAL NOTES:

- UNLESS OTHERWISE STATED, ALL DIMENSIONS ARE IN mm AND ALL LEVELS ARE IN mPD.
- UNLESS OTHERWISE STATED, ALL DIMENSIONS AND LEVELS ARE FINISH LEVELS.
- FENCE LAYOUT AND BOUNDARY COORDINATE SEE DRAWING HA897/G101



KEY PLAN
1:2000



MASTER LAYOUT PLAN 1:300

LEGEND:

- ORIGINAL BOUNDARY (NOT FENCE) - - - - -
- REVISED BOUNDARY (NEW FENCE) - - - - -
- EVA - - - - -
- EX. LEVEL - - - - -
- FIRE HYDRANT - ○ F.H.
- HOSE REEL - □ H.R.
- EXCISED AREA - [Hatched Box]

Figure 4

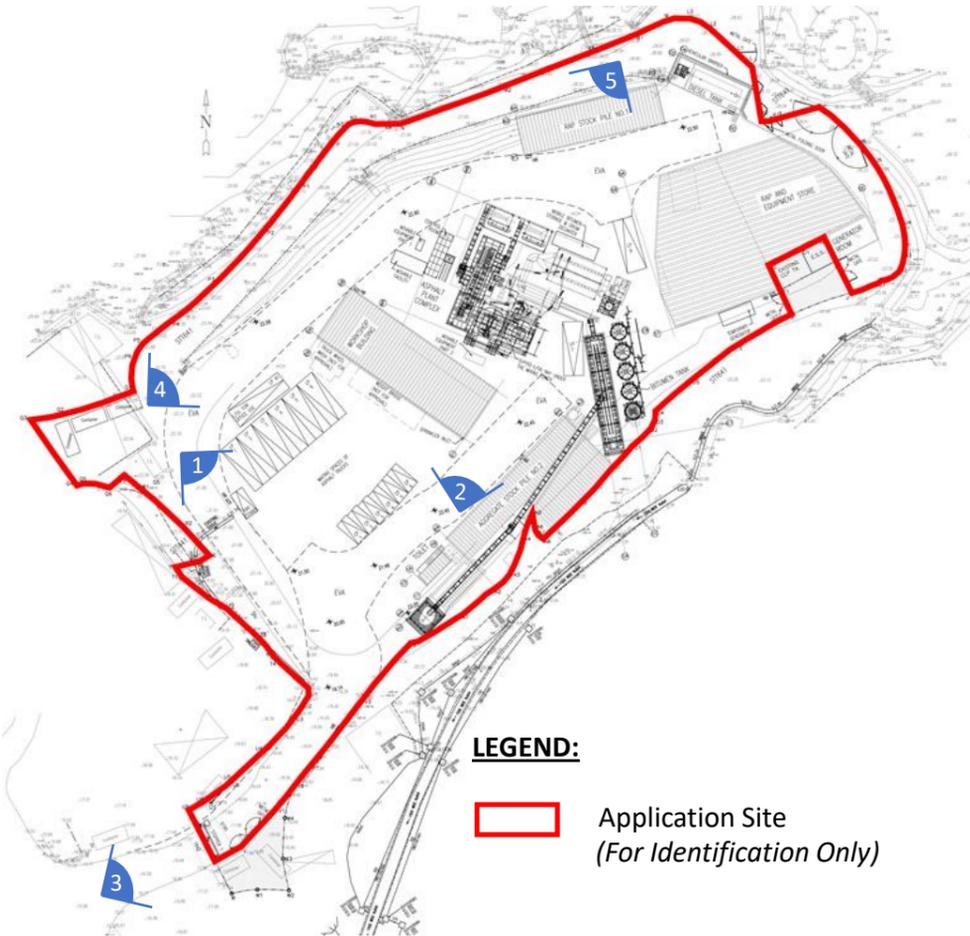
| Date | Rev. | Description | Design/Drawn | Ch'd | App'd |
|-------|------|-------------|--------------|------|-------|
| 27/15 | - | 1st Issue | ML | SH | ML |



| | |
|--|-------------|
| K. WAH ASPHALT LIMITED 嘉華瀝青有限公司 | |
| LOT NO. 20R.P., 21 & 23R.P. (PART) AND STT641 IN DD88 | |
| ASPHALT PLANT ALONG MAN KAM TO ROAD, SHEUNG SHUI | |
| MASTER LAYOUT PLAN | |
| Contract No.: | Drawing No. |
| File Name: | HA897/G102 |
| MAURICE LEE & ASSOCIATES LIMITED 李榮漢建築工程師事務所有限公司 | |

List of Illustrations

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| Illustration 3 | Current Condition of Implemented Landscape Proposal |
| Illustration 4 | Current Condition of Boundary Fencing |



Project:
 Section 16 Planning Application for Temporary Asphalt Plant for a Period of 5 Years at Lots 20RP (Part), 21 and 23RP (Part) in D.D. 88 and Adjoining Government Land, East of Man Kam To Road, Sheung Shui, New Territories (Renewal of Planning Application No. A/NE-FTA/192)

Title:
 Existing Condition of the Application Site
 (Photos taken in June 2024)

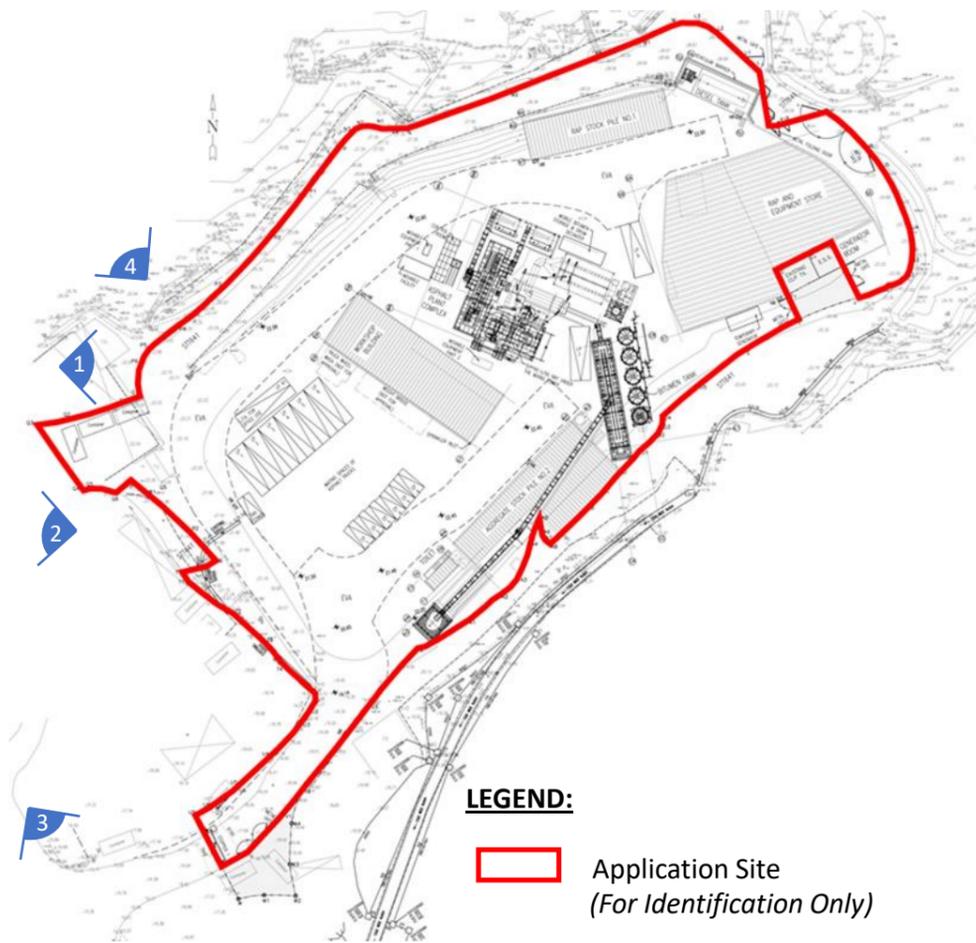
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Scale:
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Date:
 July 2024

Ref.: ADCL/PLG-10290-R001/1001





LEGEND:

 Application Site
(For Identification Only)



Project:
Section 16 Planning Application for Temporary Asphalt Plant for a Period of 5 Years at Lots 20RP (Part), 21 and 23RP (Part) in D.D. 88 and Adjoining Government Land, East of Man Kam To Road, Sheung Shui, New Territories (Renewal of Planning Application No. A/NE-FTA/192)

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Existing Condition of the Surrounding Area
(Photos taken in June 2024)

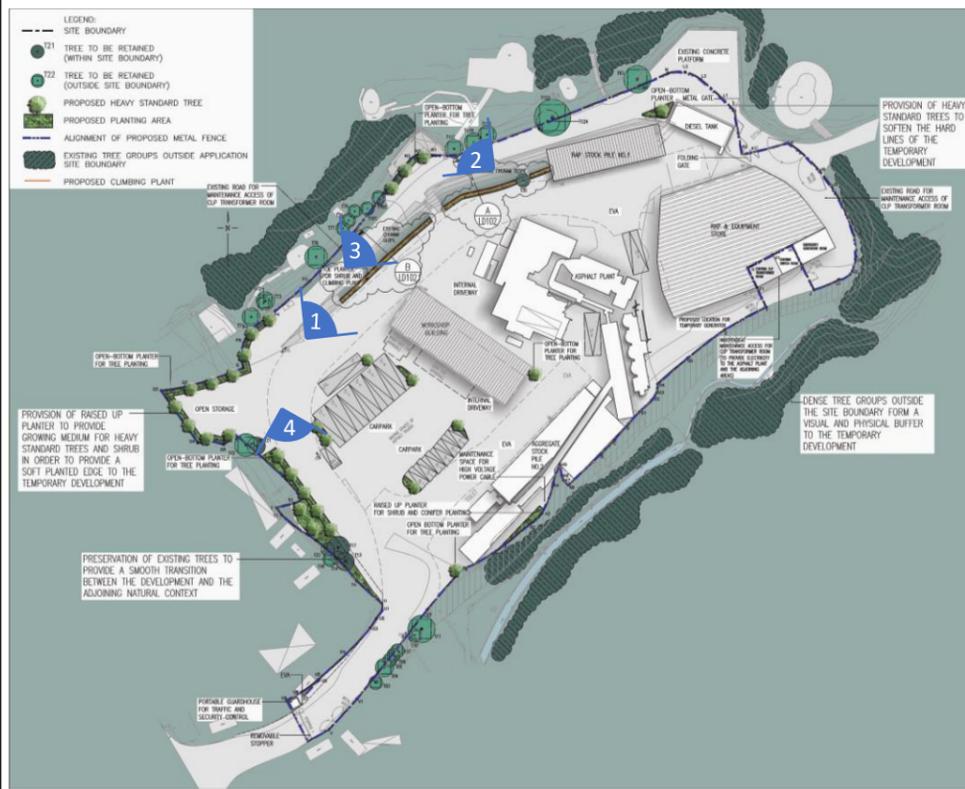
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Scale:
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Date:
July 2024

Ref.: ADCL/PLG-10290-R001/1002





Project:
 Section 16 Planning Application for Temporary Asphalt Plant for a Period of 5 Years at Lots 20RP (Part), 21 and 23RP (Part) in D.D. 88 and Adjoining Government Land, East of Man Kam To Road, Sheung Shui, New Territories (Renewal of Planning Application No. A/NE-FTA/192)

Title:
 Current Condition of Implemented Landscape Proposal (Photos taken in June 2024)

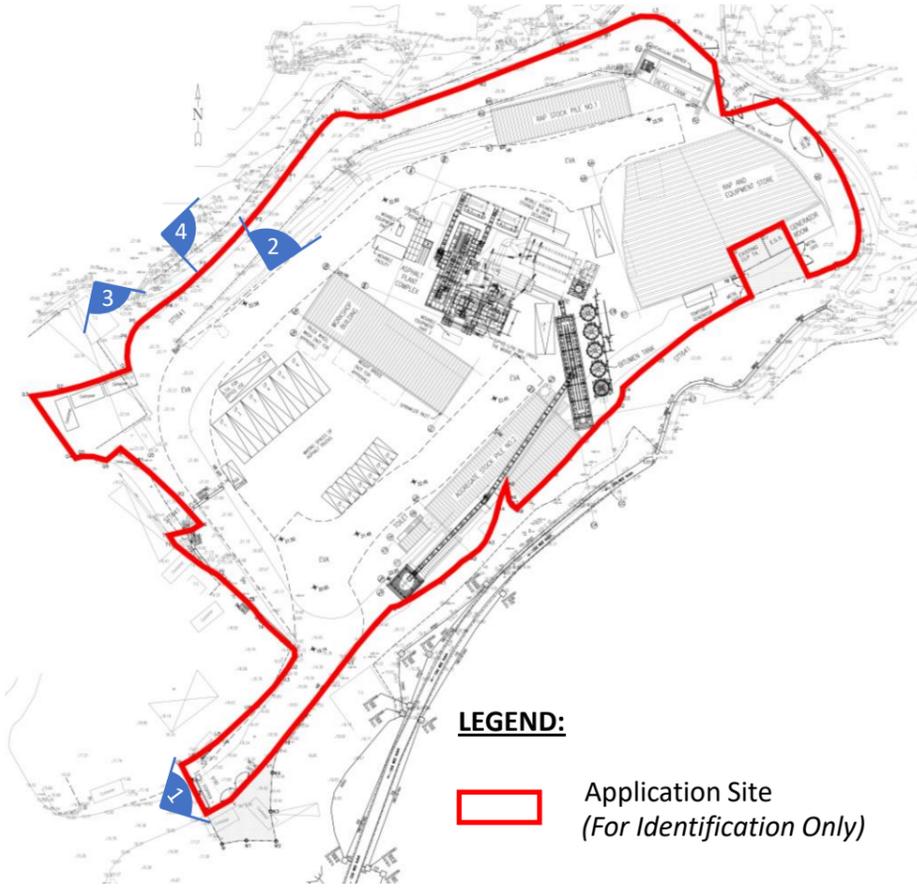
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Date:
 July 2024

Ref.: ADCL/PLG-10290-R001/003





Project:
 Section 16 Planning Application for Temporary Asphalt Plant for a Period of 5 Years at Lots 20RP (Part), 21 and 23RP (Part) in D.D. 88 and Adjoining Government Land, East of Man Kam To Road, Sheung Shui, New Territories (Renewal of Planning Application No. A/NE-FTA/192)

Title:
 Current Condition of the Boundary Fencing
 (Photos taken in June 2024)

Illustration:
 4

Scale:
 N/A

Date:
 July 2024

Ref.: ADCL/PLG-101290-R001/F001



Appendix 1

Approval Letter for Planning Application No. A/NE-FTA/192

城市規劃委員會

香港北角渣華道三百三十三號
北角政府合署十五樓

TOWN PLANNING BOARD

15/F., North Point Government Offices
333 Java Road, North Point,
Hong Kong.

傳 真 Fax: 2877 0245 / 2522 8426

電 話 Tel: 2231 4317

來函檔號 Your Reference:

覆函請註明本會檔號

In reply please quote this ref.: TPB/A/NE-FTA/192

By Post & Fax (3180 7611)

1 November 2019

Aikon Development Consultancy Ltd.
Unit 1310, Tower 2, Metroplaza
223 Hing Fong Road
Kwai Chung, New Territories
(Attn.: Thomas Luk)

Dear Sir/Madam,

**Renewal of Planning Approval for Temporary Asphalt Plant for a Period of 5 Years
in “Open Storage” Zone, Lots 20 RP (Part), 21 and 23 RP (Part) in D.D. 88
and adjoining Government Land, East of Man Kam To Road, Sheung Shui**

I refer to my letter to you dated 17.10.2019.

After giving consideration to the application, the Town Planning Board (TPB) approved the application for permission under section 16 of the Town Planning Ordinance on the terms of the application as submitted to the TPB. The permission shall be valid on a temporary basis for a period of 5 years from 13.12.2019 until 12.12.2024 and is subject to the following conditions :

- (a) the maintenance of peripheral fencing on the site at all times during the planning approval period;
- (b) the maintenance of all existing trees within the site at all times during the planning approval period;
- (c) the submission of a drainage proposal within 6 months from the date of the commencement of the renewed planning approval to the satisfaction of the Director of Drainage Services or of the TPB by 13.6.2020;
- (d) in relation to (c) above, the implementation of drainage proposal within 9 months from the date of the commencement of the renewed planning approval to the satisfaction of the Director of Drainage Services or of the TPB by 13.9.2020;
- (e) the submission of proposals for fire service installations and water supplies for fire-fighting within 6 months from the date of the commencement of the renewed planning approval to the satisfaction of the Director of Fire Services or of the TPB by 13.6.2020;

- (f) in relation to (e) above, the implementation of the proposals for fire service installations and water supplies for fire-fighting within 9 months from the date of the commencement of the renewed planning approval to the satisfaction of the Director of Fire Services or of the TPB by 13.9.2020;
- (g) the implementation of noise mitigation measures, as proposed by you, within 9 months from the date of the commencement of the renewed planning approval to the satisfaction of the Director of Environmental Protection or of the TPB by 13.9.2020;
- (h) if any of the above planning conditions (a) or (b) is not complied with during the planning approval period, the approval hereby given shall cease to have effect and shall be revoked immediately without further notice; and
- (i) if any of the above planning conditions (c), (d), (e), (f) or (g) is not complied with by the specified date, the approval hereby given shall cease to have effect and shall on the same date be revoked without further notice.

The TPB also agreed to advise you to note the advisory clauses as set out at Appendix IV of the TPB Paper.

You are reminded to **strictly** adhere to the time limit for complying with the above planning conditions. If any of the above planning conditions are not complied with by the specified time limit, the permission given shall be revoked without further notice and the development will be subject to enforcement action. If you wish to apply for extension of time for compliance with planning conditions, you should submit a section 16A application to the TPB no less than six weeks before the expiry of the specified time limit. This is to allow sufficient time for processing of the application in consultation with the concerned departments. The TPB will not consider any application for extension of time if the time limit specified in the permission has already expired at the time of consideration by the TPB. For details, please refer to the TPB Guidelines No. 34C and 36B. The Guidelines, application form (Form No. S16A) and the Guidance Notes for applications are available at the TPB's website (www.info.gov.hk/tpb/), the Planning Enquiry Counters of the Planning Department (Hotline : 2231 5000) at 17/F, North Point Government Offices, 333 Java Road, North Point; 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin; and the Secretariat of the TPB at 15/F, North Point Government Offices.

This temporary permission will lapse on 13.12.2024. You may submit an application to the TPB for renewal of the temporary permission no less than two months before its expiry by completing an application form (Form No. S16-III). For details, please refer to TPB Guidelines No. 34C. However, the TPB is under no obligation to renew the temporary permission.

For amendments to the approved scheme that may be permitted with or without application under section 16A, please refer to TPB Guidelines No. 36B for details.

A copy of the TPB Paper in respect of the application (except the supplementary planning statement/technical report(s), if any) and the relevant extract of minutes of the TPB meeting held on 18.10.2019 are enclosed herewith for your reference.

Under section 17(1) of the Town Planning Ordinance, an applicant aggrieved by a decision of the TPB may apply to the TPB for a review of the decision. If you wish to seek a review, you should inform me within 21 days from the date of this letter (on or before 22.11.2019). I will then contact you to arrange a hearing before the TPB which you and/or your authorized representative will be invited to attend. The TPB is required to consider a review application within three months of receipt of the application for review. Please note that any review application will be published for three weeks for public comments.

This permission by the TPB under section 16 of the Town Planning Ordinance should not be taken to indicate that any other government approval which may be needed in connection with the development, will be given. You should approach the appropriate government departments on any such matter.

If you have any queries regarding this planning permission, please contact Mr. Tim Fung of Sha Tin, Tai Po & North District Planning Office at 2158 6237. In case you wish to consult the relevant Government departments on matters relating to the above approval conditions, a list of the concerned Government officers is attached herewith for your reference.

Yours faithfully,



(Felix MA)

for Secretary, Town Planning Board

List of Government Department Contacts

(Application No. A/NE-FTA/192)

| 部門 Department | 辦事處 Office | 聯絡人姓名 Name of Contact Person | 電話號碼 Telephone No. | 傳真號碼 Facsimile No. |
|---|--|---------------------------------------|--------------------------|--------------------------|
| 渠務署 Drainage Services Department | 新界北渠務部 Mainland North Division | 王秋林先生 Mr. WONG Chau Lam | 2300 1433 | 2770 4761 |
| 環境保護署 Environmental Protection Department | 策略評估組 Strategic Assessment Group | 黃智聰先生 Mr. WONG Chi Chung, Chris | 2835 1145 | 2591 0558 |
| 消防處 Fire Services Department | 策劃組 Planning Group (PG) | 陳銘冲先生 Mr. CHAN Ming Chung | 2733 7735 | 2739 8775 |

Appendix 2a

Letter from Planning Department dated 27.8.2020 for Compliance with Approval Condition (c)
on Submission of a Drainage Proposal

規 劃 署

沙田、大埔及北區規劃處
香港新界沙田上禾輦路一號
沙田政府合署
十三樓 1301-1314 室



Planning Department

Sha Tin, Tai Po & North District
Planning Office
Rooms 1301-1314, 13/F,
Shatin Government Offices,
1 Sheung Wo Che Road, Sha Tin,
N.T., Hong Kong

本函檔號 Your Reference ADCL/PLG-10189/L005
本署檔號 Our Reference () in TPB/A/NE-FTA/192
電話號碼 Tel. No.: 2158 6220
傳真機號碼 Fax No.: 2691 2806 / 2696 2377

Aikon Development Consultancy Limited
Unit 1310, 13/F, Tower 2 Metroplaza,
223 Hing Fong Road, Kwai Chung
New Territories, Hong Kong
(Attn.: Mr. Thomas LUK)

By Post and Fax (3180 7611)

27 August 2020

Dear Mr. LUK,

**Renewal of Planning Approval for Temporary Asphalt Plant for a Period of 5 Years
in “Open Storage” Zone, Lots 20 RP (Part), 21 and 23 RP (Part) in D.D. 88,
and adjoining Government Land, East of Man Kam To Road, New Territories**

(Compliance with Approval Conditions (c) and (g) for Application No. A/NE-FTA/192)

I refer to your submission received on 31.7.2020 for compliance with approval conditions (c) and (g) in relation to the submission of drainage proposal and implementation of noise mitigation measures under the captioned application.

Chief Engineer/Mainland North, Drainage Services Department (Contact Person: Mr. Henry W. C. YU; Tel.: 2300 1407) has been consulted and has no comment on the submission. As such, approval condition (c) is considered complied with. His advisory comments are attached at **Appendix I**.

Please proceed to implement the accepted drainage proposal for compliance with approval condition (d). In order to facilitate compliance checking, you are required to provide a set of completion photo records with viewpoints indicated on the accepted proposals for inspection.

Director of Environmental Protection (Contact Person: Mr. Chris WONG; Tel.: 2835 1145) has been consulted and advised that approval condition (g) is considered not complied with. His advisory comments are attached at **Appendix II**. You are advised to revise and resubmit the proposal for our consideration.

Should you have any queries, please feel free to contact Ms. Wendy W. L. LEE of this department at 2158 6241.

Yours faithfully,

A handwritten signature in black ink, appearing to read 'Jessica Chu', written in a cursive style.

(Ms. Jessica CHU)
for and on behalf of
Director of Planning

Appendix I

Comments of the Chief Engineer/Mainland North, Drainage Services Department (Contact Person: Mr. Henry YU; Tel.: 2300 1407):

- (a) the “existing nullah” to which the applicant proposed to discharge the storm water from the subject site is maintained by DSD. The applicant should clear the silting, debris and fallen leaves in their proposed drainage system regularly such that no debris, silting and fallen leaves will be washed down to DSD's stormwater drainage system in the downstream;
- (b) the applicant is required to construct and maintain the proposed drainage works properly and rectify the drainage systems if they are found to be inadequate or ineffective during operation. The applicant shall also be liable for and shall indemnify claims and demands arising out of damage or nuisance caused by a failure of the systems. For works undertaken outside the lot boundary, prior consent and agreement from DLO/N and/or relevant private lot owners should be sought;
- (c) the applicant is reminded that all existing flow paths as well as the run-off falling onto and passing through the site should be intercepted and disposed of via proper discharge points. The applicant shall also ensure that no works, including any site formation works, shall be carried out as may adversely interfere with the free flow condition of the existing drain, channels and watercourses on or in the vicinity of the subject site any time during or after the works;
- (d) the lot owner / developer shall take all precautionary measures to prevent any disturbance, damage and pollution from the development to any parts of the existing drainage facilities in the vicinity of the lots. In the event of any damage to the existing drainage facilities, the developer shall be held responsible for the cost of all necessary repair works, compensation and any other consequences arising there from; and
- (e) the applicant shall allow all time free access for the Government and its agent to conduct site inspection on his completed drainage works, if necessary.

Appendix II

Director of Environmental Protection (Contact Person: Mr. Chris WONG; Tel.: 2835 1145):

- (a) the applicant is requested to provide a letter from the Authorised Person (AP) under Buildings Ordinance (BO) certifying that the implementation of noise mitigation measures, as proposed by the applicant, for the asphalt plant as per approval condition (g) has been satisfactorily and fully implemented, with colour site photos and figures for illustration purpose on the implemented noise mitigation measures;
- (b) the applicant should supplement in the submission on noise mitigation measures for exhaust fan and mixing unit and other relevant measures which were covered and committed to be undertaken by the applicant in the Further Information to support the s.16 application submitted by the applicant on 9.10.2019; and
- (c) the applicant should also confirm that all the committed measures as stated in their Further Information dated 9.10.2019 have been properly and fully implemented to assure that noise standards under Chapter 9 of Hong Kong Planning Standards and Guidelines (HKPSG) would be compiled with.

Appendix 2b

Letter from Planning Department dated 14.12.2020 for Compliance with Approval Condition
(d) on Implementation of Drainage Proposal

規 劃 署

沙田、大埔及北區規劃處
新界沙田上禾輦路1號
沙田政府合署13樓



Planning Department

Sha Tin, Tai Po & North
District Planning Office
13/F, Shatin Government Offices,
1 Sheung Wo Che Road, Sha Tin,
N.T.

本函檔號 Your Reference : ADCL/PLG-10189/L009
本署檔號 Our Reference : () in TPB/A/NE-FTA/192
電話號碼 Tel. No. : 2158 6220
傳真機號碼 Fax No. : 2691 2806 / 2696 2377

By Post and Fax (3180 7611)

Aikon Development Consultancy Limited
Unit 1310, Level 13
Tower 2 Metroplaza
223 Hing Fong Road
Kwai Chung, New Territories
(Attn.: Mr. Thomas LUK)

14 December 2020

Dear Mr. LUK,

**Renewal of Planning Approval for Temporary Asphalt Plant for a Period of 5 Years
in “Open Storage” Zone, Lots 20 RP (Part), 21 and 23 RP (Part) in D.D. 88
and adjoining Government Land, East of Man Kam To Road, Sheung Shui**

(Compliance with Approval Condition (d) for Application No. A/NE-FTA/192)

I refer to your submission dated 19.11.2020 for compliance with approval condition (d) in relation to the implementation of drainage proposal under the captioned planning application.

Chief Engineer/Mainland North, Drainage Services Department (Contact person: Mr. Henry YU; Tel. No.: 2300 1407) has been consulted and advised that the implementation of drainage facilities on site was acceptable. As such, approval condition (d) is considered complied with. His advisory comments are attached at **Appendix I**.

Should you have any queries, please feel free to contact Ms. Wendy W. L. LEE of this department at 2158 6241.

Yours faithfully,

(Ms. Jessica CHU)
for and on behalf of
Director of Planning

Appendix I

Comments of the Chief Engineer/Mainland North, Drainage Services Department
(Contact Person: Mr. Henry YU; Tel. No.: 2300 1407):

- (a) the applicant is reminded that the development and the drainage facilities implemented on site shall not obstruct overland flow/surface runoff and any existing drainage facilities; and
- (b) the applicant shall make sure that rain water falling onto the subject site shall be collected by a drainage system and conveyed to a proper discharge point(s). The applicant shall maintain such system properly and rectify the system if it is found to be inadequate or ineffective during operation at his own cost. The applicant shall also be liable for and shall indemnify Government against claims and demands arising out of damage or nuisance caused by a failure of the system.

Appendix 2c

Letter from Planning Department dated 27.7.2020 for Compliance with Approval Condition (e)
on Submission of Proposal for Fire Services Installations and Water Supplies for Fire-fighting

規 劃 署

沙田、大埔及北區規劃處
香港新界沙田上禾輦路一號
沙田政府合署
十三樓 1301-1314 室



Planning Department

Sha Tin, Tai Po & North District
Planning Office
Rooms 1301-1314, 13/F,
Shatin Government Offices,
1 Sheung Wo Che Road, Sha Tin,
N.T., Hong Kong

本函檔號 Your Reference ADCL/PLG-10189/L004
本署檔號 Our Reference () in TPB/A/NE-FTA/192
電話號碼 Tel. No.: 2158 6220
傳真機號碼 Fax No.: 2691 2806 / 2696 2377

Aikon Development Consultancy Limited
Unit 1310, 13/F, Tower 2 Metroplaza,
223 Hing Fong Road, Kwai Chung
New Territories, Hong Kong
(Attn.: Mr. Thomas LUK)

By Post and Fax (3180 7611)

27 July 2020

Dear Mr. LUK,

**Renewal of Planning Approval for Temporary Asphalt Plant for a Period of 5 Years
in “Open Storage” Zone, Lots 20 RP (Part), 21 and 23 RP (Part) in D.D. 88,
and adjoining Government Land, East of Man Kam To Road, New Territories**

(Compliance with Approval Conditions (e) and (f) for Application No. A/NE-FTA/192)

I refer to your submission received on 17.6.2020 for compliance with approval conditions (e) and (f) in relation to the submission and implementation of the proposals for fire service installations and water supplies for fire-fighting under the captioned application.

Director of Fire Services (Contact person: Mr. CHAN Ming-chung; Tel.: 2733 7735) has been consulted and advised that approval condition (e) is considered complied with. His advisory comments are attached at **Appendix I**. For condition (f), your submission is still being processed by the Fire Services Department. His comment(s) will be conveyed to you once available.

Should you have any queries, please feel free to contact Ms. Wendy W. L. LEE of this department at 2158 6241.

Yours faithfully,

(Ms. Jessica CHU)
for and on behalf of
Director of Planning

Appendix I

Comments of the Director of Fire Services (Contact Person: Mr. CHAN Ming-chung; Tel.: 2733 7735 or Mr. IP Yan-chi, Joseph; Tel: 2733 5844):

- the applicant is advised that the installation/ maintenance/ modification/ repair work of the fire service installation (FSI) shall be undertaken by an Registered Fire Service Installation Contractor (RFSIC). The RFSIC shall after completion of the installation/ maintenance/ modification/ repair work issue to the person on whose instruction the work was undertaken a certificate (FS251) and forward a copy of the certificate to the Director of Fire Services.

Appendix 2d

Letter from Planning Department dated 2.11.2020 for Compliance with Approval Condition (f)
on Implementation of the Proposal for Fire Services Installations and Water Supplies for Fire-
fighting

規 劃 署

沙田、大埔及北區規劃處
香港新界沙田上禾輦路一號
沙田政府合署
十三樓 1301-1314 室



Planning Department

Sha Tin, Tai Po & North District
Planning Office
Rooms 1301-1314, 13/F,
Shatin Government Offices,
1 Sheung Wo Che Road, Sha Tin,
N.T., Hong Kong.

本函檔號 Your Reference
本署檔號 Our Reference () in TPB/A/NE-FTA/192
電話號碼 Tel. No. : 2158 6220
傳真機號碼 Fax No. : 2691 2806 / 2696 2377

Aikon Development Consultancy Limited
Unit 1310, 13/F, Tower 2 Metroplaza,
223 Hing Fong Road, Kwai Chung
New Territories, Hong Kong
(Attn.: Mr. Thomas LUK)

By Post and Fax (3180 7611)

2 November 2020

Dear Mr. LUK,

**Renewal of Planning Approval for Temporary Asphalt Plant for a Period of 5 Years
in “Open Storage” Zone, Lots 20 RP (Part), 21 and 23 RP (Part) in D.D. 88,
and adjoining Government Land, East of Man Kam To Road, New Territories
(Compliance with Approval Condition (f) for Application No. A/NE-FTA/192)**

I refer to your submission received on 4.8.2020 for compliance with approval condition (f) in relation to the implementation of the proposals for fire service installations and water supplies for fire-fighting under the captioned application. An interim reply was sent to you on 15.9.2020.

Director of Fire Services (Contact person: Mr. IP Yan-chi, Joseph; Tel.: 2733 5844) has been consulted and advised that approval condition (f) is considered complied with.

Should you have any queries, please feel free to contact Ms. Wendy W. L. LEE of this department at 2158 6241.

Yours faithfully,

A handwritten signature in black ink, appearing to read 'Jessica Chu'.

(Ms. Jessica CHU)
for and on behalf of
Director of Planning

Internal

CTP/TPB(1)

Site record

HFC/TF/WL/JT/jt

Appendix 2e

Letter from Planning Department dated 26.7.2021 for Compliance with Approval Condition
(g) on Implementation of Noise Mitigation Measures

規 劃 署

沙田、大埔及北區規劃處
香港新界沙田上禾輦路一號
沙田政府合署
十三樓 1301-1314 室



Planning Department

Sha Tin, Tai Po & North District
Planning Office
Rooms 1301-1314, 13/F,
Shatin Government Offices,
1 Sheung Wo Che Road, Sha Tin,
N.T., Hong Kong.

本函檔號 Your Reference ADCL/PLG-10189/L015
本署檔號 Our Reference () in TPB/A/NE-FTA/192
電話號碼 Tel. No.: 2158 6220
傳真機號碼 Fax No.: 2691 2806 / 2696 2377

Aikon Development Consultancy Limited
Unit 1310, 13/F, Tower 2 Metroplaza,
223 Hing Fong Road, Kwai Chung
New Territories, Hong Kong
(Attn.: Mr. Thomas LUK)

By Post and Fax (3180 7611)

26 July 2021

Dear Mr. LUK,

**Renewal of Planning Approval for Temporary Asphalt Plant for a Period of 5 Years
in “Open Storage” Zone, Lots 20 RP (Part), 21 and 23 RP (Part) in D.D. 88,
and adjoining Government Land, East of Man Kam To Road, Sheung Shui**

(Compliance with Approval Condition (g) for Application No. A/NE-FTA/192)

I refer to your submission received on 18.6.2021 for compliance with approval condition (g) in relation to the implementation of noise mitigation measures.

Director of Environmental Protection (Contact Person: Ms. Candice CHUNG Tel.: 2835 1114) has been consulted and has no comment on your submission. As such, approval condition (g) is considered complied with.

Should you have any queries, please feel free to contact Ms. Wendy W. L. LEE of this department at 2158 6241.

Yours faithfully,

(Ms. Jessica CHU)

for and on behalf of Director of Planning

Appendix 3

Temporary Building Permit and Temporary Occupation Permit dated 19.5.2023 and Approved
Drawings

19 May 2023

CHEUNG Vincent Dick Fai
Unit 01, 17/F,
Canny Industrial Building,
33 Tai Yau Street, San Po Kong,
Kowloon.

Dear Sir,

**Renewal of Temporary Building Permit (TBP)[No. NT 9/2016(TBP)] and
Temporary Occupation Permit (TOP)[No. NT 5/2017(TOP)]
East of Man Kam To Road, Sheung Shui, New Territories
on D.D. 88 Lot 20 R.P., 21 and 23 R.P. (Part)**

I refer to your letter received on 5 May 2023 applying for the renewal of the captioned TBP and TOP.

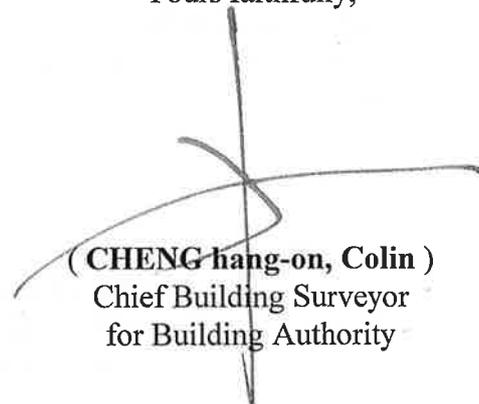
2. I attached herewith the TBP No. NT 9/2016(TBP) and TOP No. NT 5/2017(TOP) which have been renewed up to 12 December 2024.
3. Director of Fire Services of Fire Services Department (Contact Officer: Mr. W.F. YIP at 3971 4625) has no objection in principle to your application provided that all existing fire services installations and equipment required by Fire Services Department are maintained in an efficient working order at all times.
4. District Planning Officer/Shau Tin, Tai Po & North of Planning Department (Contact Officer: Mr. Tim FUNG at 2158 6237) has no statutory planning objection to your application.
5. Comments from District Lands Officer/North of Lands Department will be conveyed to you if available.
6. Prior to future application for renewal of permits, you are advised to ensure that no unauthorized building works are carried out during the continuance of period covered by the permits. If building works are required to be carried out, amendment plans shall be submitted for our consideration prior to commencement of works.
7. Your attention is drawn to the conditions imposed in paragraph 2 of the Form BD 105 and Form BD 107. As regards item 2(f) on form BD 107 regarding removal of the temporary building, please note that the demolition works will be subject to control under the Buildings Ordinance (BO) and as such prior approval and consent under Section 14(1) of the BO is required for the works.

/8...

Our Ref. BD 2/9260/13(TB)(P)(Pt.IV)

8. To allow adequate time for processing of future permit renewals, you are advised to submit the application preferably 45 days ahead of the expiry date.

Yours faithfully,

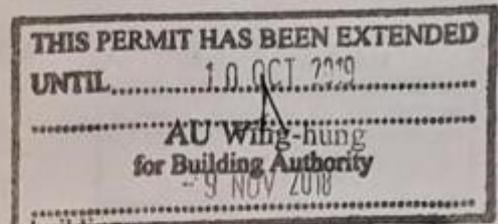


(CHENG hang-on, Colin)
Chief Building Surveyor
for Building Authority

c.c. K. Wah Asphalt Limited
Suite No. 912, 9/F,
Skyline Tower, 9 Wang Kwong Road,
Kowloon Bay, Hong Kong

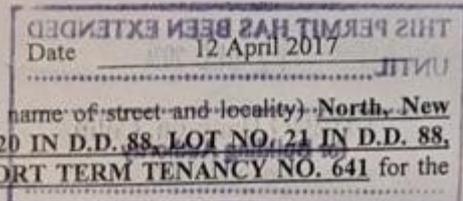
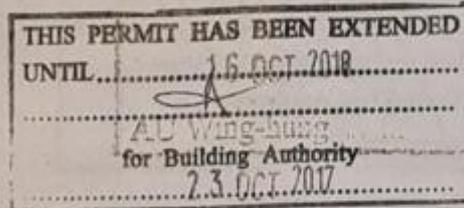
DFS (By Fax ONLY: 2772 6234)
DPO/STN (By Fax ONLY: 2691 2806)
DLO/N (By Fax ONLY: 2675 9224)

BUILDING AUTHORITY OF HONG KONG
FORM BD 105
BUILDINGS ORDINANCE
(Chapter 123)
Section 21



Permit for temporary occupation of a new temporary building
or of the whole/part of a new building

Permit No. NT 5/2017(TOP)
Our Ref. No. BD 2/9260/13 (TB)(P)(Pt. III)
To: K. Wah Asphalt Limited
c/o CHEUNG Vincent Dick Fai
Room 102-103, 1st Floor,
David House,
8-20 Nanking Street,
Jordan,
Kowloon



I hereby permit the occupation of the new building, at (No. and name of street and locality) North, New Territories on (Lot No.) THE REMAINING PORTION OF LOT NO. 20 IN D.D. 88, LOT NO. 21 IN D.D. 88, THE REMAINING PORTION OF LOT NO. 23 IN D.D. 88 AND SHORT TERM TENANCY NO. 641 for the following purposes:

- (A) A single-storey asphalt plant complex for non-domestic use;
- (B) A single-storey control room building for non-domestic use;
- (C) A single-storey workshop building for non-domestic use;
- (D) A single-storey RAP and equipment store building for non-domestic use;
- (E) A single-storey RAP stock pile no. 1 building for non-domestic use;;
- (F) A single-storey aggregate stock pile no. 2 building for non-domestic use;
- (G) A two-storey portable toilet building for non-domestic use; and
- (H) Open parking spaces for non-domestic use,

for a period of expiring on 11 October 2017.

2. The permit is granted subject to the following conditions -

- (a) During the period of temporary occupation all fire service installations and equipment covered by the Director of Fire Services Certificate dated 11 April 2017 and referenced FP 19/28603 must at all times be maintained in efficient working order.
- (b) No building works are to be carried out contrary to the provisions of the Buildings Ordinance and regulations made there under.
- (c) All precautionary measures necessary to ensure the safety and convenience of the public, the occupiers of the premises or any workmen employed in the construction work should be maintained in good condition during the period of temporary occupation.
- (d) All fire escape routes are to be kept clear at all times.

3. Your attention is drawn to the provision of section 21(3) and (5) of the Buildings Ordinance.



(TANG Hoi-kwan, Edwin)
Chief Building Surveyor
for Building Authority

PERMIT HAS BEEN EXTENDED
UNTIL 19 MAY 2023
[Signature]
TUNG Ling-eh
for Building Authority

THIS PERMIT HAS BEEN EXTENDED
UNTIL 12 DEC 2024
[Signature]
CHENG Hang-on, Colin
for Building Authority
19 MAY 2023

CERTIFIED TRUE COPY
LARRY YOUNG, Deputy
Section Chief, Office
of Building Administration
23 FEB 2023

BUILDING AUTHORITY OF HONG KONG
FORM BD 107
BUILDINGS ORDINANCE
 (Chapter 123)
BUILDING (PLANNING) REGULATIONS
 Regulation 51

CERTIFIED TRUE COPY

LEUNG Yuen-yeec, Debby
 Senior Clerical Officer

A public officer authorized by the Building
 Authority in writing for the purposes
 of Section 36H of the Buildings Ordinance

23 FEB 2023

Permit to erect a temporary building

Permit No. NT 9/2016(TBP)
 Our Ref. No. BD 2/9260/13(TB)
 To: K. Wah Asphalt Limited
 c/o CHEUNG Vincent Dick Fai
Room 102-103, 1st Floor,
David House,
8-20 Nanking Street,
Jordan, Kowloon.

THIS PERMIT HAS BEEN EXTENDED
 UNTIL 10 OCT 2019
AU Wing-ning
 for Building Authority
9 NOV 2018

Date 28 March 2017

I hereby permit the erection of temporary buildings at (No. and name of street and locality) East of Man Kam To Road, Sheung Shui - D.D. 88 Lot 20 R.P., 21 and 23 R.P. (Part) on (Lot No.) D.D. 88 Lot 20 R.P., 21 and 23 R.P. (Part) in accordance with the plans approved by me on See Table Below. Consent to the commencement of the works to erect the said temporary buildings is also hereby given.

| Type of Plans | Date of Notice of Approval |
|---|----------------------------|
| Building (Temporary) | 22.12.2015 |
| Building (Temporary)Amendment | 23.2.2016 |
| Building (Temporary)Amendment | 3.6.2016 |
| Building (Temporary)Amendment | 18.7.2016 |
| Superstructure (Steel Frame) - Filler Elevators and Silo | 14.12.2015 |
| Superstructure (Steel Frame) - Cold Feeder and Hopper No.2 | 21.12.2015 |
| Superstructure (Steel Frame) - Rap elevators and Diesel oil tank | 24.12.2015 |
| Superstructure (Steel Frame) - Control Cabin, Cold Feeder Facade & Roof, Dryer Drum Base and Slant Conveyor Belt No.1 | 8.1.2016 |
| Superstructure - Workshop Building and Water Tanks | 2.2.2016 |
| Superstructure - Generator Room and Aggregate Stock Pile No.2 | 2.2.2016 |
| Superstructure - Chimney, Feeding Belt Conveyor, Bag Filter Support, Roof & Cladding of Hopper No.2, RAP-Cold Feeder Canopy and Slant Conveyor Belt No.2. | 3.2.2016 |
| Superstructure Amendment (Steel Frame) - Cold Feeder and Hopper No.2 | 4.2.2016 |
| Superstructure (Steel Frames) - Bitumen Tanks, Rap Feeder and Conveyor Belts. | 26.2.2016 |
| Superstructure (Steel Frames and Claddings) - Aggregate Stock Pile No.1 | 3.3.2016 |

/Type

CERTIFIED TRUE COPY

Building Department
Lands Department
Planning Department
Public Works Department
Water Department
Fire Department
Police Department
Fire Department
Police Department
Fire Department
Police Department

2023 NOV 2

THIS PERMIT HAS BEEN EXTENDED
UNTIL.....
.....
CHENG GUANG-chi
for Building Authority
.....
2 NOV 2023

THIS PERMIT HAS BEEN EXTENDED
UNTIL..... 12 DEC 2024
.....
CHENG HANG-on, Colin
for Building Authority
.....
19 MAY 2023

Permit No : NT 9/2016(TBP)
 Our Ref No.: BD 2/9260/13(TB)
 Date: 28 March 2017

| Type of Plans (Con't.) | Date of Notice of Approval |
|--|----------------------------|
| Superstructure (Steel Frame) - Imported Filler Tower, Mixing Tower and Rap Tower | 10.3.2016 |
| Drainage works (Structural Details) | 11.3.2016 |
| Superstructure (Steel Frame and Cladding) - Exhaust Fan | 22.3.2016 |
| Superstructure (Steel Frame and Cladding) - RAP and Equipment Building | 24.3.2016 |
| Superstructure Amendment (Steel Frame) - Rap elevators and Diesel oil tank | 18.5.2016 |
| Superstructure Amendment - Chimney, Feeding Belt Conveyor, Bag Filter Support, Roof & Cladding of Hopper No.2, RAP-Cold Feeder Canopy and Slant Conveyor Belt No.2 | 8.6.2016 |
| Drainage Works (Structural Details) Amendment | 16.6.2016 |
| Superstructure (Steel Frame) - Toilet | 27.6.2016 |
| Superstructure (Steel Frames) - Water Tanks | 11.7.2016 |
| Superstructure Amendment - Generator Room and Aggregate Stock Pile No.2 | 20.7.2016 |
| Superstructure Amendment - Workshop Building and Water Tanks | 20.7.2016 |
| Superstructure Amendment (Steel Frames and Claddings) - Aggregate Stock Pile No. 1 | 20.7.2016 |
| Drainage (Temporary) | 18.7.2016 |
| Building (Temporary) Amendment | 27.1.2017 |
| Drainage works (Structural Details) Amendment | 24.1.2017 |
| Drainage (Temporary) Amendment | 27.1.2017 |
| Building (Temporary) Amendment | 28.3.2017 |
| Drainage (Temporary) Amendment | 28.3.2017 |

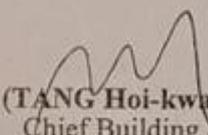
2. This permit is issued subject to the following conditions:

- (a) the work shall be carried out in accordance with the provisions of Part VII of the Building (Planning) Regulations;
- (b) all precautions against fire shall be taken to the satisfaction of the Director of Fire Services;
- (c) the temporary building shall not be occupied unless a temporary occupation permit has been issued and has not expired;
- (d) this permit shall be returned to the Building Authority on expiry;
- (e) this permit may be cancelled at any time without compensation by the service of a notice in writing on the permittee by the Building Authority;

/(f)

Permit No : NT 9/2016(TBP)
Our Ref No.: BD 2/9260/13(TB)
Date: 28 March 2017

- (f) upon expiry or cancellation of this permit, the temporary building shall be removed forthwith; and
 - (g) prior approval and consent should be obtained from the Building Authority for the demolition of the temporary building.
3. This permit supersedes my pervious permit dated 27 January 2017.
4. This permit is valid until 16 October 2018.


(TANG Hoi-kwan, Edwin)
Chief Building Surveyor
for Building Authority

Our Ref. : (TBP& TOP)NT23/02-01
17th February 2023

Buildings Department
7/F, Cityplaza Three (CP3), 14 Taikoo Wan Road,
Taikoo Shing, Hong Kong

Dear Sirs,

**Re : For Existing Asphalt Batching Plant
Renewal of Temporary Building (TBP) & Temporary Occupation Permit (TOP)
@ East of Man Kam To Road, Sheung Shui- D.D. 88 Lot 20 R.P., 21 AND 23 R.P. (part)**

The above TBP & TOP had expire on 09/10/2022.

On behalf of our Client, we would like to apply for renewal of the said permit and submit herewith the following documents for your processing:-

1. 1 copy of Form BA4 signed by the Owner ;
2. 1 copy of Business Registration by the Owner ;
3. 1 copy of Form BA17 signed by the Owner ;
4. 1 copy of top, no.: NT 5/2017(TOP) dated 09/11/2018 issued by BD ;
5. 1 copy of Form FS 251 Certificate ;
6. 1 copy of BD approved plans, drawing no.: HA897/G01(H), HA897/G02(F), HA897/G03(F), HA897/G04(F), HA897/G06(C), HA897/G07(C), HA897/G08 with BD approved chop in A3 size ;
7. 1 copy of stability certification (Form BA6) by RSE ;
8. 1 copy of letter of certification by RSE ;
9. 1 copy of letter of declaration by RSE ;
10. 1 copy of site photos (taken on 09/02/2023) with photo location plan & AP's statement.

Please be informed that the captioned TOP renewal is for a period of 5 years. Please note that the captioned building is capable of lasting 5 years in safe and sanitary conditions for the purposes specified in the application.

Also, Client has lost the original copy of TBP,. Now we would like to retrieve the above said certified true copy of TBP from your office for this application. Please arrange and reply us as soon as possible..

Thank you for your attention and should you have queries, please do not hesitate to contact the undersigned at 2526 6679.

Yours faithfully,



Cheung, Vincent Dick Fai
Authorized Person
Encl.
c.c. Client

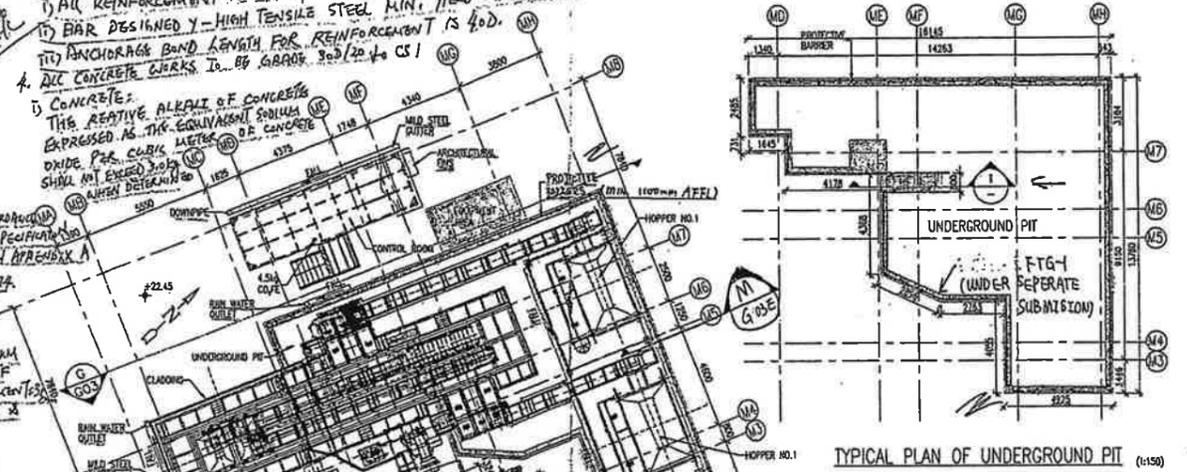
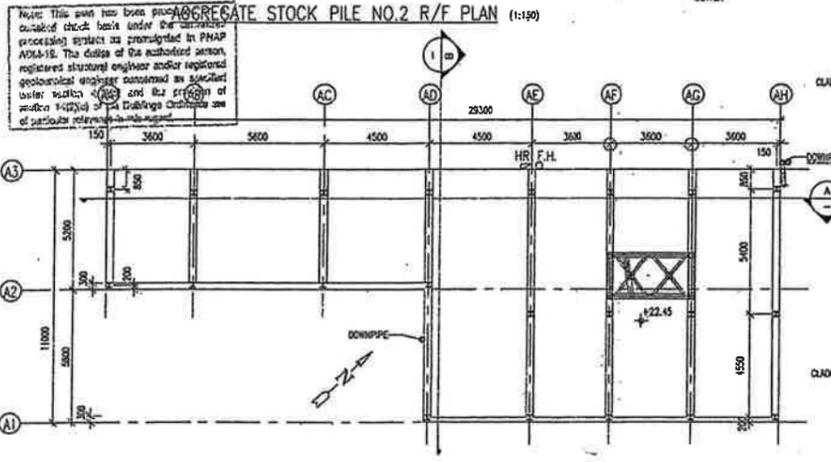
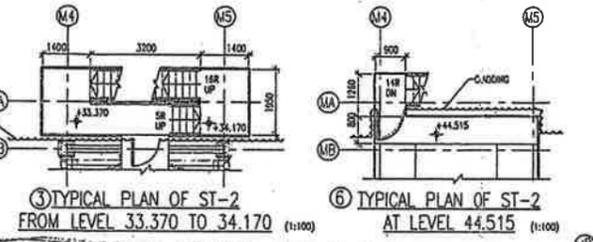
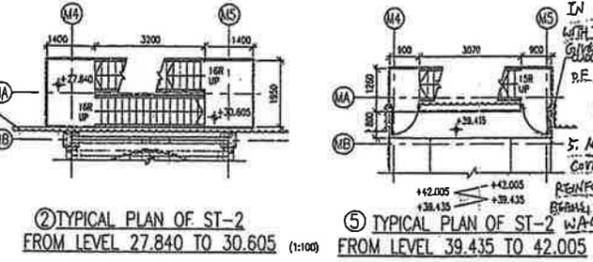
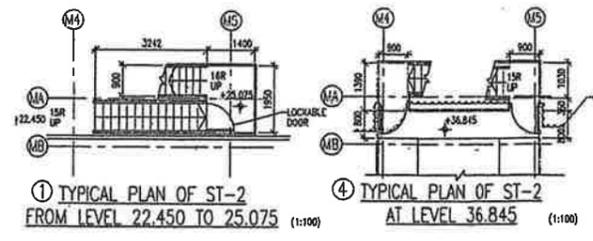
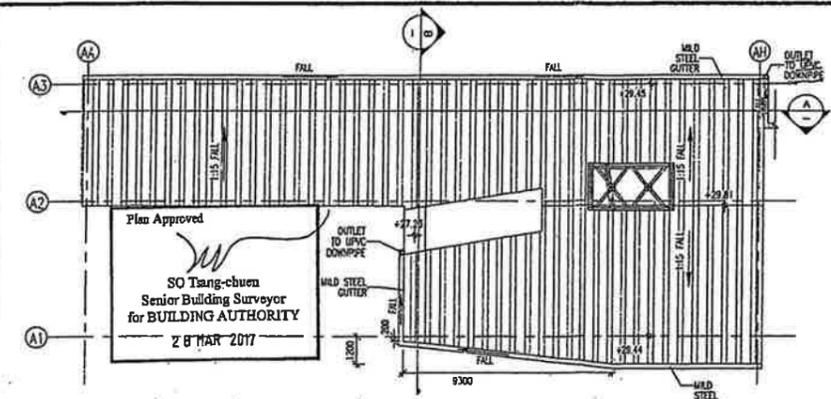
BD REF. 1
 2500 REF. 1

GENERAL NOTES:

- UNLESS OTHERWISE STATED, ALL DIMENSIONS ARE IN mm AND ALL LEVELS ARE IN mPD.
- UNLESS OTHERWISE STATED, ALL DIMENSIONS AND LEVELS ARE STRUCTURAL DIMENSIONS AND STRUCTURAL LEVELS.
- GENERAL NOTES SEE DWG: H897/G01
- 1100MM HEIGHT MINIMUM ARE PROVIDED TO ALL STAIRCASE, LANDING AND PLATFORM WITH LEVEL DIFFERENCE EXCEEDING 0.6m.

REINFORCED CONCRETE WORKS FOR INFORMATION:

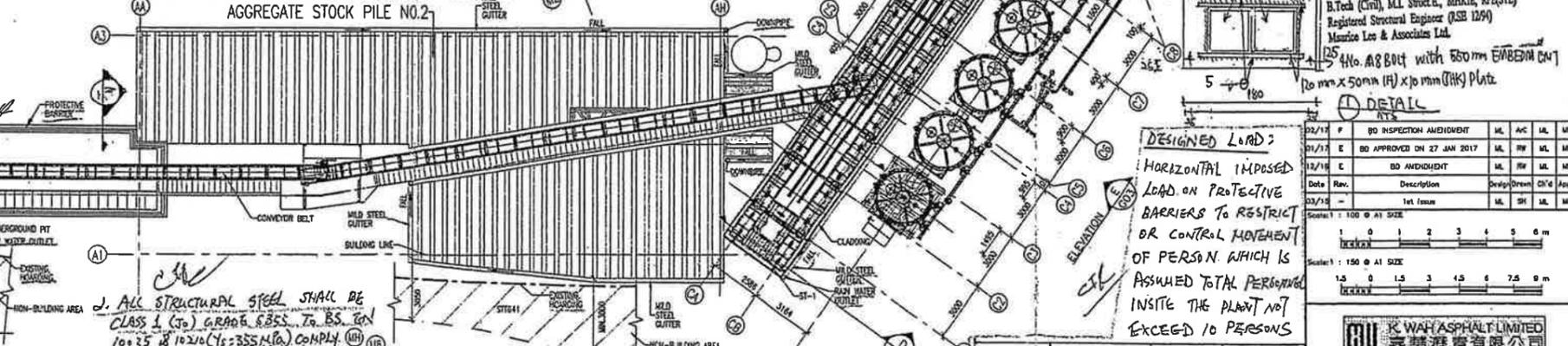
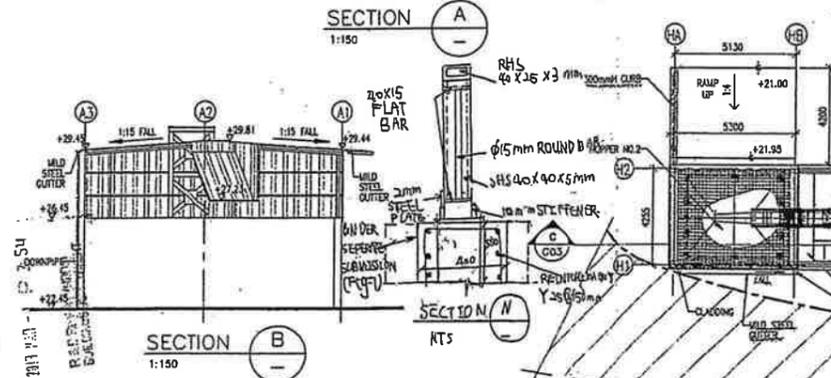
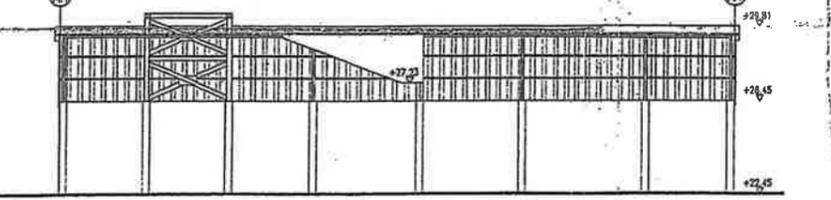
- ALL CONCRETE WORKS TO BE DESIGNED TO CODE OF PRACTICE FOR STRUCTURAL USE OF CONCRETE 2013 (2ND EDITION).
- THE CONCRETE WORKS SHALL COMPLY WITH CS2:2010 EXCEPT SECTION 7.1 WITH THE REQUIREMENTS OF THE SPECIFICATION AND HONG KONG BUILDING (CONSTRUCTION) REGULATIONS (1997).
- REINFORCEMENTS:
 - ALL REINFORCEMENT TO COMPLY WITH CS2:2012
 - BAR DESIGNED Y-HIGH TENSILE STEEL MIN. YIELD STRESS = 500 N/mm² GRADE 500B BAR
 - ANCHORAGE BAND LENGTH FOR REINFORCEMENT IS 40D.
 - ALL CONCRETE WORKS TO BE GRADE 30/20 TO CS1
 - CONCRETE: THE RELATIVE ALKALI OF CONCRETE EXPRESSED AS THE EQUIVALENT SOLUBLE CHLORIDE PER CUBIC METRE OF CONCRETE SHALL NOT EXCEED 3.0g/m³ WHEN DETERMINED IN ACCORDANCE WITH THE SPECIFICATION AND HONG KONG BUILDING (CONSTRUCTION) REGULATIONS (1997).
 - MINIMUM COVER OF REINFORCEMENT SHALL BE 25mm.



STRUCTURAL STEEL WORKS:

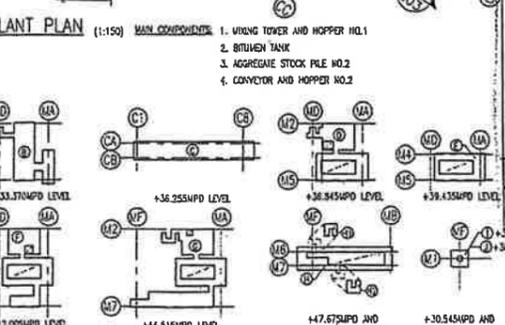
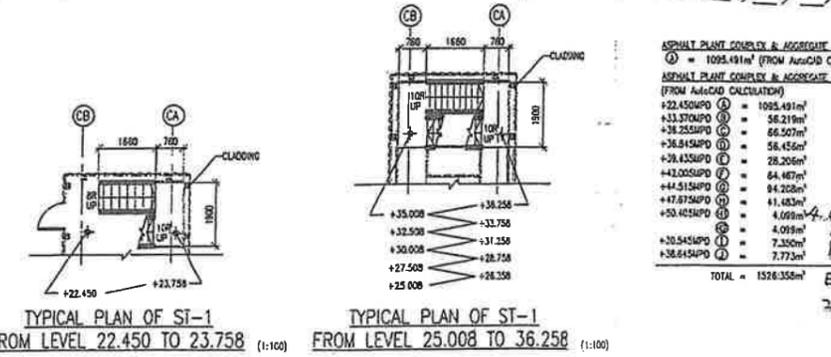
THE GRADE AND DESIGN STRENGTH OF STRUCTURAL STEEL SHALL BE AS FOLLOWS. CLASSIFICATION OF STRUCTURAL STEEL SHALL BE CLASS 1 IN ACCORDANCE WITH CODE OF PRACTICE FOR THE STRUCTURAL USE OF STEEL 2011.

| ELEMENTS OF STRUCTURAL STEELWORK | GRADE | QUALITY DESIGNATION | TO |
|----------------------------------|-------|---------------------|-------------------|
| ALL ELEMENTS | S275 | (J0) | BS EN 10025: 2004 |



ASPHALT PLANT PLAN (1:150)

- ALL STRUCTURAL STEEL SHALL BE CLASS 1 (TO) GRADE S275 TO BS EN 10025: 2004 (100% MPA) COMPLY WITH CODE OF PRACTICE FOR THE STRUCTURAL USE OF STEEL 2011.
- ALL STRUCTURAL STEEL SHALL BE GALVANIZED WITH COATING COMPLYING WITH BS EN 15014: 2007. MIN. COATING THICKNESS OF 15 MICRONS.
- UNLESS OTHERWISE STATED, ALL CONNECTION SHALL BE FULL PROFILE BOLT OR FULL PENETRATION BOLT WELD COMPLYING WITH BS EN 10025: 2004.



DESIGNED LOADS:

HORIZONTAL IMPOSED LOAD ON PROTECTIVE BARRIERS TO RESTRICT OR CONTROL MOVEMENT OF PERSON WHICH IS ASSUMED TOTAL PERSONNEL INSIDE THE PLANT NOT EXCEED 10 PERSONS

| CATEGORY | LINE LOAD TO BE APPLIED AT A HEIGHT OF 1.0m ABOVE THE FLOOR LEVEL (kN/m) | UNIFORMLY DISTRIBUTED LOAD TO BE APPLIED ON THE INTRINSIC PART OF THE INTRINSIC FLOOR AND TOP RAIL (kPa) | CONCENTRATED LOAD TO BE APPLIED ON ANY PART OF THE INTRINSIC FLOOR AND TOP RAIL (kN) |
|----------|--|--|--|
| 1 | 0.75 | 1.0 | 0.5 |

KUMARAPPAN CHIDAMBARAM 甘立平
 B.Tech (Civil), M.I. Struct. E., M.H.K.B., R.E.(S.T.L.)
 Registered Structural Engineer (RSE 1294)
 Maurice Lee & Associates Ltd.

| NO. | REV. | DESCRIPTION | DATE |
|-------|------|-------------------------|-------------|
| 01/17 | E | BO INSPECTION AMENDMENT | 27 JAN 2017 |
| 02/17 | E | BO AMENDMENT | 27 JAN 2017 |
| 03/17 | C | BO AMENDMENT | 27 JAN 2017 |
| 04/17 | R | 1st issue | 27 JAN 2017 |

R WAH ASPHALT LIMITED
 嘉華瀝青有限公司

LOT NO. 20R.P. 21 & 23R.P. (PART) AND ST1641 IN DD88

ASPHALT PLANT ALONG MAN KAM TO ROAD, SHEUNG SHUI

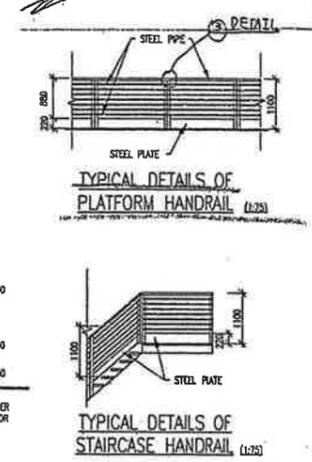
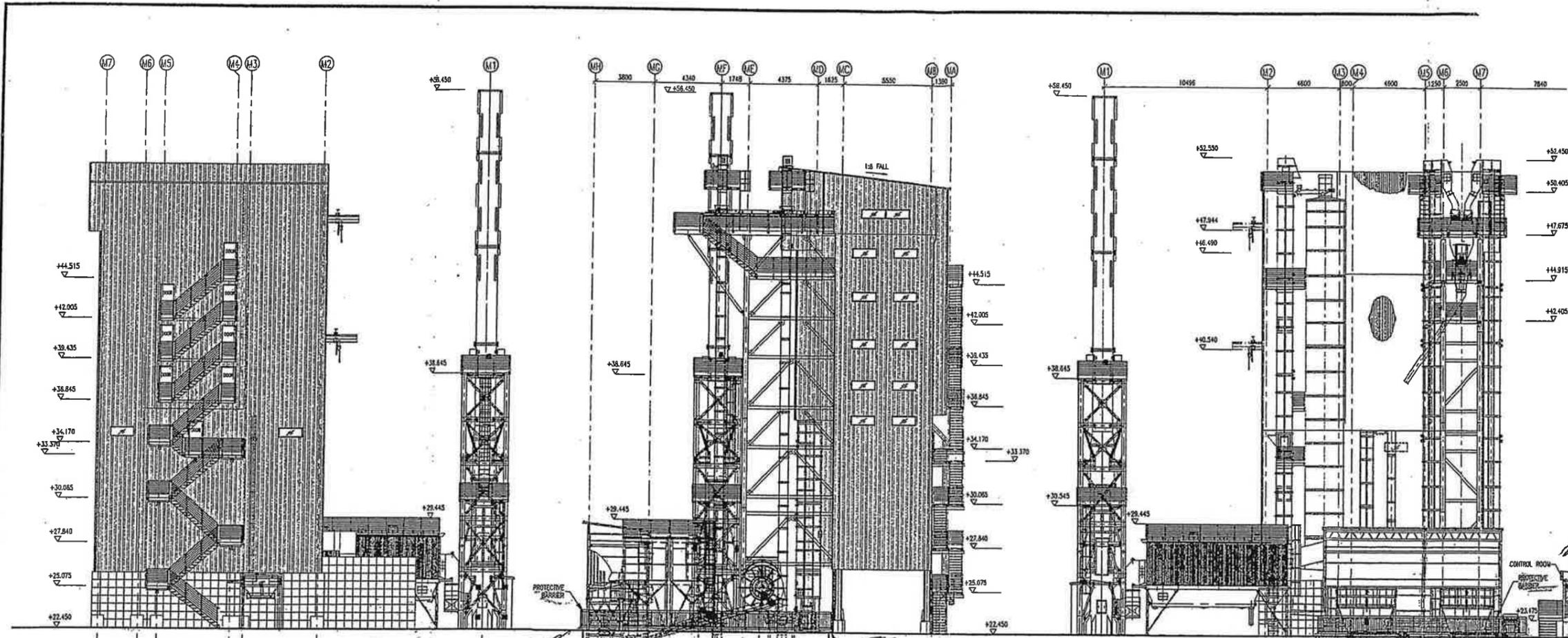
ASPHALT PLANT COMPLEX PLAN

Contract No.: HA897/G02(F)

Drawing No.: HA897_G02(F)_170228(d).dwg

Vincent D F Cheung
 8 AND 2A, 100A, 222A
 AUTHORIZED PERSON - ARCHITECT

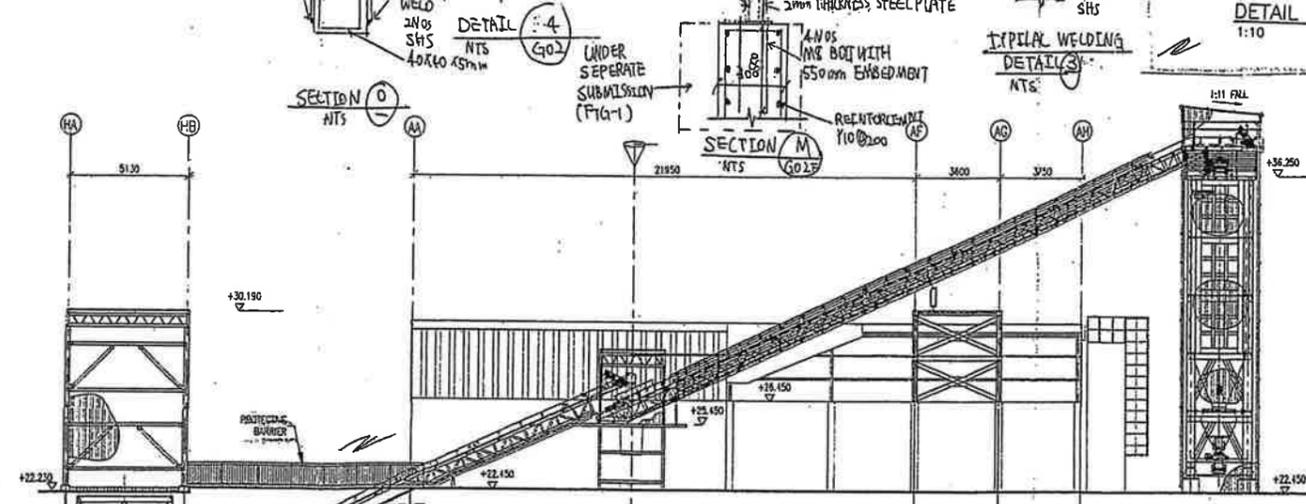
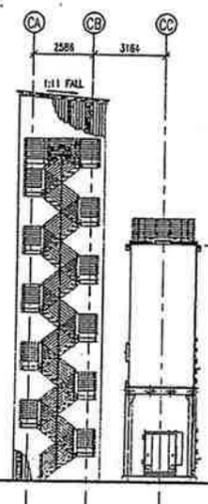
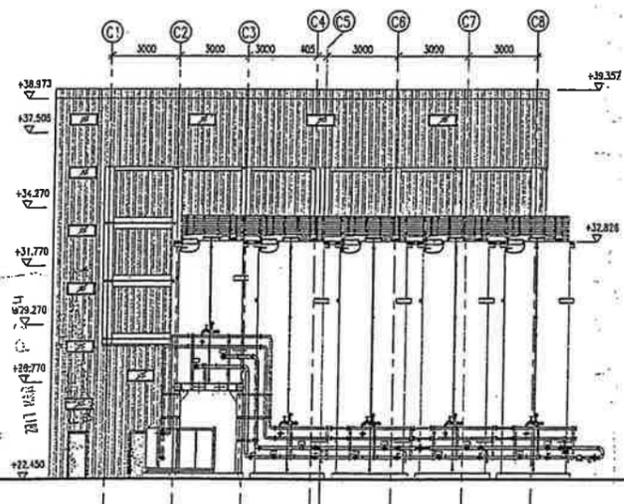
MAURICE LEE & ASSOCIATES LIMITED
 李安達建築工程師事務所有限公司



ELEVATION H G02
1:150

SECTION G G02
1:150

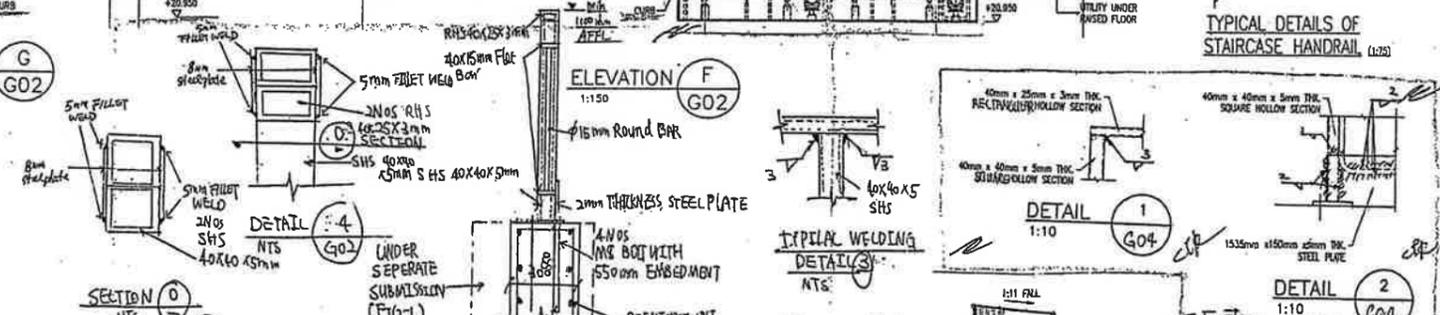
ELEVATION F G02
1:150



ELEVATION E G02
1:150

SECTION D G02
1:150

SECTION C G02
1:150



DETAIL 1
1:10

DETAIL 2
1:10

DETAIL 3
NTS

DETAIL 4
NTS

Plan Approved

SO Tsang-chuen
Senior Building Surveyor
for BUILDING AUTHORITY
28 MAR 2017

This plan has been processed as a technical check under the centralized processing system as provided by PWD. This plan is the property of the Building Authority. It is not to be used for any other purpose without the written consent of the Building Authority. The provision of section 11(1)(b) of the Building Ordinance is hereby acknowledged.

Vicent D F Chung
D Arch RA RIBA RIBA
Authorized Person - Architect

| Date | Rev. | Description | Design/Drawn | Ch'd | App'd |
|-------|------|----------------------------|--------------|------|-------|
| 02/17 | E | BO INSPECTION AMENDMENT | ML | AC | ML |
| 01/17 | D | BO APPROVED ON 27 JAN 2017 | ML | RW | ML |
| 12/16 | D | BO AMENDMENT | ML | RW | ML |
| 03/15 | - | 1st Issue | ML | SH | ML |

KUMARAPPAN CHIDAMBARAM ET AL
B.Tech (CIVIL), M.I. STRUCT., MUKER, RPS/STL
Registered Structural Engineer (RSE 1294)
Maurice Lee & Associates Ltd.

LOT NO. 20R.P.,
21 & 23R.P. (PART)
AND ST7641 IN DB88

ASPHALT PLANT ALONG
MAN KAM TO ROAD,
SHEUNG SHUI

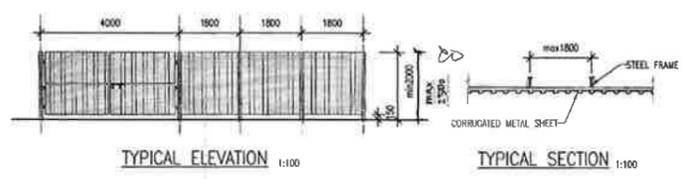
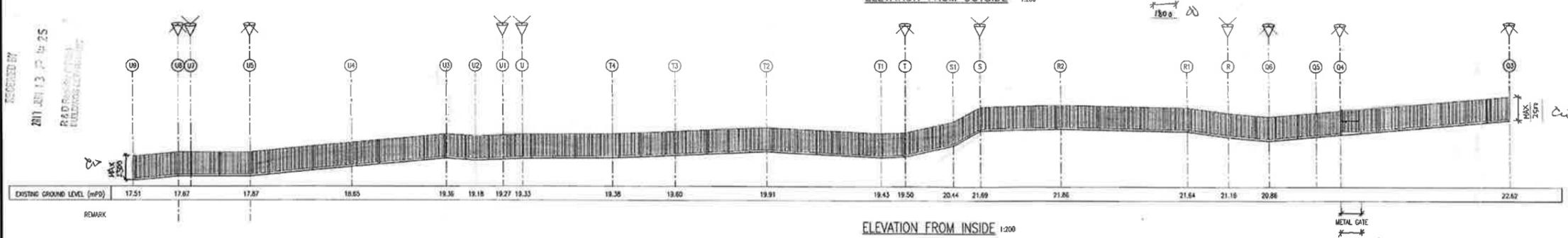
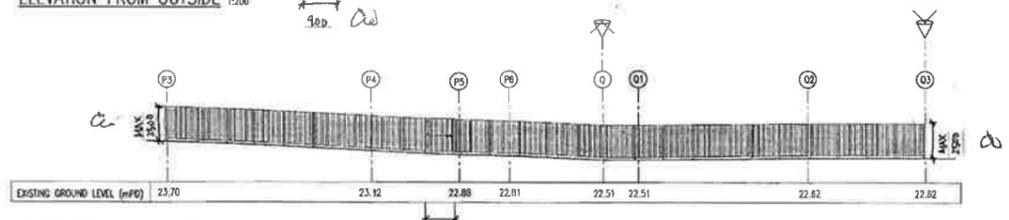
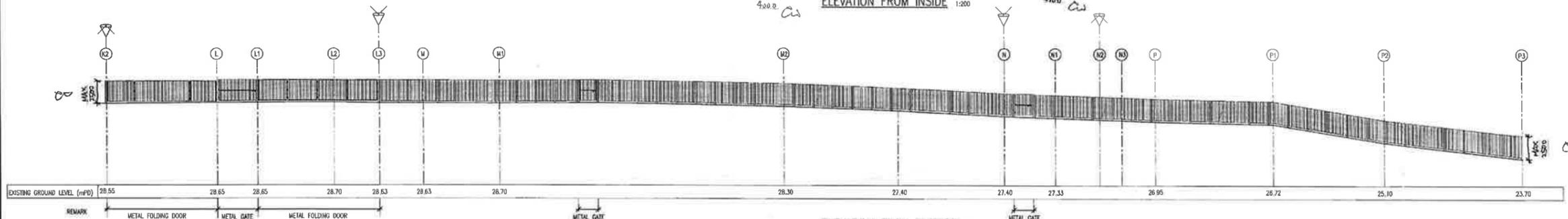
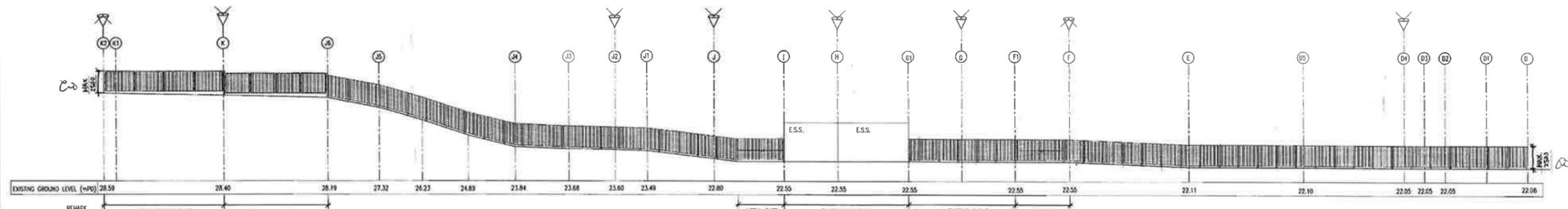
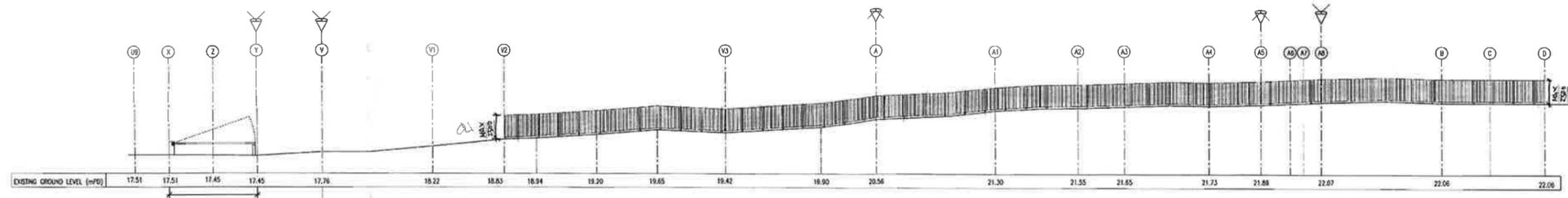
ASPHALT PLANT COMPLEX
SECTION & ELEVATION

Contract No.:
Drawing No.:
File Name: HA897_G03(E)_170228(d).dwg
HA897/G03(E)

MAURICE LEE & ASSOCIATES LIMITED
專業建築工程師事務所有限公司

BD REF. 1
FSD REF. 1

- GENERAL NOTES:**
1. UNLESS OTHERWISE STATED, ALL DIMENSIONS ARE IN mm AND ALL LEVELS ARE IN mPD.
 2. UNLESS OTHERWISE STATED, ALL DIMENSIONS AND LEVELS ARE STRUCTURAL DIMENSIONS AND STRUCTURAL LEVELS.
 3. FENCE LAYOUT PLAN SEE DRAWING: HA897/G01
 4. MINIMUM HEIGHT OF FENCE FROM GROUND LEVEL = 2000 mm
 5. FENCE AND GATE ARE CONSTRUCTED OF CORRUGATED METAL SHEET SUPPORTED ON STEEL FRAMES.



Note: This plan has been prepared on a printed steel base under the mechanical printing system as provided in HSE/AD/10. The duties of the authorized person, registered structural engineer and registered professional engineer are restricted to specific under section 4(1)(j) and the provision of section 14(2)(c) of the Building Ordinance (no of particular reference in this regard).

Plan Approved

SO Tang-chuen
Senior Building Surveyor
for BUILDING AUTHORITY
10 JUL 2017

| Date | Rev. | Description | Design/Drawn | Ch'd | App'd |
|-------|------|-------------|--------------|------|-------|
| 08/12 | - | 1st issue | AW | ArC | CTK |

Scale: 1:200 @ A1 SIZE

K. WAH ASPHALT LIMITED
嘉華瀝青有限公司

LOT NO. 20R.P.,
21 & 23R.P. (PART)
AND ST1641 IN DD88

ASPHALT PLANT ALONG
MAN KAM TO ROAD,
SHEUNG SHUI

FENCE-ELEVATION

SUPPLEMENTARY DRAWING

THIS DRAWING IS TO SUPPLEMENT AMENDMENT SUBMISSION OF DRAWING G01(1).

Contract No.:
Drawing No.: HA897/G08

MAURICE LEE & ASSOCIATES LIMITED
李榮傑建築工程師事務所有限公司

RECORDED BY
2017 JUN 13 12:45:25
R.D. CHAN
ELECTRONIC READING

2017

Appendix 4

ISO Certificates



This is to certify that the Environmental Management System of

K. WAH ASPHALT LIMITED

Sheung Shui Plant
Lot 20, RP 21 & RP 23 in D.D. 88, Man Kam To Road Sheung Shui New Territories Hong Kong

*complies with the requirements of **ISO 14001 : 2015** environmental management system standard,
applicable to:*

**Design and manufacture of bituminous materials,
and the provision of road marking and paving service**

*The certificate remains valid subject to satisfactory maintenance of the system
which will be monitored by Hong Kong Quality Assurance Agency.*

Signed for and on behalf of
HONG KONG QUALITY ASSURANCE AGENCY

A large, stylized signature in black ink, consisting of many vertical, wavy lines.

Chief Executive Officer

A smaller, more fluid signature in black ink, with a long horizontal stroke at the end.

Director

Registered address 19/F K Wah Centre 191 Java Road North Point Hong Kong Tel (852) 2202 9111 Fax (852) 2202 9222
Note In accordance with the Agency Regulations, the Hong Kong Quality Assurance Agency undertakes no liability or responsibility for any product or service supplied by the organization in accordance with the requirements of this Certification Scheme. The use of the Accreditation mark(s) shown on this certificate (if applicable) indicates accreditation in respect of those activities covered by that Accreditation Authority. This certificate remains the property of HKQAA and shall be returned when required by the Agency.

Date of Granting

30 August 2018

Expiry Date

29 August 2024

Effective Date (Recertification / Extension / Reduced)

30 August 2021

Amendment Date

6 August 2021





茲證明

嘉華瀝青有限公司

上水廠房

香港新界上水文錦渡路 D.D.88 地段 20 餘段、RP 21 餘段及 RP 23 餘段

的環境管理體系符合 ISO 14001 : 2015 標準要求，覆蓋範圍如下：

瀝青物料的設計及製造，和馬路畫線及鋪路服務

本局將對有關體系進行持續審核，以確保本證書有效。

香港品質保證局

總裁

董事



註冊地址 香港北角渣華道 191 號嘉華國際中心 19 樓 電話 (852) 2202 9111 傳真 (852) 2202 9222
 備註 根據香港品質保證局規則，本局毋須就本認證計劃下對上列機構所提供的產品或服務負任何責任。此證書所列的標誌(如適用)表明認證範圍獲該認可機構認可。此證書為香港品質保證局所屬財產，並須於本局要求時歸還。

證書授予日期 二零一八年八月三十日 有效日期 二零二四年八月二十九日
 生效日期(再認證/擴大/縮小) 二零二一年八月三十日 修訂日期 二零二一年八月六日





This is to certify that the Occupational Health and Safety Management System of

K. WAH ASPHALT LIMITED

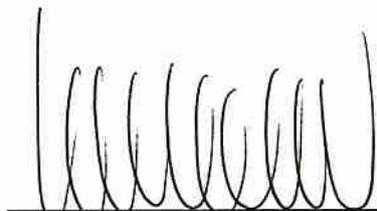
Lot 20, RP 21 & RP 23 in D.D. 88, Man Kam To Road Sheung Shui New Territories Hong Kong

*complies with the requirements of **ISO 45001:2018** occupational health and safety management systems specification, applicable to:*

**Design and manufacture of bituminous materials,
and the provision of road marking and paving service**

*The certificate remains valid subject to satisfactory maintenance of the system
which will be monitored by Hong Kong Quality Assurance Agency.*

Signed for and on behalf of
HONG KONG QUALITY ASSURANCE AGENCY



Chief Executive Officer



Director



Registered address 19/F K Wah Centre 191 Java Road North Point Hong Kong Tel (852) 2202 9111 Fax (852) 2202 9222
Note In accordance with the Agency Regulations, the Hong Kong Quality Assurance Agency undertakes no liability or responsibility for any product or service supplied by the organization in accordance with the requirements of this Certification Scheme. The use of the Accreditation mark(s) shown on this certificate (if applicable) indicates accreditation in respect of those activities covered by that Accreditation Authority. This certificate remains the property of HKQAA and shall be returned when required by the Agency.

| | | | |
|--|----------------|----------------|----------------|
| Date of Granting | 30 July 2019 | Expiry Date | 29 August 2024 |
| Effective Date (Recertification / Extension / Reduced) | 30 August 2021 | Amendment Date | 10 August 2021 |



茲證明

嘉華瀝青有限公司

香港新界上水文錦渡路 D.D. 88 地段 20 餘段、RP 21 餘段及 RP 23 餘段

的職業健康安全管理體系符合 **ISO 45001:2018** 規格要求，覆蓋範圍如下：

瀝青物料的設計及製造，和馬路畫線及鋪路服務

本局將對有關職業健康安全管理體系進行持續審核，以確保本證書有效。

香港品質保證局

總裁

董事



註冊地址 香港北角渣華道 191 號嘉華國際中心 19 樓 電話 (852) 2202 9111 傳真 (852) 2202 9222
 備註 根據香港品質保證局規則，本局毋須就本認證計劃下對上列機構所提供的產品或服務負任何責任。此證書所列的標誌(如適用)表明認證範圍獲該認可機構認可。此證書為香港品質保證局所屬財產，並須於本局要求時歸還。

證書授予日期 二零一九年七月三十日 有效日期 二零二四年八月二十九日
 生效日期(再認證/擴大/縮小) 二零二一年八月三十日 修訂日期 二零二一年八月十日



This is to certify that the Quality Management System of

K. WAH ASPHALT LIMITED

Sheung Shui Plant
Lot 20, RP 21 & RP 23 in D.D. 88, Man Kam To Road Sheung Shui New Territories Hong Kong

*complies with the requirements of **ISO 9001 : 2015** quality management system standard,
applicable to:*

**Design and manufacture of bituminous materials,
and the provision of road marking and paving service**

*The certificate remains valid subject to satisfactory maintenance of the system
which will be monitored by Hong Kong Quality Assurance Agency.*

Signed for and on behalf of
HONG KONG QUALITY ASSURANCE AGENCY

Chief Executive Officer

Director

Registered address 19/F K. Wah Centre 191 Java Road North Point Hong Kong Tel (852) 2202 9111 Fax (852) 2202 9222
Note In accordance with the Agency Regulations, the Hong Kong Quality Assurance Agency undertakes no liability or responsibility for any product or service supplied by the organization in accordance with the requirements of this Certification Scheme. The use of the Accreditation mark(s) shown on this certificate (if applicable) indicates accreditation in respect of those activities covered by that Accreditation Authority. This certificate remains the property of HKQAA and shall be returned when required by the Agency. Further clarifications regarding the scope of this certificate and the applicability of ISO 9001 : 2015 requirements may be obtained by consulting the organization.

Date of Granting 30 August 2018 Expiry Date 29 August 2024
Effective Date (Recertification / Extension / Reduced) 30 August 2021 Amendment Date 3 August 2021





茲證明

嘉華瀝青有限公司

上水廠房

香港新界上水文錦渡路 D.D.88 地段 20 餘段、RP 21 餘段及 RP 23 餘段

的品質管理體系符合 **ISO 9001 : 2015** 標準要求，覆蓋範圍如下：

瀝青物料的設計及製造，和馬路畫線及鋪路服務

本局將對有關體系進行持續審核，以確保本證書有效。

香港品質保證局

總裁

董事



註冊地址
備註

香港北角渣華道 191 號嘉華國際中心 19 樓 電話 (852) 2202 9111 傳真 (852) 2202 9222
 根據香港品質保證局規則，本局毋須就本認證計劃下對上列機構所提供的產品或服務負任何
 責任。此證書所列的標誌(如適用)表明認證範圍獲該認可機構認可。此證書為香港品質保證局
 所屬財產，並須於本局要求時歸還。要澄清本證書的認證範圍和 ISO9001:2015 要求的實施，
 可向上列機構查詢。

證書授予日期

二零一八年八月三十日

有效日期

二零二四年八月二十九日

生效日期(再認證/擴大/縮小)

二零二一年八月三十日

修訂日期

二零二一年八月三日



Appendix 5

Store and Use Licence for Schedule 2 Dangerous Goods

THE GOVERNMENT OF THE HONG KONG
SPECIAL ADMINISTRATIVE REGION

香港特別行政區政府

Dangerous Goods Ordinance

Chapter 295

Section 6 and Section 9

危險品條例

第二百九十五章

第六條及第九條

STORE AND USE LICENCE FOR SCHEDULE 2 DANGEROUS GOODS (S2DG)

S2 危險品貯存暨使用牌照

1. Name of the licensee
持牌人的姓名或名稱 **K. Wah Asphalt Limited**

2. Particulars of S2DG permitted to be stored or used
獲准貯存或使用的 S2 危險品的詳情

| UN number/ HK number 聯合國編號/ 香港編號 | Proper Shipping Name 正式運輸名稱 | Class 類別 | Subsidiary Hazard 次要危險性 | Packing Group 包裝類別 | Maximum quantity for the storage and use in aggregate 總共貯存和使用的最多 分量 |
|---|--------------------------------|-------------|----------------------------|-----------------------|---|
| (i) H301 | DIESEL | Class 3A | None | PG III | 41,800 litres |
| (ii) H301 | DIESEL | Class 3A | None | PG III | 200 litres |

3. Particulars of the licensed store
有關持牌貯存所的詳情

(a) Address of the store
貯存所的地址 **Lot No. 20 R.P. 21 & 23 R.P. (Part) and STT641 in DD88 Man Kam To
Road, Sheung Shui, N.T.**

(b) Location(s) at which the S2DG may be stored
可貯存有關 S2 危險品的地點 **(i) An Aboveground Tank on open ground;
(ii) An Aboveground Daily Service Tank on open ground**

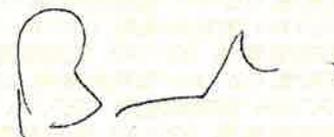
4. Location(s) at which the S2DG may be used
可使用有關 S2 危險品的地點 **Asphalt production area on open ground**

Prescribed fee for the licence
5. 牌照的訂明費用 **\$7,570.00**

6. Date on which the licence is first granted
首次批給牌照的日期 **02/08/2023**

7. Validity period of the licence
牌照的有效期 **23/05/2024 - 22/05/2025**

8. This licence is subject to the endorsed conditions overleaf.
本牌照受後頁已批註的條件所規限。



(KWOK Chi-kwan)
for Director of Fire Services
消防處處長
(郭志鈞 代行)

Appendix 6

Energy Management Award (Grand) from the CLP

26 October 2022

CLP Smart Energy Award Receives 600 Entries and Showcases Innovative Energy and Carbon Reduction Initiatives

CLP Power Hong Kong Limited (CLP Power) today (26 October) hosted a presentation ceremony for the 2022 **Smart Energy Award** programme, which attracted entries from around 600 corporate and Government bodies, small and medium-sized enterprises (SMEs), non-governmental organisations (NGOs), and educational institutions. The programme recognises businesses and organisations for their outstanding performance in applying innovative technologies and smart management to save energy and reduce carbon emissions.

The awards were presented in four categories: Carbon Management, Innovation, Energy Management, and Sustainable Vision. Each category comprises one division for corporate and Government bodies and another for Catering and SMEs, NGOs, and educational institutions. Judges selected a total of 63 winners (please see appendix for full awards list).

The Kowloon Motor Bus Co. (1993) Ltd. (KMB) won the **Carbon Management Grand Award** in the corporate and Government body division after successfully introducing innovative technologies and energy-saving initiatives to enhance its operational efficiency and reduce emissions. This year KMB introduced a fleet of new generation single-decker electric buses, and installed solar panels on the roofs of its non-electric fleet, which provide power for ventilation and air conditioning systems when the engines of the buses are turned off. The company will complete the installation of a total of 30,000 solar panels in depots, terminals, and bus shelters by 2023, reducing estimated carbon emissions by more than 4,800 tonnes a year.

A restaurant under LH Group, #HAP Taiwanese Hotpot, won the **Innovation Excellence Award** for introducing an Internet of Things-based intelligent control hot pot induction cooker system, which controls the temperature of cookers and monitors energy consumption data to optimise efficiency. The system allows employees to regulate the temperature of cookers using an App, saving them time and effort, and is the first of its kind in Hong Kong.

Hong Kong pledges to become carbon neutral by 2050 to counter climate change. CLP Power Managing Director Mr T K Chiang said, “We are committed to encouraging our customers to conduct their business in a greener way and participate in Hong Kong’s low-carbon transformation. Reducing carbon emissions is a primary focus of CLP Power. We will continue to promote energy efficiency to our customers, applying innovative technologies and launching a wide range of initiatives as we work hand in hand with them to transform Hong Kong into a low-carbon smart city.”

Chairman of the Energy Advisory Committee Mr Jimmy Kwok, who was the officiating guest at the ceremony, said: “More and more corporates and SMEs pay attention to the impact of climate change and have incorporated carbon reduction into their strategies in recent years. The green transformation of businesses is a win-win situation, reducing carbon emissions for everyone while lowering operating expenses by improving energy efficiency.”

The **CLP Smart Energy Award** programme is widely recognised in the community, its judging panel is a broad cross-section of officials and experts, comprising members from Government, chambers, green groups, and professional bodies. To find out more about the energy-saving solutions adopted by the winners of the **CLP Smart Energy Award** programme, please visit www.clp.com.hk/SEaward.

About CLP Power Hong Kong Limited

CLP Power Hong Kong Limited (CLP Power) is the Hong Kong utility subsidiary wholly owned by CLP Holdings Limited, a company listed on the Hong Kong Stock Exchange and one of the largest investor-owned power businesses in Asia. CLP Power operates a vertically integrated electricity supply business in Hong Kong, and provides a highly reliable supply of electricity and excellent customer services to more than six million people in its supply area.

Appendix: Winners in the Smart Energy Award 2022 programme

| Award | Category | Organisation |
|---|---|---|
| Carbon Management Grand Award | Corporate/Government Bodies | The Kowloon Motor Bus Company (1933) Limited |
| | Catering and SME, NGO and Educational Institutes | Caritas Ma On Shan Secondary School |
| | | Hong Kong Housing Society |
| Carbon Management Excellence Award | Corporate/Government Bodies | Hong Kong Housing Authority |
| | | Sino Estates Management Limited |
| | | Television Broadcasts Limited |
| | Catering and SME, NGO and Educational Institutes | Common Farms |
| | | Kamakura Foods Limited |
| Smart Technology Partners | Ampd Energy Limited | |
| | CLPe | |
| Energy Management Grand Award | Corporate/Government Bodies | DFI Retail Group |
| | | Hospital Authority |
| | Catering and SME, NGO and Educational Institutes | K. Wah Asphalt Limited |
| | | Telford International Industries Limited |
| Energy Management Excellence Award | Corporate/Government Bodies | Kai Shing Management Services Limited |
| | | MTR Corporation Limited |
| | Catering and SME, NGO and Educational Institutes | Living Corner |
| | | Taste of Asia Group Limited |
| Smart Technology Partners | City Facilities Management (HKG) Limited | |
| | Yat Fai Solar System Limited | |
| Innovation Grand Award | Corporate/Government Bodies | Nan Fung Property Management |
| | | New World Property Management Company Limited |
| | Catering and SME, NGO and Educational Institutes | Zean International Limited |
| Innovation Excellence Award | Corporate/Government Bodies | Equinix Hong Kong Limited |
| | | Maxim's Caterers Limited |
| | Catering and SME, NGO and Educational Institutes | LH Group - #HAP Taiwanese Hotpot |
| | | CK One Limited |
| | | Yew Chung International School – Secondary |
| Smart Technology Partners | Caretech System Limited | |
| | CLP Innovation Enterprises Limited | |
| | EnerCool Asia Pacific Limited | |
| | Siemens Limited | |



能源管理大獎

為推廣節能環保，企業及機構積極實踐節能措施，提升整體營運及能源效益。

企業 / 政府部門



DFI 零售集團



醫院管理局



啟勝管理服務有限公司



港鐵公司



餐飲及中小企/非牟利機構/學校



嘉華瀝青有限公司



匯泉國際實業有限公司



生活角落



亞洲國際餐飲集團





能源管理卓越大獎

餐飲及中小企/非牟利機構/學校

嘉華瀝青有限公司
K. Wah Asphalt Limited

 嘉華瀝青有限公司
K. WAH ASPHALT LIMITED



嘉華瀝青有限公司專門承接瀝青鋪設及馬路劃線工程並提供相關產品。企業十分重視環保理念，除了著力減少生產程序的用電量外，還應用創新技術實踐節能環保，大大提升能源效益。

- 計劃利用創新的溫拌瀝青鋪設方法，每年可減少20萬公升柴油消耗，約相等於節省214萬度電。同時為大型機器安裝變頻驅動器，每1,000生產小時可節省46,000度電。
- 重整生產程序以調整高峰時段的用電量，例如提早加熱生產材料，有助於特定時間節省400度電力需求，減低電力系統負荷。
- 投資研發自家機械，以便回收再用近23,000公噸廢棄瀝青，有助節省原生材料之餘，更能減少堆填區的負荷。



智能技術夥伴

一輝太陽能系統有限公司
Yat Fai Solar System Limited

一輝太陽能系統有限公司
YAT FAI SOLAR SYSTEM LIMITED

Appendix 7

Supporting Letters

19 Aug., 2024

A Support Letter for K. Wah Asphalt

Dear Sir/Madam,

I am writing this letter to testify that K. Wah Asphalt has made great contributions to our research and education efforts in the Department of Civil and Environmental Engineering at the Hong Kong Polytechnic University. In particular, K. Wah Asphalt supplied pavement materials and construction plants to support our research projects that aim to build more durable and sustainable bituminous roads. They also provide us site trials to evaluate the constructability and performance of developed new bituminous materials and road structures. Such supports are essential for our Department to carry out relevant research, which eventually benefits the society.

In addition, K. Wah Asphalt donated construction materials for our teaching purpose. Because some materials such as bitumen and aggregate are difficult to be purchased in the market in small amounts, the donated materials are very important for us to run laboratory experiments for educational purpose.

Because K. Wah Asphalt is a great supporter to education, I fully support their application without hesitation. If you have any questions, please do not hesitate to contact me.

Sincerely Yours,



Yuhong Wang
Ir. Professor
Department of Civil and Environmental Engineering
The Hong Kong Polytechnic University
Contact: 852-2766-4489
Email: ceyhwang@polyu.edu.hk

上水區鄉事委員會 The Sheung Shui District Rural Committee

香港新界上水寶運路三號
No. 3, Po Wan Road, Sheung Shui, N.T., Hong Kong.
Tel: 2670 0292 Fax: 2668 8257 E-mail: ssdrc8@yahoo.com.hk

本會編號：016-SSDRC-2024

敬啟者：

支持信

嘉華瀝青有限公司位於文錦渡路的廠房，於二零一七年開業至今一直與社區保持緊密聯繫，保持良好專業態度，耐心聽取各方意見並致力改善廠房運作，避免對居民產生影響。

同時，嘉華瀝青有限公司亦關心地區、關懷社區及關注民生所需。在疫情期間為地區提供防疫物資；暴雨後，協助有需要的鄉村維修道路，平整路面，方便村民出入，造福鄉梓。

敬希 嘉華瀝青有限公司繼續保持良好專業態度，關心地區、關懷社區及關注民生所需為香港未來及新界北發展作出貢獻。

此致

嘉華瀝青有限公司

上水區鄉事委員會



侯志強主席

侯榮光首副主席

廖世鴻副主席 謹啟

日期：2024年8月16日

敬啟者：

本人認識嘉華滙青有限公司已有一段時間。他們一直以來關心地區，經常參與社區活動，為區內損壞的鄉村道路維修，方便村民及車輛出入。同時，嘉華對長者尤其關愛，在疫情期間為有需要長者提供物資支援，對抗疫情；亦參與區內長者活動，與長者互動，鼓勵老友記活出積極及正面人生。

希望嘉華這個團隊繼續關心地區，造福社群。

蘇西智 SBS BBS MH



16-8-2024

Appendix 8

Approved Tree Preservation and Landscape Proposals under Previous Application

- LEGEND:
- SITE BOUNDARY
 - T21 TREE TO BE RETAINED (WITHIN SITE BOUNDARY)
 - T22 TREE TO BE RETAINED (OUTSIDE SITE BOUNDARY)
 - PROPOSED HEAVY STANDARD TREE
 - PROPOSED PLANTING AREA
 - ALIGNMENT OF PROPOSED METAL FENCE
 - EXISTING TREE GROUPS OUTSIDE APPLICATION SITE BOUNDARY
 - PROPOSED CLIMBING PLANT

PROJECT :
 PROPOSED ASPHALT PLANT ON A TEMPORARY BASIS AT VARIOUS LOTS AND GOVERNMENT LAND IN DD 88, SHEUNG SHUI, N.T.

DRAWING TITLE :
 LANDSCAPE MASTER PLAN

PROJECT No. C1523

DRAWING No. LMP01

SCALE : 1:600

DATE OF ISSUE : JUL 2015

CAD FILENAME : C1523-LMP01

| | | |
|---|-------------------|----------|
| D | GENERAL AMENDMENT | 17/11/15 |
| C | GENERAL AMENDMENT | 26/10/15 |
| B | GENERAL AMENDMENT | 11/09/15 |
| A | GENERAL AMENDMENT | 03/08/15 |

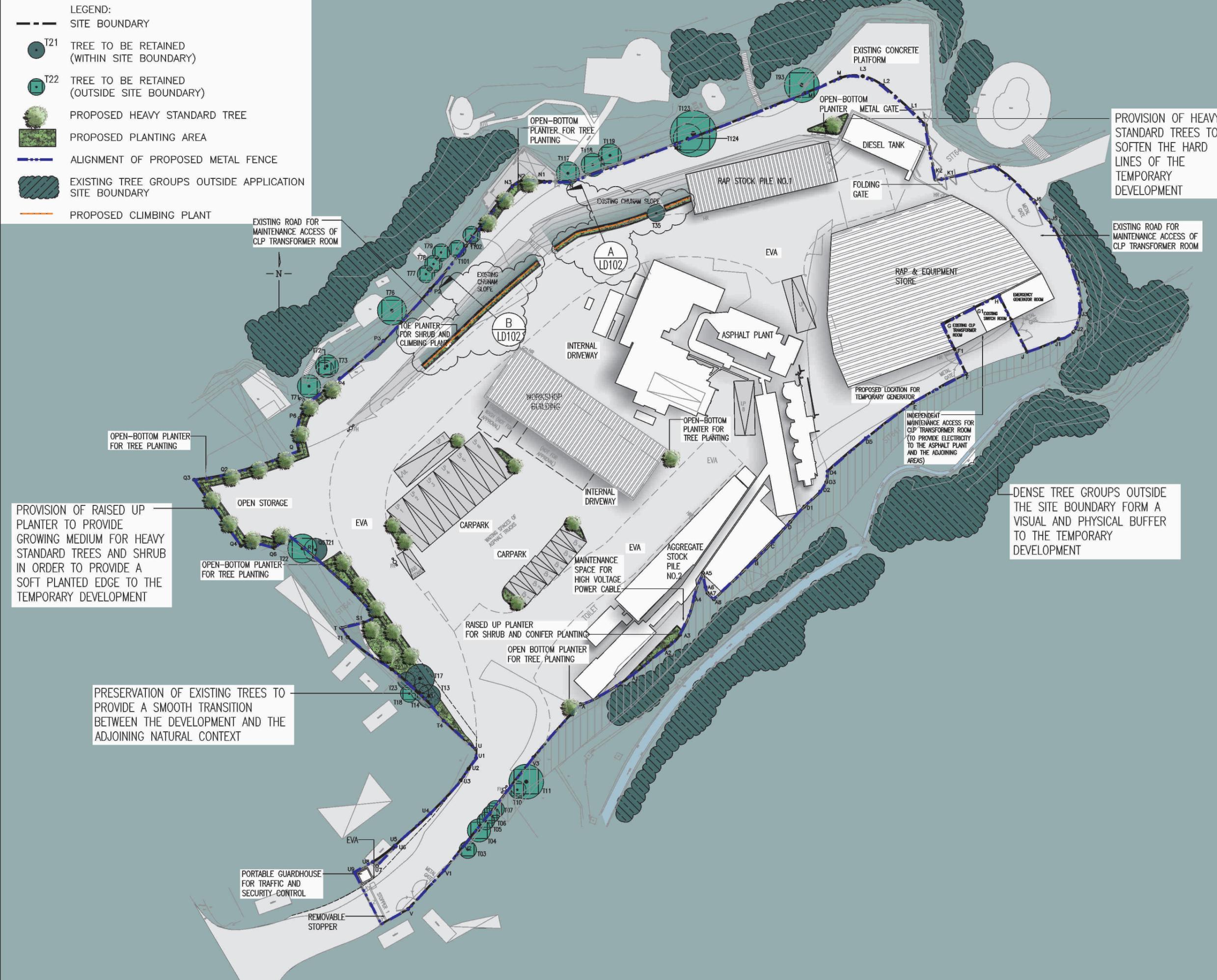
| REV | DESCRIPTION | DATE |
|---------------|-------------|------|
| DESIGN BY : | TEL | |
| DRAWN BY : | CAD | |
| CHECKED BY : | TEL | |
| APPROVED BY : | TEL | |

- NOTES :
1. DO NOT SCALE DRAWING. FIGURED DIMENSIONS ARE TO BE FOLLOWED.
 2. COPYRIGHT OF THE DRAWING IS RETAINED BY THE AUTHORIZED PERSON.
 3. ALL DIMENSIONS ARE TO BE CHECKED AT SITE BY THE MAIN CONTRACTOR.
 4. READ THIS DWG. IN CONNECTION WITH GEN. ARCH. PLANS, STRUCT. PLANS, AND OTHER RELATED DWGS.

LanDes

LANDES LIMITED
 景藝設計有限公司

FLAT A, 17/F,
 SHUN POINT COMMERCIAL BUILDING,
 5-11 THOMSON ROAD, HONG KONG
 TEL.: 2868 0980 FAX.: 2868 2203
 香港灣仔譚臣道5-11號,
 信邦商業大廈17樓A室
 電話: 2868 0980
 傳真: 2868 2203



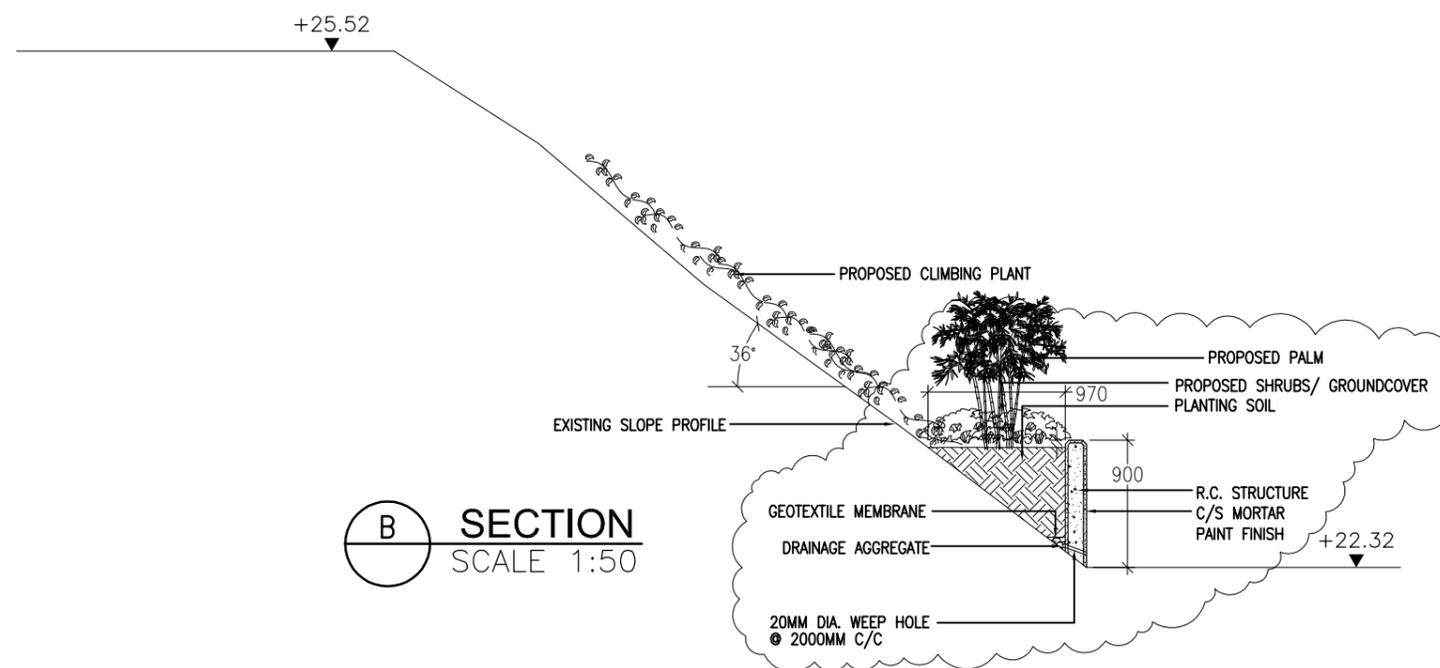
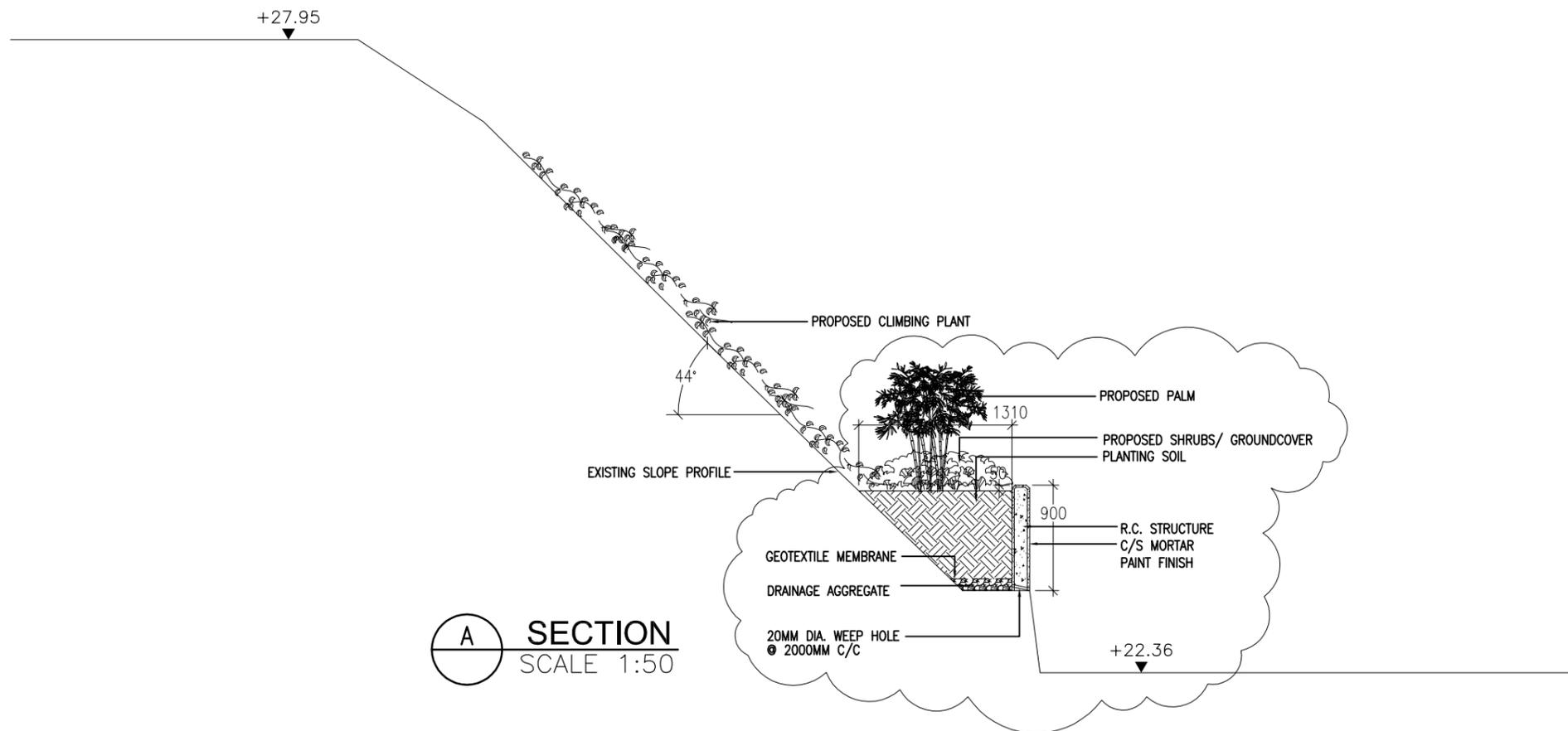
PROVISION OF HEAVY STANDARD TREES TO SOFTEN THE HARD LINES OF THE TEMPORARY DEVELOPMENT

EXISTING ROAD FOR MAINTENANCE ACCESS OF CLP TRANSFORMER ROOM

DENSE TREE GROUPS OUTSIDE THE SITE BOUNDARY FORM A VISUAL AND PHYSICAL BUFFER TO THE TEMPORARY DEVELOPMENT

PROVISION OF RAISED UP PLANTER TO PROVIDE GROWING MEDIUM FOR HEAVY STANDARD TREES AND SHRUB IN ORDER TO PROVIDE A SOFT PLANTED EDGE TO THE TEMPORARY DEVELOPMENT

PRESERVATION OF EXISTING TREES TO PROVIDE A SMOOTH TRANSITION BETWEEN THE DEVELOPMENT AND THE ADJOINING NATURAL CONTEXT



PROJECT :
PROPOSED ASPHALT PLANT
ON A TEMPORARY BASIS AT VARIOUS
LOTS AND GOVERNMENT LAND
IN DD 88, SHEUNG SHUI, N.T.

DRAWING TITLE :
TYPICAL SECTION OF
TOE PLANTER

PROJECT No. C1523

DRAWING No. LD102

SCALE : 1:50

DATE OF ISSUE : JUL 2015

CAD FILENAME : C1523-LD102

| | | |
|---|-------------------|----------|
| B | GENERAL AMENDMENT | 17/11/15 |
| A | GENERAL AMENDMENT | 26/10/15 |

| REV | DESCRIPTION | DATE |
|-----|-------------|------|
|-----|-------------|------|

DESIGN BY : TEL

DRAWN BY : CAD

CHECKED BY : TEL

APPROVED BY : TEL

- NOTES :
- DO NOT SCALE DRAWING. FIGURED DIMENSIONS ARE TO BE FOLLOWED.
 - COPYRIGHT OF THE DRAWING IS RETAINED BY THE AUTHORIZED PERSON.
 - ALL DIMENSIONS ARE TO BE CHECKED AT SITE BY THE MAIN CONTRACTOR.
 - READ THIS DWG. IN CONNECTION WITH GEN. ARCH. PLANS, STRUCT. PLANS, AND OTHER RELATED DWGS.

LanDes

LANDES LIMITED
景藝設計有限公司

FLAT A, 17/F,
SHUN PONT COMMERCIAL BUILDING,
5-11 THOMSON ROAD, HONG KONG
TEL.: 2868 0980 FAX.: 2868 2203
香港灣仔譚臣道5-11號,
信邦商業大廈17樓A室
電話: 2868 0980
傳真: 2868 2203

PROJECT :
 PROPOSED ASPHALT PLANT
 ON A TEMPORARY BASIS AT VARIOUS
 LOTS AND GOVERNMENT LAND
 IN DD 88, SHEUNG SHUI, N.T.

DRAWING TITLE :
 PLANTING SCHEDULE

PROJECT No. C1523

DRAWING No. PS01

SCALE : N.T.S.

DATE OF ISSUE : JUL 2015

CAD FILENAME : C1523-PS01

| | | |
|---|-------------------|----------|
| D | GENERAL AMENDMENT | 17/11/15 |
| C | GENERAL AMENDMENT | 26/10/15 |
| B | GENERAL AMENDMENT | 11/09/15 |
| A | GENERAL AMENDMENT | 03/08/15 |

| REV | DESCRIPTION | DATE |
|-----|-------------|------|
|-----|-------------|------|

DESIGN BY : TEL

DRAWN BY : CAD

CHECKED BY : TEL

APPROVED BY : TEL

NOTES :
 1. DO NOT SCALE DRAWING. FIGURED DIMENSIONS ARE TO BE FOLLOWED.
 2. COPYRIGHT OF THE DRAWING IS RETAINED BY THE AUTHORIZED PERSON.
 3. ALL DIMENSIONS ARE TO BE CHECKED AT SITE BY THE MAIN CONTRACTOR.
 4. READ THIS DWG. IN CONNECTION WITH GEN. ARCH. PLANS, STRUCT. PLANS, AND OTHER RELATED DWGS.

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 香港灣仔譚臣道5-11號,
 信邦商業大廈17樓A室
 電話: 2868 0980
 傳真: 2868 2203

| Quantity | Code | Chinese Name | Botanical Name | Height (mm) | Spread (mm) | DBH (mm) | Spacing (mm) | Remark |
|--------------------------------|------|--------------|--|-------------|-------------|----------|--------------|-------------------------------------|
| TREE | | | | | | | | |
| 10 | GS | 菲島福木 | <i>Garcinia subelliptica</i> | 2500 | 1500 | 80 | 4000 | Straight trunk, balanced form |
| 13 | ML | 白千層 | <i>Melaleuca leucadendron</i> | 3000 | 2000 | 80 | 4000 | Straight trunk, balanced form |
| 6 | WB | 狐尾椰 | <i>Wodyetia bifurcata</i> | 4000 | 2000 | 80 | 3500 min. | Straight trunk, balanced form |
| CONIFER | | | | | | | | |
| 6 | Jc | 龍柏 | <i>Juniperus chinensis 'kaizuca'</i> | 1000 | 600 | - | 1500 | Straight trunk, balanced form |
| PALM | | | | | | | | |
| 94 | Rh | 棕竹 | <i>Rhapis excelsa</i> | 900 | 500 | - | 500 | balanced form, Abundance of foliage |
| SHRUBS AND GROUNDCOVERS | | | | | | | | |
| 582 | Aca | 軟枝黃蟬 | <i>Allamanda cathartica 'Allamanda'</i> | 400 | 400 | - | 300 | |
| 110 | Cov | 紅葉洒金榕 | <i>Codiaeum variegatum 'Glorisa'</i> | 450 | 400 | - | 300 | |
| 408 | Nex | 波士頓蕨 | <i>Nephrolepis exaltata 'Bostoniensis'</i> | 500 | 300 | - | 250 | |
| 646 | Str | 金邊虎尾蘭 | <i>Sansevieria trifasciata 'Laurentii'</i> | 450 | 300 | - | 400 | |
| CLIMBING PLANT | | | | | | | | |
| 73 | Bgl | 羊蹄甲藤 | <i>Bauhinia glauca</i> | 900 | 300 | - | 500 | at least 5 shoots per plant |
| 73 | Phi | 爬牆虎 | <i>Parthenocissus himalayana</i> | 1000 | 300 | - | 500 | at least 5 shoots per plant |

Appendix 9

Certificate of Fire Service Installation and Equipment of Application Site dated 10.4.2024 and
11.4.2024

FIRE SERVICE (INSTALLATIONS AND EQUIPMENT) REGULATIONS

消防 (裝置及設備) 規例

A 9315928

FSD Ref.:

消防處檔號

(Regulation 9(1))

(第九條(1)款)

CERTIFICATE OF FIRE SERVICE INSTALLATION AND EQUIPMENT

消防裝置及設備證書

Name of Client:

顧客姓名

K. Wah Asphalt Limited

Name of Building:

樓宇名稱

Asphalt Plant along Man Kam To Road

Street No./Town Lot:

門牌號數/市地段

Lots 20RP(Part), 21 and 23RP(Part) in D.D.68

Street/Road/Estate Name:

街道/屋苑名稱

Man Kam To Road

Block:

座

District:

分區

Sheung Shui

Area:

地區

HK

香港

K

九龍

NT

新界

Type of Building 樓宇類型:

Industrial 工業

Commercial 商業

Domestic 住宅

Composite 綜合

Licensed premises 持牌處所

Institutional 社團

Part 1 Annual Inspection ONLY
第一部 只適用於年檢事項

In accordance with Regulation 8(b) of Fire Service (Installations and Equipment) Regulations, the owner of any fire service installation or equipment which is installed in any premises shall have such fire service installation or equipment inspected by a registered contractor at least once in every 12 months. 根據消防(裝置及設備)規例第八條(b)款, 擁有裝置在任何處所內的任何消防裝置或設備的人, 須每12個月由一名註冊承辦商檢查該等消防裝置或設備至少一次。

| Code 編碼 (1-35) | Type of FSI 裝置類型 | Location(s) 位置 | Comment on Condition 狀況評述 | Completion Date 完成日期(DD/MM/YY) | Next Due Date 下次到期日(DD/MM/YY) |
|----------------|----------------------------|----------------|--------------------------------|--------------------------------|-------------------------------|
| 10 | Emergency Generator | G/F | Conforms with FSD requirements | 10/04/2024 | 09/04/2025 |
| 11 | Emergency Lighting | G/F, 1/F | Conforms with FSD requirements | 10/04/2024 | 09/04/2025 |
| 16 | FH/HR System | G/F | Conforms with FSD requirements | 10/04/2024 | 09/04/2025 |
| 28 | Sprinkler System | G/F, 1/F | Conforms with FSD requirements | 10/04/2024 | 09/04/2025 |
| 30 | Street Fire Hydrant System | G/F | Conforms with FSD requirements | 10/04/2024 | 09/04/2025 |
| 13 | MFA System | G/F, 1/F | Conforms with FSD requirements | 10/04/2024 | 09/04/2025 |
| 15 | Fire Detection System | G/F, 1/F | Conforms with FSD requirements | 10/04/2024 | 09/04/2025 |
| 12 | Exit Sign | G/F, 1/F | Conforms with FSD requirements | 10/04/2024 | 09/04/2025 |
| 35 | VFA | G/F, 1/F | Conforms with FSD requirements | 10/04/2024 | 09/04/2025 |

Part 2 第二部 Installation / Modification / Repair / Inspection work 裝置/改裝/修理/檢查工作

| Code 編碼 (1-35) | Type of FSI 裝置類型 | Location(s) 位置 | Nature of Work Carried out 完成之工作內容 | Comment on Condition 狀況評述 | Completion Date 完成日期(DD/MM/YY) |
|----------------|------------------|----------------|------------------------------------|---------------------------|--------------------------------|
| | | | | Reserved | |

Part 3 第三部 Defects 損壞事項

| Code 編碼 (1-35) | Type of FSI 裝置類型 | Location(s) 位置 | Outstanding Defects 未修缺點 | Comment on Defects 缺點評述 |
|----------------|------------------|----------------|--------------------------|-------------------------|
| | | | | |

I/We hereby certify that the above installations/equipment have been tested and found to be in efficient working order in accordance with the Codes of Practice for Minimum Fire Service Installations and Equipment and Inspection, Testing and Maintenance of Installations and Equipment published from time to time by the Director of Fire Services. Defects are listed in Part 3.

本人藉此證明以上之消防裝置及設備經試驗, 證明性能良好, 符合消防處處長不時公佈的最低限度之消防裝置及設備守則與裝置及設備之檢查測試及保養守則的規格, 損壞事項列於第三部。

Authorized Signature:
受權人簽署

Name:
姓名
FSD/RC No.:
消防處註冊號碼

Company Name:
公司名稱

Telephone:
聯絡電話

Date:
日期

HON MING SHING

RC1/139, RC2/248

Tung Lick Fire Eng. Co.

2745 7923

10/04/2024

For FSD use only:

Inspected

Key-in

Verified

如證書涉及年檢事項, 應張貼於大廈或處所當眼處以供消防處人員查核

This certificate should be displayed at prominent location of the building or premises for FSD's inspection if any annual maintenance work is involved.

FIRE SERVICE (INSTALLATIONS AND EQUIPMENT) REGULATIONS

消防（裝置及設備）規例

A 9461575

FSD Ref.:
消防處檔號

(Regulation 9(1))

(第九條(1)款)

CERTIFICATE OF FIRE SERVICE INSTALLATION AND EQUIPMENT

消防裝置及設備證書

Name of Client : **K. WAH ASPHALT LIMITED**
顧客姓名

Name of Building : **文錦渡路88號地段**
樓宇名稱

Street No./Town Lot : _____ Street/Road/Estate Name : _____
門牌號數/市地段 街道/屋苑名稱

Block : _____ District : _____ Area : HK K NT
座 分區 地區 香港 九龍 新界

Type of Building 樓宇類型: Industrial 工業 Commercial 商業 Domestic 住宅 Composite 綜合 Licensed premises 持牌處所 Institutional 社團

Part 1 Annual Inspection ONLY
第一部 只適用於年檢事項

In accordance with Regulation 8(b) of Fire Service (Installations and Equipment) Regulations, the owner of any fire service installation or equipment which is installed in any premises shall have such fire service installation or equipment inspected by a registered contractor at least once in every 12 months. 根據消防（裝置及設備）規例第八條(b)款，擁有裝置在任何處所內的任何消防裝置或設備的人，須每12個月由一名註冊承辦商檢查該等消防裝置或設備至少一次。

| Code 編碼 (1-35) | Type of FSI 裝置類型 | Location(s) 位置 | Comment on Condition 狀況評述 | Completion Date 完成日期(DD/MM/YY) | Next Due Date 下次到期日(DD/MM/YY) |
|----------------|------------------|----------------|---------------------------|--------------------------------|-------------------------------|
| | | | ---NIL--- | | |

Part 2 第二部 Installation / Modification / Repair / Inspection work 裝置/改裝/修理/檢查工作

| Code 編碼 (1-35) | Type of FSI 裝置類型 | Location(s) 位置 | Nature of Work Carried out 完成之工作內容 | Comment on Condition 狀況評述 | Completion Date 完成日期(DD/MM/YY) |
|----------------|-------------------------|----------------|------------------------------------|---------------------------------|--------------------------------|
| 24 | 5x1.0kg Dry Powder f.e. | Site area. | For supply. | Conforms with FSD requirements. | 11/04/2024 |
| 24 | 1x2.0kg Dry Powder f.e. | | | | |
| 24 | 4x5.0kg CO2 Gas f.e. | | | | |
| 24 | 18x9.0L Foam f.e. | | | | |

Part 3 第三部 Defects 損壞事項

| Code 編碼 (1-35) | Type of FSI 裝置類型 | Location(s) 位置 | Outstanding Defects 未修缺點 | Comment on Defects 缺點評述 |
|----------------|------------------|----------------|--------------------------|-------------------------|
| | | | ---NIL--- | |

I/We hereby certify that the above installations/equipment have been tested and found to be in efficient working order in accordance with the Codes of Practice for Minimum Fire Service Installations and Equipment and Inspection, Testing and Maintenance of Installations and Equipment published from time to time by the Director of Fire Services. Defects are listed in Part 3.

本人藉此證明以上之消防裝置及設備經試驗，證明性能良好，符合消防處處長不時公佈的最低限度之消防裝置及設備守則與裝置及設備之檢查測試及保養守則的規格，損壞事項列於第三部。

如證書涉及年檢事項，應張貼於大廈或處所當眼處以供消防處人員查核

This certificate should be displayed at prominent location of the building or premises for FSD's inspection if any annual maintenance work is involved.

Authorized Signature :
受權人簽署

Name : **NORMAN WAN**
姓名
FSD/RC No. : **RC3/80**
消防處註冊號碼

Company Name : **Wan's Fire Prevention Engineering Limited**
公司名稱

Telephone : **27536313**
聯絡電話

Date : **11/04/2024**
日期



For FSD use only:

Inspected

Key-in

Verified

FIRE SERVICE (INSTALLATIONS AND EQUIPMENT) REGULATIONS

建築消防（裝置及設備）規例

A 9386800

FSD Ref.:

消防處檔號

(Regulation 9(1))

(第九條(1)款)

CERTIFICATE OF FIRE SERVICE INSTALLATION AND EQUIPMENT

消防裝置及設備證書

Name of Client:

顧客姓名

K. Wah Asphalt Limited

Name of Building:

樓宇名稱

Asphalt Plant along Man Kam To Road

Street No./Town Lot:

門牌號數/市地段

Lots 20RP(Part) 21 and 23RP(Part) in D.D.88

Street/Road/Estate Name:

街道/屋苑名稱

Man Kam To Road

Block:

座

District:

分區

Sheung Shui

Area:

地區

HK

香港

K

九龍

NT

新界

Type of Building 樓宇類型: Industrial 工業

Commercial 商業

Domestic 住宅

Composite 綜合

Licensed premises 持牌處所

Institutional 社團

Part 1 Annual Inspection ONLY
第一部 只適用於年檢事項

In accordance with Regulation 8(b) of Fire Service (Installations and Equipment) Regulations, the owner of any fire service installation or equipment which is installed in any premises shall have such fire service installation or equipment inspected by a registered contractor at least once in every 12 months. 根據消防（裝置及設備）規例第八條(b)款，擁有裝置在任何處所內的任何消防裝置或設備的人，須每12個月由一名註冊承辦商檢查該等消防裝置或設備至少一次。

| Code 編碼 (1-35) | Type of FSI 裝置類型 | Location(s) 位置 | Comment on Condition 狀況評述 | Completion Date 完成日期(DD/MM/YY) | Next Due Date 下次到期日(DD/MM/YY) |
|----------------|------------------------|----------------|--------------------------------|--------------------------------|-------------------------------|
| 24 | 1no. 1KG ABC D.P. F/E | Site area | Conforms with FSD requirements | 10/04/2024 | 09/04/2025 |
| 24 | 5nos. 3KG ABC D.P. F/E | Site area | Conforms with FSD requirements | 10/04/2024 | 09/04/2025 |
| 24 | 1no. 4KG ABC D.P. F/E | Site area | Conforms with FSD requirements | 10/04/2024 | 09/04/2025 |
| 24 | 1no. 9L AFFF Foam F/E | Site area | Conforms with FSD requirements | 10/04/2024 | 09/04/2025 |
| 24 | 1no. 5KG CO2 F/E | Site area | Conforms with FSD requirements | 10/04/2024 | 09/04/2025 |

Part 2 第二部 Installation / Modification / Repair / Inspection work 裝置/改裝/修理/檢查工作

| Code 編碼 (1-35) | Type of FSI 裝置類型 | Location(s) 位置 | Nature of Work Carried out 完成之工作內容 | Comment on Condition 狀況評述 | Completion Date 完成日期(DD/MM/YY) |
|----------------|------------------|----------------|------------------------------------|---------------------------|--------------------------------|
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Part 3 第三部 Defects 損壞事項

| Code 編碼 (1-35) | Type of FSI 裝置類型 | Location(s) 位置 | Outstanding Defects 未修缺點 | Comment on Defects 缺點評述 |
|----------------|------------------|----------------|--------------------------|-------------------------|
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I/We hereby certify that the above installations/equipment have been tested and found to be in efficient working order in accordance with the Codes of Practice for Minimum Fire Service Installations and Equipment and Inspection, Testing and Maintenance of Installations and Equipment published from time to time by the Director of Fire Services. Defects are listed in Part 3.

本人藉此證明以上之消防裝置及設備經試驗，證明性能良好，符合消防處處長不時公佈的最低限度之消防裝置及設備守則與裝置及設備之檢查測試及保養守則的規格，損壞事項列於第三部。

Authorized Signature: 受權人簽署

Name: 姓名

FSD/RC No.: 消防處註冊號碼

Company Name: 公司名稱

Telephone: 聯絡電話

Date: 日期

通力消防工程公司
TUNG LICK FIRE ENGINEERING CO.

HON FONG

RC3/524

Tung Lick Fire Eng. Co.

2745 7923

10/04/2024

For FSD use only:

Inspected

Key-in

Verified

如證書涉及年檢事項，應張貼於大廈或處所當眼處以供消防處人員查核

This certificate should be displayed at prominent location of the building or premises for FSD's inspection if any annual maintenance work is involved.

FIRE SERVICE (INSTALLATIONS AND EQUIPMENT) REGULATIONS

消防 (裝置及設備) 規例

A 9386799

FSD Ref.:

消防處檔號

(Regulation 9(1))

(第九條 (1) 款)

CERTIFICATE OF FIRE SERVICE INSTALLATION AND EQUIPMENT

消防裝置及設備證書

Name of Client:

顧客姓名

K. Wah Asphalt Limited

Name of Building:

樓宇名稱

Asphalt Plant along Man Kam To Road

Street No./Town Lot:

門牌號數/市地段

Lots 20RP(Part) 21 and 23RP(Part) in D.D.88

Street/Road/Estate Name:

街道/屋苑名稱

Man Kam To Road

Block:

座

District:

分區

Sheung Shui

Area:

地區

HK

香港

K

九龍

NT

新界

Type of Building 樓宇類型:

Industrial 工業

Commercial 商業

Domestic 住宅

Composite 綜合

Licensed premises 持牌處所

Institutional 社團

Part 1 Annual Inspection ONLY
第一部 只適用於年檢事項

In accordance with Regulation 8(b) of Fire Service (Installations and Equipment) Regulations, the owner of any fire service installation or equipment which is installed in any premises shall have such fire service installation or equipment inspected by a registered contractor at least once in every 12 months. 根據消防 (裝置及設備) 規例第八條(b)款, 擁有裝置在任何處所內的任何消防裝置或設備的人, 須每12個月由一名註冊承辦商檢查該等消防裝置或設備至少一次。

| Code 編碼 (1-35) | Type of FSI 裝置類型 | Location(s) 位置 | Comment on Condition 狀況評述 | Completion Date 完成日期(DD/MM/YY) | Next Due Date 下次到期日(DD/MM/YY) |
|----------------|------------------------|----------------|--------------------------------|--------------------------------|-------------------------------|
| 24 | 8nos. 5KG CO2 F/E | Site area | Conforms with FSD requirements | 10/04/2024 | 09/04/2025 |
| 24 | 2nos. 5KG ABC D.P. F/E | Site area | Conforms with FSD requirements | 10/04/2024 | 09/04/2025 |
| 24 | 3nos. 1KG ABC D.P. F/E | Site area | Conforms with FSD requirements | 10/04/2024 | 09/04/2025 |
| 24 | 1no. 9L AFFF Foam F/E | Site area | Conforms with FSD requirements | 10/04/2024 | 09/04/2025 |
| 25 | 2nos. Sand Bucket | Site area | Conforms with FSD requirements | 10/04/2024 | 09/04/2025 |

Part 2 第二部 Installation / Modification / Repair / Inspection work 裝置/改裝/修理/檢查工作

| Code 編碼 (1-35) | Type of FSI 裝置類型 | Location(s) 位置 | Nature of Work Carried out 完成之工作內容 | Comment on Condition 狀況評述 | Completion Date 完成日期(DD/MM/YY) |
|----------------|------------------|----------------|------------------------------------|---------------------------|--------------------------------|
| | | | | | |

Part 3 第三部 Defects 損壞事項

| Code 編碼 (1-35) | Type of FSI 裝置類型 | Location(s) 位置 | Outstanding Defects 未修缺點 | Comment on Defects 缺點評述 |
|----------------|------------------|----------------|--------------------------|-------------------------|
| | | | | |

I/We hereby certify that the above installations/equipment have been tested and found to be in efficient working order in accordance with the Codes of Practice for Minimum Fire Service Installations and Equipment and Inspection, Testing and Maintenance of Installations and Equipment published from time to time by the Director of Fire Services. Defects are listed in Part 3.

本人藉此證明以上之消防裝置及設備經試驗, 證明性能良好, 符合消防處處長不時公佈的最低限度之消防裝置及設備守則與裝置及設備之檢查測試及保養守則的規格, 損壞事項列於第三部。

如證書涉及年檢事項, 應張貼於大廈或處所當眼處以供消防處人員查核

This certificate should be displayed at prominent location of the building or premises for FSD's inspection if any annual maintenance work is involved.

Authorized Signature:
授權人簽署

Name:
姓名
FSD/RC No.:
消防處註冊號碼

Company Name:
公司名稱

Telephone:
聯絡電話

Date:
日期

TUNG LICK FIRE ENGINEERING CO.

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