

**Application for Permission under Section 16 of
the Town Planning Ordinance (Cap. 131)**

**Temporary Warehouse for Storage of Vehicle Parts
and General Goods for a Period of 3 Years
in “Undetermined” (“U”) Zone at Lots 1544(Part),
1545(Part), 1547, 1548, 1574(Part), 1575(Part),
1576(Part) and Adjoining Government Land in DD119,
Pak Sha Tsuen, Yuen Long, New Territories**

SUPPLEMENTARY PLANNING STATEMENT

Applicant:

Yat Cheong (China)
Development Limited

Planning Consultant:



Top Bright Consultants Ltd.

December, 2024

Executive Summary

This planning application is to seek planning permission from the Town Planning Board (the "Board") for a temporary warehouse for storage of vehicle parts and general goods (the "Proposed Development") for a period of 3 years at Lots 1544(Part), 1545(Part), 1547, 1548, 1574(Part), 1575(Part), 1576(Part) and Adjoining Government Land in DD119, Pak Sha Tsuen, Yuen Long, New Territories (the "Application Site").

The Application Site, with a total area of about 3,807 square metres, is currently occupied by two warehouses for storage of vehicle parts and general goods. The Application Site is the subject of two previously approved applications (Nos. A/YL-TYST/1122 and 1244) submitted by the same Applicant.

The Application Site falls within an "Undetermined" ("U") zone on the Tong Yan San Tsuen Outline Zoning Plan (OZP) No. S/YL-TYST/14 and has been specifically designated for the continuing demand for open storage which cannot be accommodated in conventional godown premises. The Application Site, which is located in the immediate outskirts of Yuen Long New Town, is a preferred location for open storage and warehouse uses. It is also compatible with the surrounding workshops, warehouses, open storage yards for building materials, construction machineries/materials, recycling materials, vehicles, and relative land uses. In this regard, the Board approved a number of similar applications for warehouse use in the past within the same "U" zone.

The Application Site falls within the Yuen Long South Development Area (YLS DA) announced by the Chief Executive in the 2011-2012 Policy Address. As the Proposed Development is only temporary in nature and located in Stage 3 of the development schedule, in which the site formation and infrastructure works will start after 2029, the approval of the applied temporary use for three years would not intervene the YLS DA development.

The Application Site comprises two warehouses. The northern warehouse is for storage of general goods. The southern warehouse is for storage of vehicle parts and a canopy is erected on the western portion for storage and loading/unloading. Ancillary facilities, including site office and meter rooms can be found within the Application Site. A parking space for light goods vehicle (LGV) and 2 loading/unloading (L/UL) spaces for medium goods vehicles (MGV) are also provided. The existing vehicular ingress/egress, which is located at the southeastern corner of the Application Site, is about 8 metres wide and has been hard-paved.

The justifications of this application are: not contravening the long term planning intention of Yuen Long South Development; in line with the planning intention; site with previous planning approvals; compliance with previous approval conditions, shortage of suitable site for warehouse use; compatible with surrounding land uses; no adverse environmental, visual and drainage impacts; no additional traffic generated and approval of similar applications. The Applicant therefore seeks the Board's permission to use the Application Site for the Proposed Development for a period of three years.

行政摘要

這宗規劃申請是向城市規劃委員會(“城規會”)呈交，擬議在新界元朗白沙村丈量約份第 119 約地段第 1544 號(部份), 1545 號(部份), 1547 號, 1548 號, 1574 號(部份), 1575 號(部份), 1576 號(部份)及毗連政府土地(“申請地點”), 用作臨時貯存汽車零件及一般貨物貨倉(“擬議發展”), 為期 3 年。

申請地點的面積約為 3,807 平方米，目前設有兩個貨倉用作貯存汽車零件及一般貨物。申請地點涉及兩宗由同一申請人提出及獲城規會批准的規劃許可(申請編號：A/YL-TYST/1122 及 1244)。

申請地點座落於唐人新村分區計劃大綱圖編號 S/YL-TYST/14 中的“未決定用途”地帶，該地帶旨在應付不斷增加的露天貯物用地需求，貯存不能存於普通貨倉的貨物。申請地點位於元朗市中心的外圍邊緣地帶，為擬議貨倉用途的理想地點，並與附近用作貨倉、露天存放建材料、循環再造物料、汽車及相關土地用途協調，故城規會在同一地帶已批准多個同類貨倉用途的申請。

申請地點位於元朗南發展區範圍內。由於擬議發展僅為臨時用途，且位於元朗南發展計畫的第三階段，第三階段的土地平整及基礎設施工程將於 2029 年後才展開，因此批准擬議臨時用途不會影響元朗南發展區的未來發展。

申請地點設有兩個貨倉，北面的貨倉用作貯存一般貨物，南面的貨倉用作貯存汽車零件，其西面設有一上蓋用作貯物及上落貨。申請地點的附屬設施包括有地盤辦公室及電錶房，並提供一個輕型貨車泊車位及兩個中型貨車上落貨位。申請地點將沿用現時位於東南面約 8 米濶及已鋪設的出入口。

這宗規劃申請的理由為：不會阻礙元朗南的長遠發展；符合規劃意向；申請地點之前已獲得規劃許可；已履行規劃許可附帶條件；缺乏合適的貨倉用地；與附近土地用途配合；不會對附近環境、視覺及排水構成不良影響；不會增加額外的交通流量；及附近地點同類用途已獲規劃許可。申請人希望城規會批准為期三年的臨時貨倉用途申請。

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SUMMARY OF APPLICATION

- Applicant** : Yat Cheong (China) Development Ltd.
- Applied Use** : Temporary Warehouse for Storage of Vehicle Parts and General Goods
for a Period of 3 Years
- Existing Use** : Warehouse for Storage of Vehicle Parts and General Goods
- Location** : Lots 1544(Part), 1545(Part), 1547, 1548, 1574(Part), 1575(Part),
1576(Part) and Adjoining Government Land in DD119,
Pak Sha Tsuen, Yuen Long, New Territories
- Site Area** : Private Land: about 3,698 square metres
Government Land: about 109 square metres
Total: about 3,807 square metres
- Lease** : Block Government Lease demised as agricultural land
- Statutory Plan** : Tong Yan San Tsuen Outline Zoning Plan No. S/YL-TYST/14 gazetted
on 20.8.2021
- Zoning** : "Undetermined" ("U")
- Previous Applications** : A/YL-TYST/1244 – approved on 22.12.2023
A/YL-TYST/1122 – approved on 10.12.2021
A/YL-TYST/1054 – approved on 20.11.2020
A/YL-TYST/923 – approved on 2.11.2018
A/YL-TYST/861 – approved on 24.11.2017
A/YL-TYST/749 – approved on 21.8.2015
A/YL-TYST/739 – approved on 3.7.2015
A/YL-TYST/677 – approved on 9.5.2014
A/YL-TYST/605 – approved on 24.8.2012
A/YL-TYST/534 – approved on 3.6.2011
A/YL-TYST/487 – approved on 27.8.2010
A/YL-TYST/391 – approved on 6.6.2008
A/YL-TYST/355 – approved on 22.6.2007

1. INTRODUCTION

- 1.01 This planning statement is prepared by Top Bright Consultants Ltd. on behalf of Yat Cheong (China) Development Ltd. (the “Applicant”) to seek planning permission from the Town Planning Board (the “Board”) for a temporary warehouse for storage of vehicle parts and general goods (the “Proposed Development”) for a period of 3 years at Lots 1544(Part), 1545(Part), 1547, 1548, 1574(Part), 1575(Part), 1576(Part) and Adjoining Government Land in DD119, Pak Sha Tsuen, Yuen Long, New Territories (the “Application Site”).
- 1.02 The Application Site, with a total area of about 3,807 square metres, is currently occupied by two warehouses for storage of vehicle parts and general goods. The Application Site is the subject of two previously approved applications (Nos. A/YL-TYST/1122 and 1244) submitted by the same Applicant. The Applicant has provided Fire Services Installations (FSIs) within the Application Site. During compliance with the approval conditions (c) and (d) of the last application (No. A/YL-TYST/1244), Fire Services Department (FSD) considered that the implementation of FSIs is not acceptable due to the share use of the FS water tank and pump room with the adjoining site to the south (No. A/YL-TYST/1122). As such, the Applicant submits the current application with the combination of two approved sites in fulfilling the requirements of FSD and adopting the existing FSIs at the Application Site.
- 1.03 The Application Site falls within an “Undetermined” (“U”) zone on the Tong Yan San Tsuen Outline Zoning Plan (OZP) No. S/YL-TYST/14 and has been specifically designated for the continuing demand for open storage which cannot be accommodated in conventional godown premises. The Application Site, which is located in the immediate outskirts of Yuen Long New Town, is a preferred location for open storage and warehouse uses¹. It is also compatible with the surrounding workshops, warehouses, open storage yards for building materials, construction machineries/materials, recycling materials, vehicles, and relative land uses. In this regard, the Board approved a number of similar applications for warehouse use in the past within the same “U” zone.
- 1.04 The Application Site falls within the Yuen Long South Development Area (YLS DA) announced by the Chief Executive in the 2011-2012 Policy Address. As the Proposed Development is only temporary in nature and located in Stage 3 of the development schedule, in which the site formation and infrastructure works will start after 2029, the approval of the applied temporary use for three years would not intervene the YLS DA development.
- 1.05 The following sections are intended to help facilitate the Board’s decision, and will briefly describe the Application Site and its surroundings, give details of the proposed development and provide justifications in support of the application.

¹ According to the TPB PG-No. 13G (Rev. April 2023), the Application Site falls within a “Category 1” area, which is considered suitable for open storage, port back-up and industrial uses.

2. SITE CONTEXT

Location

- 2.01 The Application Site is situated just off Kung Um Road about one kilometre south of Yuen Long New Town in the North West New Territories. **Figure 1** shows the Application Site in its regional context.

Existing Site Conditions

- 2.02 The Application Site covers an area of about 3,807 square metres (including about 109 square metres of Government land) and is generally irregular in shape. It is currently occupied by two warehouses for storage of vehicle parts and general goods respectively. Ancillary facilities, including site office, meter rooms, canopy for storage/loading and unloading are provided on the Application Site. The Application Site has been hard-paved and partly fenced off. Please refer to the Site Plan in **Figure 2**.

Surrounding Land Uses

- 2.03 The surrounding area of the Application Site comprises predominately open storage/storage yards, warehouses and rural industries intermixed with residential structures, construction sites, and vacant land/structures. To the immediate north of the Application Site is a temporary warehouse for storage of electronic goods (approved under Planning Application No. A/YL-TYST/1125). To the immediate west is open storage of metalware for recycling (Application No. A/TL-TTST/1230). To the further west is an open storage yard for construction machinery and materials, recycling materials and used electrical appliances with ancillary workshop activities (approved under Planning Application No. A/YL-TYST/1213). To the south are village houses in Pak Sha Tsuen. A number of rural industries including open storage yards, workshops and warehouses are located to the east of the Application Site, dominating both sides of Kung Um Road. **Figure 3** shows the Application Site in the context of its local surrounds.

Access

- 2.04 The Application Site is located about 100 metres to the west of Kung Um Road which leads out to Yuen Long Highway forming part of the strategic road network. It is directly accessible via a track branching off from Kung Um Road that is shared with the adjacent storage facilities. The 8-metre wide ingress/egress point is located at the south-eastern corner of the Application Site. A plan showing the access road is in **Figure 3**.

3. LAND STATUS

- 3.01 According to the Land Registry, the Application Site comprises of Lots 1544(Part), 1545(Part), 1547, 1548, 1574(Part), 1575(Part), 1576(Part) and adjoining Government land in DD119, Pak Sha Tsuen, Yuen Long, New Territories. A plan showing the configuration of these lots is in **Figure 2**.

- 3.02 The subject lots are all held under Block Government Lease and demised as agricultural land with lease terms expiring on 30.6.2047. There are no user restrictions in the lease except the standard non-offensive trade clause.
- 3.03 The Applicant has obtained Short Term Waivers (STWs) to permit structures erected for the purpose of warehouse for storage. Should this application be approved, the Applicant will apply for Short Term Tenancy (STT) for the use of the Government land.

4. PLANNING CONTEXT

Yuen Long South Development Area

- 4.01 To meet housing land demand, the Chief Executive announced in the 2011-2012 Policy Address to explore the possibility of converting 150 hectares of agricultural, industrial and open storage land into housing land in Yuen Long. The area to the south of Yuen Long New Town was identified as one of these areas for review.
- 4.02 The YLS DA is broadly bounded by Yuen Long Highway, Kung Um Road and Tai Lam Country Park, mainly in Tong Yan San Tsuen and Tai Tong areas, covering an approximate area of about 224 hectares. The YLS DA will serve as one of the major sources of land supply to meet the territory's medium to long-term housing needs through comprehensive planning and improvement of infrastructure. It is also one of the major land development areas falling within the Northern Metropolis.
- 4.03 Accordingly, a Planning and Engineering Review on the Recommended Outline Development Plan (RODP) has been undertaken in which a series of planning and technical assessments were conducted. The RODP has been revised (Revised RODP) for a total population of about 101,200, of which about 98,700 will be housed in about 32,850 new flats. The YLS DA, including site formation and infrastructure works, is proposed to be implemented in 3 phases from 2022 to 2038.
- 4.04 The Application Site falls partly within an area zoned "Other Specified Uses" annotated "Mixed Use", partly within an area zoned "Residential - Zone 2 (with Commercial)" and partly within an area zoned as "Road" in the Yuen Long South RODP (see **Figure 6**). The Application Site falls within Stage 3 of the YLS DA development schedule, which will start the site formation and engineering infrastructure works not earlier than 2029.

Statutory Plan

- 4.05 According to the Tong Yan San Tsuen OZP No. S/YL-TYST/14 which was gazetted on 20.8.2021, the Application Site falls within a "U" zone (see **Figure 4**). The planning intention of the "U" zone for this area is to cater to the continuing demand for open storage which cannot be accommodated in conventional godown premises. At the Board's discretion, applications for temporary uses within this zone may be approved for a period of not exceeding 3 years.

Previous Applications

4.06 The Application Site is the subject of 13 previously approved planning applications (Nos. A/YL-TYST/355, 391, 487, 534, 605, 677, 739, 749, 861, 923, 1054, 1122 and 1244) which were all approved for the use of temporary open storage, storage of used private vehicles and warehouses by the Board from 2007 to 2023. All approval conditions of last application (No. A/YL-TYST/1122) had been complied. As mentioned in Paragraph 1.02 of this planning statement, approval conditions (c) and (d) of the last application (No. A/YL-TYST/1244) had not been complied with due to the share use of the FS water tank and pump room within the Application Site.

Similar Applications

4.07 The Board has approved more than 100 applications for “temporary warehouse with/without open storage and/or ancillary workshop/site office uses” within the same “U” zone of Tong Yan San Tsuen OZP. They were approved mainly on similar considerations that the developments were not incompatible with the surrounding open storage/warehouse uses and the concerns of relevant government departments could be addressed by imposing approval conditions. A summary of some of the applications for warehouse in recent years is shown below:

Application No.	Date of Approval	Applied Use	Length of Planning Permission
A/YL-TYST/1280	4.10.2024	Temporary Warehouse for Storage of Electronic Goods for a Period of 3 Years	3 years
A/YL-TYST/1275	6.9.2024	Renewal of Planning Approval for Temporary Warehouse for Storage of Event Supplies and Equipment with Ancillary Site Office for a Period of 3 Years	3 years
A/YL-TYST/1266	7.6.2024	Temporary Warehouse for Storage of Food and Electronic Goods for a Period of 3 Years	3 years
A/YL-TYST/1253	1.3.2024	Temporary Warehouse and Open Storage of Exhibition Materials for a Period of 3 Years	3 years
A/YL-TYST/1252	1.3.2024	Temporary Warehouse and Open Storage of Furniture, Exhibition Materials, Construction Materials/ Machinery and Household Detergent for a Period of 3 Years	3 years
A/YL-TYST/1263	10.5.2024	Temporary Warehouse for Storage of Paper with Ancillary Workshop for a Period of 3 Years	3 years
A/YL-TYST/1241	8.12.2023	Temporary Warehouse for Storage of Furniture for a Period of 3 Years	3 years
A/YL-TYST/1240	8.12.2023	Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) for a Period of 3 Years	3 years
A/YL-TYST/1220	14.7.2023	Temporary Warehouse for Storage of Food Provisions and Rural Workshop with Ancillary Office for a Period of 3 Years	3 years

5. DEVELOPMENT PROPOSAL

Applied Use

- 5.01 The Applicant seeks the Board's permission to use the Application Site for temporary warehouse for storage of vehicle parts and general goods for a period of 3 years.

Site Layout and Design

- 5.02 The Layout Plan in **Figure 5** illustrates the proposed site configuration. The Application Site comprises two warehouses. The northern warehouse is for storage of general goods. The southern warehouse is for storage of vehicle parts and a canopy is erected on the western portion for storage and loading/unloading. Ancillary facilities, including site office and meter rooms can be found within the Application Site. A parking space for light goods vehicle (LGV) and 2 loading/unloading (L/UL) spaces for medium goods vehicles (MGV) are also provided. The existing vehicular ingress/egress, which is located at the southeastern corner of the Application Site, is about 8 metres wide and has been hard-paved. Compared with the last two approved applications, the use, number of parking spaces and operation under the current application remain unchanged while two one-storey meter rooms and two rain shelters are added at the western portion of the Application Site to meet the operational need. Details are as follows:

	Previous Application (No. A/YL- TYST/1122) (a)	Previous Application (No. A/YL- TYST/1244) (b)	Current Application (c)	Difference (c)-((a)+(b))
Applied Use	Temporary Warehouse for Storage of Furniture	Temporary Warehouse for Storage of Documents and Office Supplies	Temporary Warehouse for Storage of Vehicle Parts and General Goods	Storage materials changed
Site Area	1,891m ²	1,691m ²	3,807m ² (including GL of about 109m ²)	+225m ² (+6%)
Total Floor Area (Non-domestic)	1,341m ²	888.5m ²	2,254m ²	+24.5m ² (+1%)
No. of Structures	2 - 1 warehouse - 1 canopy for storage and L/UL	8 - 1 warehouse - 1 site office - 4 rain shelters - 2 meter rooms	14 - 2 warehouses - 1 canopy for storage and L/UL - 1 site office - 4 meter rooms - 6 rain shelters	+4
Height of Structures	7.5m (1-storey)	2.65 - 6.8m (1-storey)	2.65 - 7.5m (1-storey)	-
No. of Parking Spaces	Nil	1 (for LGV) (3.5m x 7m)	1 (for LGV) (3.5m x 7m)	-
No. of L/UL	1 (for MGV) (3.5m x 11m)	Nil	1 (for MGV) (3.5m x 11m)	-

Operation Hours	9:00am to 6:00pm, with no operation on Sundays and Public Holidays	9:00am to 7:00pm, with no operation on Sundays and Public Holidays	9:00am to 7:00pm, with no operation on Sundays and Public Holidays	-
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Site Operations

- 5.03 The Application Site will only be used for storage purpose. Only LGV and MGV will be used for delivery of storage materials, generating about 4 trips per day. The proposed hours of operation at the Application Site will be between 9:00 a.m. and 7:00 p.m. from Mondays to Saturdays and no operation on Sundays and public holidays. No workshop activities will be carried out on the Application Site.

Tree Preservation

- 5.04 In accordance with the implementation of the approved Landscape and Tree Preservation Proposal of the previous applications (Nos. A/YL-TYST/391 and 739), trees had already been planted around the perimeter of the Application Site and were considered satisfactory by the Planning Department. All existing trees within the Application Site will be preserved by the Applicant by providing routine horticultural maintenance.

Drainage Proposal

- 5.05 The Applicant has implemented the drainage facilities on site under previous planning approvals (Nos. A/YL-TYST/355 and 391). The submissions of the photographic record of the existing drainage facilities under the last approved applications (Nos. A/YL-TYST/1122 and 1244) were considered satisfactory by the Drainage Services Department (see **Appendix 1**). The existing drainage facilities on site will be maintained for the current application.

Fire Service Installations

- 5.06 A Fire Service Installations (FSIs) Proposal with relevant FS251 certificates are submitted (see **Appendix 2**) together with this application which shows the as-built FSIs on site. The FSIs, including hose reels, sprinkler system, FS water tank, pump room, emergency lights, exit signs, fire alarms, sand buckets, fire extinguishers etc. will be maintained by the Applicant. The Applicant commits to provide the FSIs to the satisfaction of FSD.

Environmental Consideration

- 5.07 The entire site has been hard paved to avoid fugitive dust impacts from manoeuvring of vehicle. No heavy good vehicles will be allowed to access the Application Site. Furthermore, screen planting is provided, and no workshop activities will be carried out to minimize the visual and noise impacts of the Proposed Development.

6. JUSTIFICATIONS

Not Contravening the Long Term Planning Intention of Yuen Long South Development

- 6.01 The Chief Executive announced to explore the possibility to develop YLS DA in the 2011-2012 Policy Address. The objective of YLS DA is to transform the degraded rural land predominantly occupied by brownfield operations including open storage yards, warehouses and rural industrial uses into housing and other uses with supporting infrastructure and community facilities, and to improve the existing environment. In August 2017, the Planning Department and the Civil Engineering and Development Department announced the Yuen Long South RODP prepared for YLS DA under the Planning and Engineering Study. It is noted that the YLS DA is set to be implemented in 3 phases from 2022 to 2038 and the Application Site falls within Stage 3 of the development schedule. According to the Legislative Council Paper No. CB(1)209/2022(02), the timing for site formation and engineering infrastructure works for the Stage 3 development will tentatively be 2029-2033/2038. As a result, the clearance of the Application Site and its surrounding area will not be realised within the next 3 years. The applied use would not jeopardize the long-term development of the area.

In Line with the Planning Intention

- 6.02 According to the Tong Yan San Tsuen OZP, the subject area is zoned “Undetermined” which is to cater for the continuing demand for open storage which cannot be accommodated in conventional godown premises. This application, which is for temporary warehouse for storage of vehicle parts and general goods, is therefore in line with the planning intention for the “U” zone for storage use which cannot be accommodated in conventional godown premises.
- 6.03 According to the RNTPC Paper of the last applications (Nos. A/YL-TYST/1122 and 1244), the Planning Department considered that the applied use was not in conflict with the planning intention of the U zone on the OZP. In addition, a number of similar applications were approved by the Board on the same site and its vicinity. Approval of the application on a temporary basis would not jeopardise the planning intention of the area and in line with the previous decisions of the Board.

Site with Previous Planning Approvals

- 6.04 The Board previously approved open storage and warehouse uses (Application Nos. A/YL-TYST/355, 391, 487, 534, 605, 677, 739, 749, 861, 923, 1054, 1122 and 1244) on the same site from 2007 to 2023. The Board’s decision to approve the previous applications on the same site indicates that the open storage and warehouse uses are acceptable within the “U” zone. The land use (i.e. warehouse use) for the current application remains unchanged since the previous planning applications were approved.

Compliance with Previous Approval Conditions

- 6.05 The Applicant has made genuine efforts to comply with all approval conditions of the previous planning applications (Nos. A/YL-TYST/1054 and 1122), including submission and implementation of FSIs proposal and submission of records of the existing drainage facilities. In compliance with approval condition of the last application (No. A/YL-TYST/1244), FSD

found that there is a shared use of the FS water tank and pump room for two planning applications. As such, the Applicant resubmits this application to fulfill the requirements of FSD and commits to provide FSIs to the satisfaction of FSD (see **Appendix 1**).

Shortage of Suitable Site for Warehouse Use

- 6.06 In November 2019, the Planning Department conducted the "Study on the Use and Operation of Brownfields in the New Territories". There are 1,579 hectares of brownfield sites in the New Territories, of which 1,414 hectares are in operation with 7,373 operators, and the remaining 165 hectares are not in operation. More than 80% of brownfields are privately owned.
- 6.07 About 803 of 1,579 hectares have been included in ongoing or planned new development area projects or other known government or private developments. The existing brownfield operations will be gradually phased out in stages, while the proposed multi-storey industrial buildings may not be applicable for all brownfield uses. Moreover, 450 hectares of the remaining 700 hectares of brownfield sites are classified as having high or moderate potential for development. The Planning Department has been assessing how many of them are suitable for short and medium-term public housing development. In future, the sites for warehouse use will be much fewer than now.

Compatible with Surrounding Land Uses

- 6.08 The Proposed Development is compatible with the surrounding land uses which are mixed with open storage yards, warehouses and workshops. In view of the current physical condition and the prevalence of similar warehouse usage in the immediate vicinity, the Application Site is considered suitable for temporary warehouse use.

No Adverse Environmental or Visual Impact

- 6.09 The Proposed Development is complied with the "Code of Practice on Handling the Environmental Aspects of Temporary Uses and Open Storage Sites" (Rev. Aug. 2005) as:

Air

- (a) the whole site has been hard-paved to avoid any fugitive dust impacts due to vehicle movements;

Drainage and Sewage

- (a) drainage channels have been constructed to the satisfaction of the Drainage Services Department.

Noise

- (a) No workshop activities will be carried out.
(b) Prohibition of any operations during sensitive hours (i.e. 7:00pm to 9:00am).

- 6.10 In view of the above, proper environmental mitigation measures have been adopted to soften the possible visual intrusion as well as reduce any potential adverse impacts on the environment. Therefore, the environmental impact of the Proposed Development on the surrounding areas is considered to be insignificant. In addition, according to the Applicant, no complaints have been received for the business operation in the last three years.

No Adverse Drainage Impact

- 6.11 In view of the site's locality, which is not at risk of flooding owing to extensive drainage works carried out by the Drainage Services Department in the vicinity, and the existing drainage facilities serving the Application Site will be maintained by the Applicant, no adverse drainage impacts are anticipated.

No Additional Traffic Generated

- 6.12 The applied use, as with most other passive storage facilities, is not a high traffic generating use. The frequency of delivery trips to and from the Application Site is same as the last application and will be low (estimated to be around 4 trips per day). In addition, vehicle will normally travel along Kung Um Road, Kiu Hing Road and Tai Tong Road, thereby avoiding the northern stretch of Kung Um Road and its junction with Ma Tin Road, which experiences serious traffic congestion during peak hours. The traffic generated by the Proposed Development would not increase the existing traffic and the traffic impact is therefore insignificant.

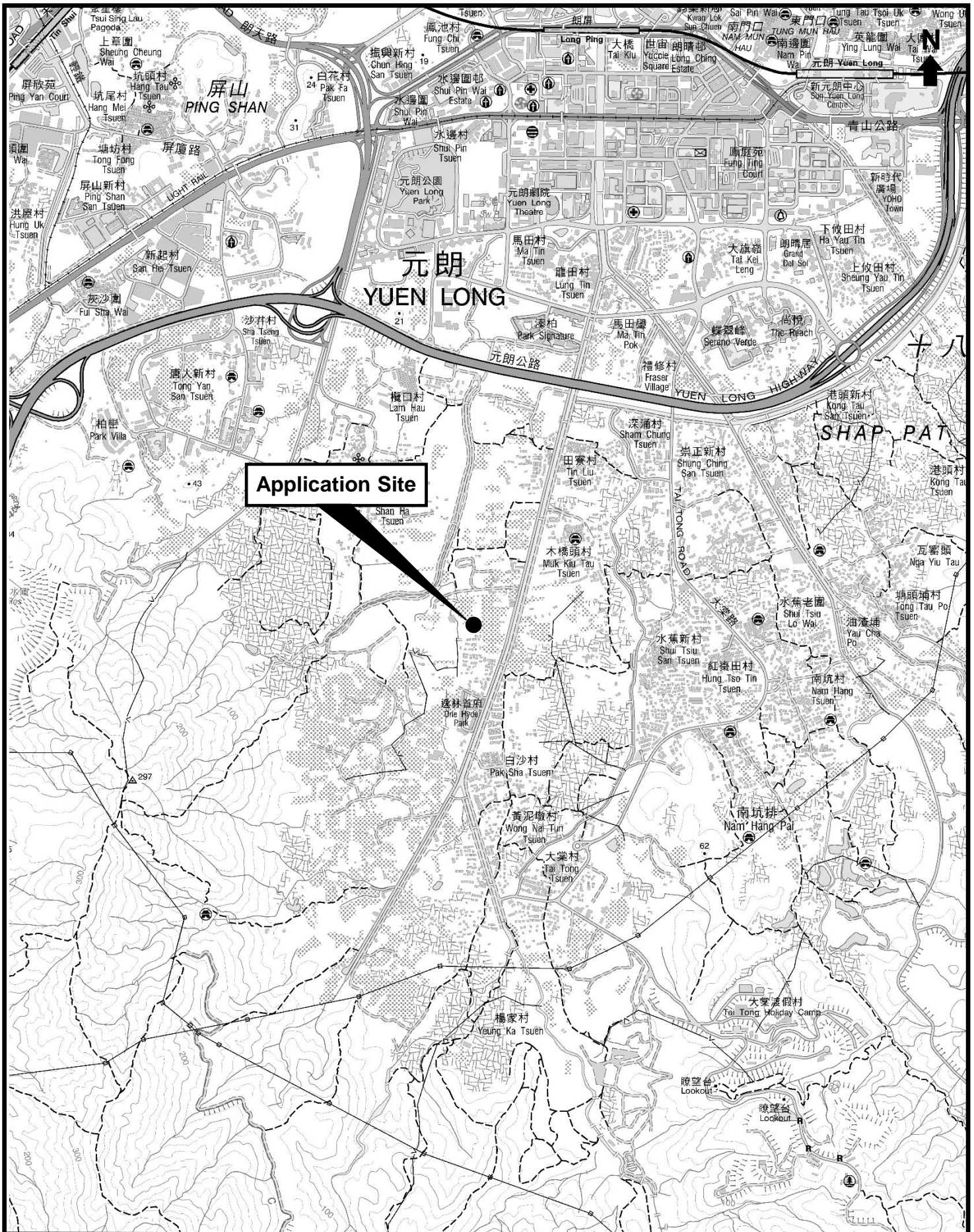
Approval of Similar Applications

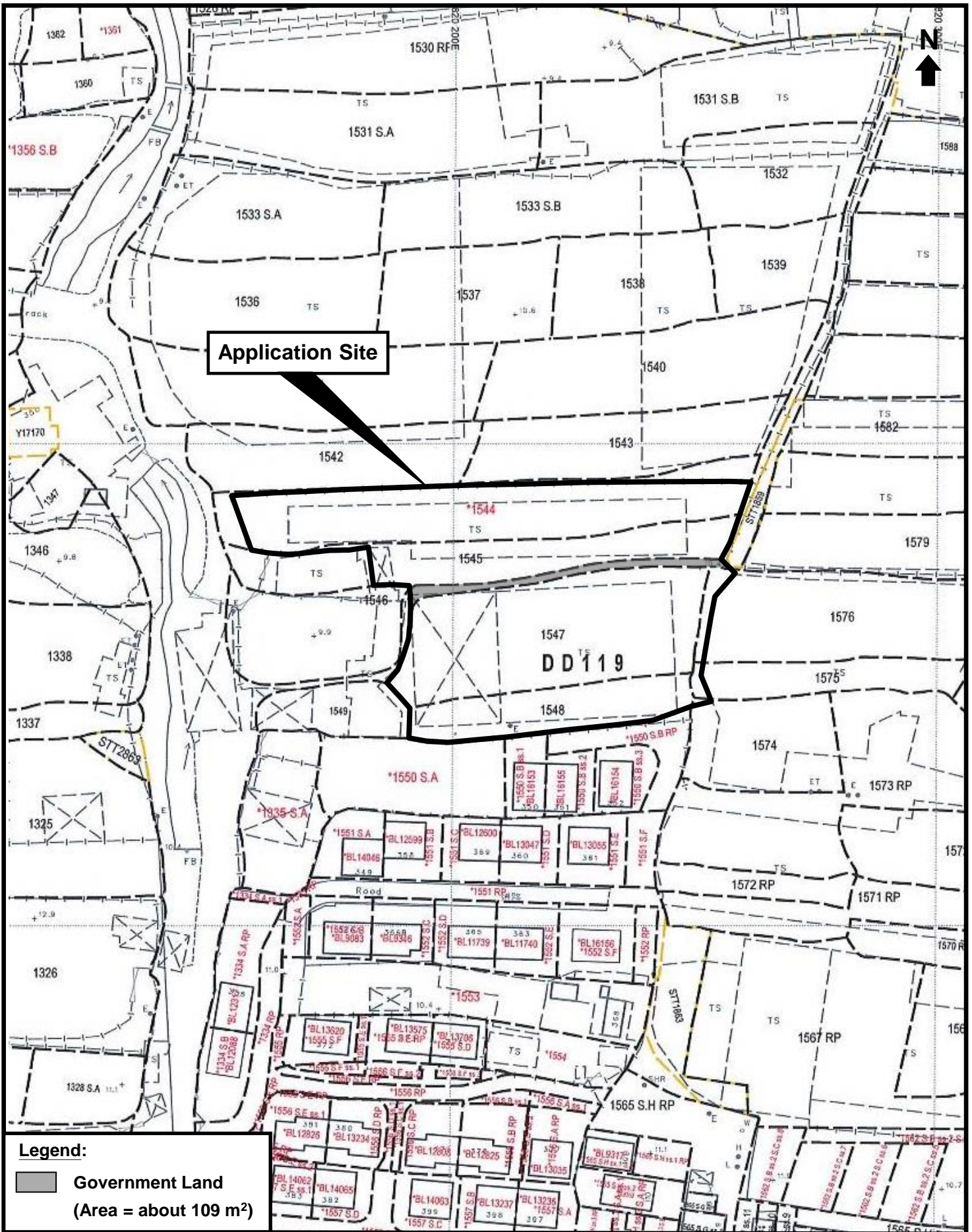
- 6.13 As mentioned in paragraph 4.07, a number of planning approvals have been granted by the Board for similar warehouse use within the "U" zone in recent years. This indicates that the warehouse use can be applied in the area with similar settings on a temporary basis.

7. CONCLUSION


- 7.01 The Application Site falls within an “U” zone on the Tong Yan San Tsuen OZP and, as evidenced by the existing surrounding land uses, has been a popular location for open storage sites, warehouses and rural industrial uses. Until the Stage 3 of the YLS Development will be implemented, the area is a suitable location for warehouse use on a temporary basis. As the length of planning permission sought is only for a temporary period of 3 years, approval of the application will not frustrate the long-term development of the area.
- 7.02 The Proposed Development only reflects the combination of two previously approved applications and is solely a covered storage facility, which does not involve any noise generating, visually intrusive or environmentally detrimental activities such as workshops. With the implementation of mitigation measures and maintaining of the existing facilities on site, no adverse impact on the local surroundings is anticipated. The Proposed Development is also compatible with the surrounding land uses in nature, including open storage yards, vehicle parks, workshops and warehouses.
- 7.03 As there are only minor changes in development parameters and the Applicant has good track record in compliance with approval conditions, the Applicant respectfully requests that the Board give favourable consideration and approve this application for a period of 3 years.

Top Bright Consultants Ltd.
December 2024





Legend:

 **Government Land**
(Area = about 109 m²)

 **Top Bright Consultants Ltd.**

Extracted from Lot Index Plan
Nos. 6-NW-19A - 19D

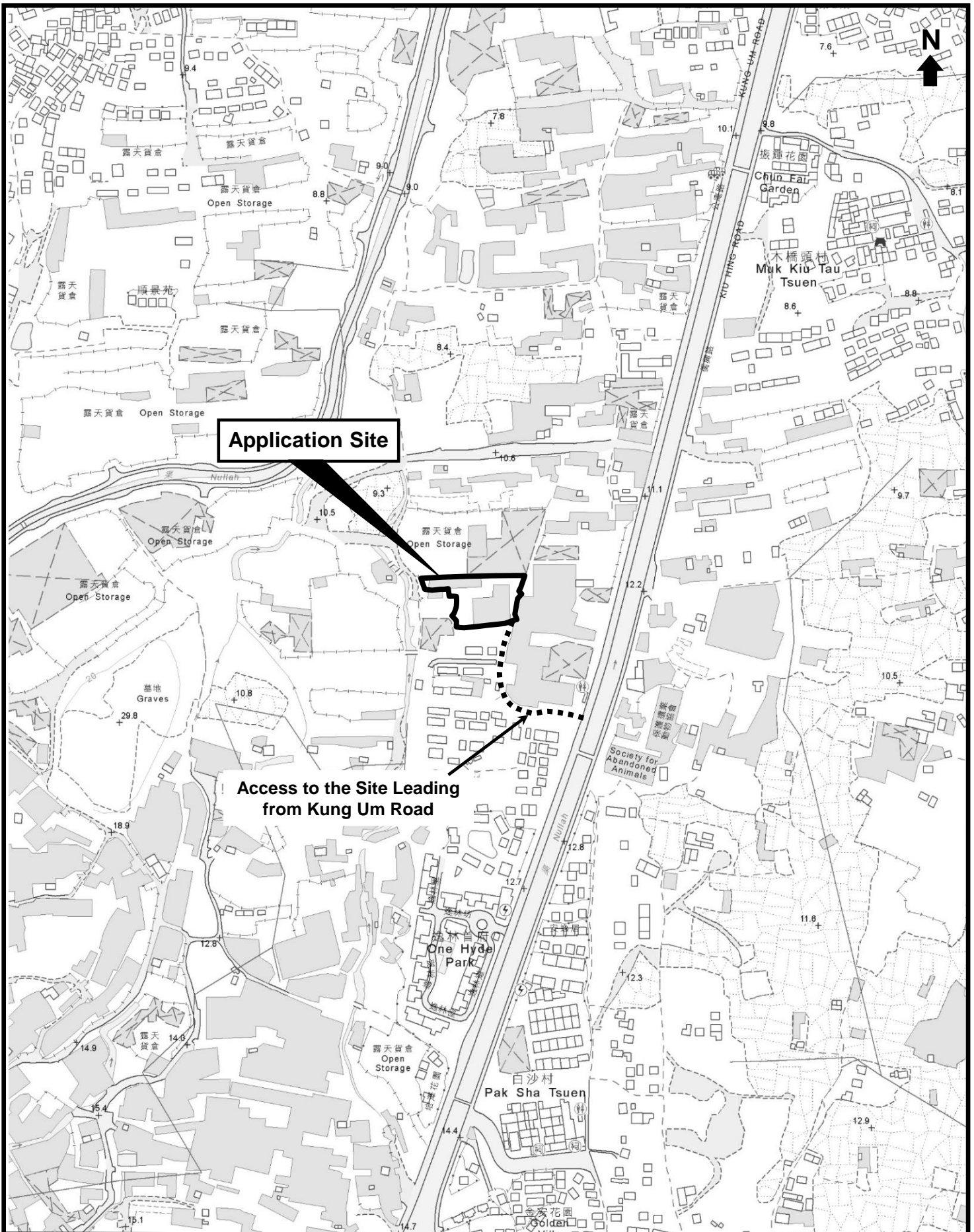
Site Plan

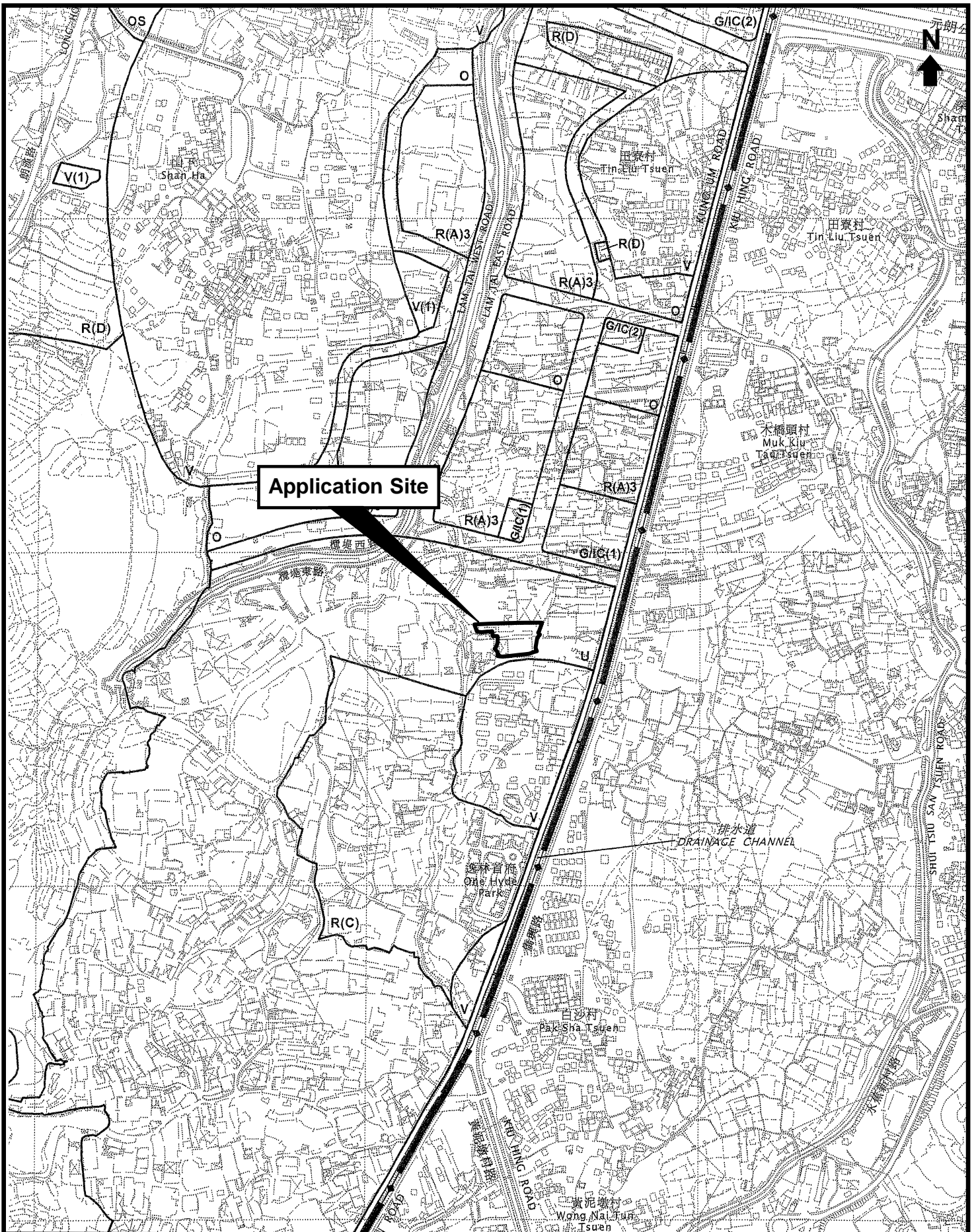
Scale 1 : 1 000

FIGURE 2

For Identification Purpose

Date: 28.10.2024



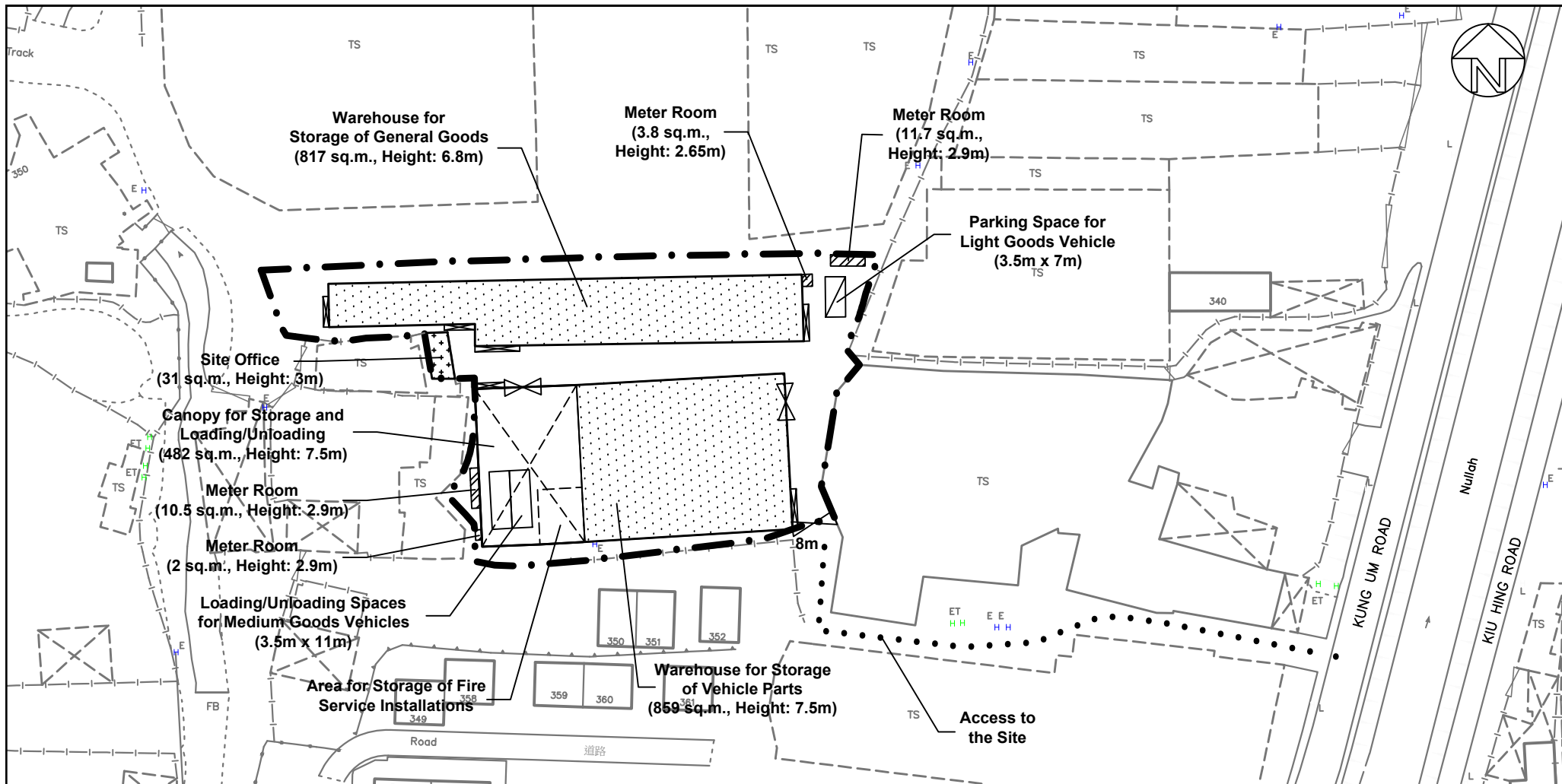


Extract from Tong Yan San Tsuen Outline Zoning
Plan No. S/YL-TYST/14 gazetted on 20.8.2021


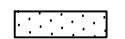
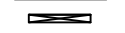
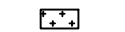
FIGURE 4

For Identification Purpose

Date: 28.10.2024



LEGEND:

-  Application Site (Area = about 3,807 sq.m.)
-  Warehouses (1-Storey)
-  Rain Shelters (Total: about 37 sq.m., Height = 4m-6m)
-  Site Office (1-Storey, Height = 3m)



Top Bright Consultants Ltd.

Drawing No. :TB/24/851/05

Layout Plan

Various Lots and Adjoining Government Land
in DD119, Pak Sha Tsuen, Yuen Long, N.T.

FIGURE 5

FOR IDENTIFICATION PURPOSE

Date: 28.10.2024

Scale: 1 : 1 000 (A4)

元朗南

房屋用地規劃及工程研究- 勘查研究
PLANNING AND ENGINEERING STUDY FOR
HOUSING SITES IN YUEN LONG SOUTH - INVESTIGATION

Figure 6
建議發展大綱圖
Recommended Outline Development Plan

經洪水橋新發展區連接至西鐵天水圍站的環保運輸服務示意走線 (正進一步研究)
Indicative Corridor of EFTS with Possible Connection to West Rail TSW Station via the EFTS of the Hung Shui Kiu New Development Area (Under Further Study)

洪水橋新發展區
Hung Shui Kiu New Development Area

擬建洪水橋站
Proposed Hung Shui Kiu Station

天水圍站
Tin Shui Wai Station

屏山
Ping Shan

朗屏站
Long Ping Station

元朗站
Yuen Long Station

元朗公園
Yuen Long Park

元朗新市鎮
Yuen Long New Town

擬議公共運輸交匯處
(有待進一步研究)
Proposed Public Transport Interchange
(Subject to Further Studies)

唐人新村
Tong Yan San Tsuen

元朗公園
Yuen Long Park

元朗新市鎮
Yuen Long New Town

十八鄉
Shap Pat Heung

元朗公路
YUEN LONG HIGHWAY

元朗公路
YUEN LONG HIGHWAY

元朗公路
YUEN LONG HIGHWAY

橫口村
Lam Hau Tsuen

橫口村
Lam Hau Tsuen

元朗公路
YUEN LONG HIGHWAY

田寮村
Tin Liu Tsuen

山廈村
Shan Ha Tsuen

山廈村
Shan Ha Tsuen

木橋頭村
Muk Kiu Tau Tsuen

馬山(公庵山)
Ma Shan (Kung Um Shan)

低密度住宅區
Low-density Residential Area

大棠
Tai Tong

馬山(公庵山)
Ma Shan (Kung Um Shan)

低密度住宅區
Low-density Residential Area

大棠
Tai Tong

馬山(公庵山)
Ma Shan (Kung Um Shan)

低密度住宅區
Low-density Residential Area

大棠
Tai Tong

馬山(公庵山)
Ma Shan (Kung Um Shan)

低密度住宅區
Low-density Residential Area

大棠
Tai Tong

馬山(公庵山)
Ma Shan (Kung Um Shan)

低密度住宅區
Low-density Residential Area

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Tai Tong

馬山(公庵山)
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低密度住宅區
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Tai Tong

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Ma Shan (Kung Um Shan)

低密度住宅區
Low-density Residential Area

大棠
Tai Tong

馬山(公庵山)
Ma Shan (Kung Um Shan)

低密度住宅區
Low-density Residential Area

大棠
Tai Tong

馬山(公庵山)
Ma Shan (Kung Um Shan)

低密度住宅區
Low-density Residential Area

大棠
Tai Tong

馬山(公庵山)
Ma Shan (Kung Um Shan)

低密度住宅區
Low-density Residential Area

大棠
Tai Tong

馬山(公庵山)
Ma Shan (Kung Um Shan)

低密度住宅區
Low-density Residential Area

大棠
Tai Tong

大欖郊野公園
Tai Lam Country Park

土地用途地帶 LAND USE ZONING	
RSc	公共房屋 - 租住公屋 (包括商業用途) Special Residential - Public Rental Housing (with Commercial)
R1(SS)F	住宅發展第一區 (資助出售房屋包括商業用途) Residential - Zone 1 (Subsidised Sale Flats with Commercial)
R1c	住宅發展第一區 (包括商業用途) Residential - Zone 1 (with Commercial)
R2	住宅發展第二區 Residential - Zone 2
R2(SS)F	住宅發展第二區 (資助出售房屋包括商業用途) Residential - Zone 2 (Subsidised Sale Flats with Commercial)
R2c	住宅發展第二區 (包括商業用途) Residential - Zone 2 (with Commercial)
R3	住宅發展第三區 Residential - Zone 3
R4	住宅發展第四區 Residential - Zone 4
R5	住宅發展第五區 Residential - Zone 5
R5(E)DA	住宅發展第五區 (現有發展區) Residential - Zone 5 (Existing Development Area)
R6	住宅發展第六區 Residential - Zone 6
Other	其他指定用途 (混合發展) Other Specified Uses (Mixed Use)
V	鄉村式發展 Village Type Development
Other	其他指定用途 (貯物用途) 1 Other Specified Uses (Storage Use) 1
OUISU1	其他指定用途 (貯物用途) 1 Other Specified Uses (Storage Use) 1
Other	其他指定用途 (貯物用途) 2 Other Specified Uses (Storage Use) 2
OUISU2	其他指定用途 (貯物用途) 2 Other Specified Uses (Storage Use) 2
Other	其他指定用途 (露天貯物) Other Specified Uses (Open Storage)
OUIS	其他指定用途 (露天貯物) Other Specified Uses (Open Storage)
Other	其他指定用途 (貯物及工場用途) Other Specified Uses (Storage and Workshop Uses)
OUIS-W	其他指定用途 (貯物及工場用途) Other Specified Uses (Storage and Workshop Uses)
Other	其他指定用途 (污水處理廠) Other Specified Uses (Sewage Treatment Works)
OUISTW	其他指定用途 (污水處理廠) Other Specified Uses (Sewage Treatment Works)
Other	其他指定用途 Other Specified Uses
OU	其他指定用途 Other Specified Uses
Other	其他指定用途 (山邊河道及觀景單車徑) Other Specified Uses (Hillside River Corridor with Scenic Cycle Track)
OU	其他指定用途 (山邊河道及觀景單車徑) Other Specified Uses (Hillside River Corridor with Scenic Cycle Track)
G	政府 Government
IC	機構或社區 Institution or Community
E	教育 Education
DO	地區休憩用地 District Open Space
DO(1)	地區休憩用地 (1) District Open Space (1)
LO	鄰舍休憩用地 Local Open Space
LO(1)	鄰舍休憩用地 (1) Local Open Space (1)
A	美化市容地帶 Amenity
AGR	農業 Agriculture
GB	綠化地帶 Green Belt
GB(1)	綠化地帶 (1) Green Belt (1)

圖示 LEGEND	
[Red dashed box]	發展區 Development Area
[Grey dashed box]	鄰近發展區的認可殯葬區 Permitted Burial Ground near the Development Area
[Grid pattern]	臨街零售 Retail Frontage
[Green dotted]	蘆葦床/蓄洪池 Reedbed/Retention Pond
[Light green]	郊野公園 Country Park
[Blue line]	河道 River Channel
[Grey line]	主要道路 Key Road
[Blue line with wavy pattern]	發展區內具較高生態價值的河溪 Watercourse of Higher Ecological Value within the Development Area
[Blue line with wavy pattern]	鄰近發展區的自然河溪 Natural Stream near the Development Area
[Dashed purple line]	環保運輸服務 (正進一步研究) Environmentally Friendly Transport Services (EFTS) (Under Further Study)
[Dashed purple line]	擬議道路改善工程 (有待進一步研究) Proposed Road Improvement Works (Subject to Further Studies)
[Yellow circle]	現有輕鐵站 Existing Light Rail Station
[Purple circle]	現有西鐵站 Existing West Rail Station
[Green circle]	普通科診所 General Clinic
[Green circle]	歷史建築物 Historic Building
[Green circle]	社會福利設施 Social Welfare Facility
[Green circle]	區消防局及救護站 Divisional Fire Station and Ambulance Depot
[Green circle]	幼稚園 Kindergarten
[Green circle]	小學 Primary School
[Green circle]	區警署 District Police Station
[Green circle]	郵局 Post Office
[Green circle]	擬議街市 (有待進一步研究, 包括一個位於中心位置及方便易達的「政府」用地的街市的可能需要) Proposed Market (Subject to Further Study Including the Possible Need for a Further Market at a Centrally Located and Easily Accessible "Government" Site)
[Green circle]	單車停放處 Cycle Parking Area
[Green circle]	社區會堂 Community Hall
[Green circle]	體育中心 Sports Centre
[Green circle]	污水抽水站 Sewage Pumping Station
[Green circle]	電力支站 Electricity Substation
[Green circle]	垃圾收集站 Refuse Collection Point
[Green circle]	已婚人員宿舍 Married Quarters
[Green circle]	配水庫 Service Reservoir
[Green circle]	擬議公共運輸交匯處 Proposed Public Transport Interchange
[Green circle]	非建築用地 Non Building Area
[Green circle]	低矮建築帶 Low Building Area
[Green circle]	蓄洪湖 Retention Lake
[Green circle]	蓄洪缸 Retention Tank

Appendix 1

Approved Drainage Proposal and Approval Letter for Compliance with
Approval Condition of the Previous Applications (Nos. A/YL-TYST/1122 and 1244)

規 劃 署

屯門及元朗西規劃處
香港新界沙田上禾輦路一號
沙田政府合署 14 樓



**By Fax (2401 0973) & Post
Planning Department**

Tuen Mun and Yuen Long West
District Planning Office
14/F, Sha Tin Government Offices,
1 Sheung Wo Che Road, Sha Tin, N.T.
Hong Kong

來函檔號 Your Reference 21/727/L03
本署檔號 Our Reference () in TPB/A/YL-TYST/1122
電話號碼 Tel. No. : 2158 6298
傳真機號碼 Fax No. : 2489 9711

21 January 2022

Top Bright Consultants Ltd.
Room 103
300 Kung Um Road
Yuen Long, New Territories
(Attn: LO Ming Kong)

Dear Sir,

**Compliance with Approval Condition (e)
Planning Application No. A/YL-TYST/1122**

I refer to your submission dated 18.1.2022 for compliance with the captioned approval condition on the submission of a condition record of the existing drainage facilities on the site. The Drainage Services Department (DSD) has been consulted on your submission. Your submission is considered:

- Acceptable. The captioned condition **has been complied** with. Please find detailed advisory departmental comments at **APPENDIX**
- Acceptable. Since the captioned condition requires both the submission and implementation of the proposal, it **has not been fully complied with**. Please proceed to implement the accepted proposal for full compliance with the approval condition.
- Not acceptable. The captioned condition has **not** been complied with.

Should you have any queries on the departmental comments, please contact Mr. Bill C H CHAN (Tel: 2781 4107) of DSD.

Yours faithfully,

(Ms. Ophelia WONG)
for District Planning Officer/
Tuen Mun and Yuen Long West
Planning Department

c.c.
CE/MN, DSD (Attn.: Mr. Bill C H CHAN)

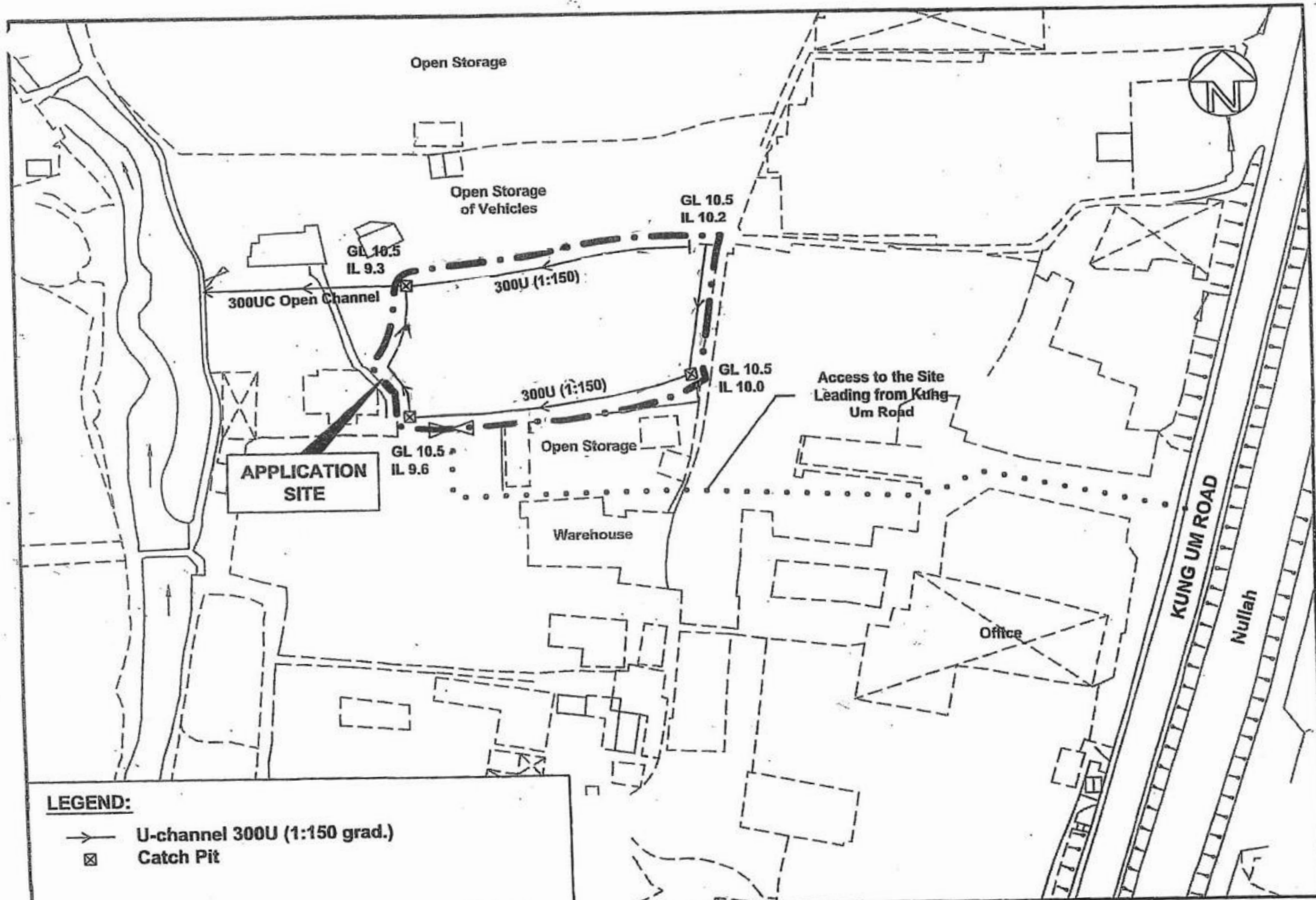
Internal
CTP/TPB (2)
OW/AL/al

APPENDIX

Comments of the Chief Engineer/Mainland North, Drainage Services Department
(CE/MN, DSD)

You are reminded to maintain all the drainage facilities on site in good condition and ensure that the proposed development would neither obstruct overland flow nor adversely affect existing natural streams, village drains, ditches and the adjacent area, etc. You are required to rectify the drainage system at your own expense to the satisfaction of the government parties concerned if they are found to be inadequate or ineffective during operation.

Approved Drainage Proposal for the Previous Application (No.: A/YL-TYST/1122)



LEGEND:

- U-channel 300U (1:150 grad.)
- ☒ Catch Pit



Top Bright Consultants Ltd.

Drawing No. :TB/08/165/07

Drainage Plan

Lots 1547 and 1548 in DD119,
Pak Sha Tsuen, Yuen Long, N.T.

FIGURE B

FOR IDENTIFICATION PURPOSE

Date: 25.6.2009

Scale: 1 : 1 000

規 劃 署

屯門及元朗西規劃處
香港新界沙田上禾輦路一號
沙田政府合署 14 樓



By Fax (2401 0973) & Post Planning Department

Tuen Mun and Yuen Long West
District Planning Office
14/F, Sha Tin Government Offices,
1 Sheung Wo Che Road, Sha Tin, N.T.
Hong Kong

來函檔號 Your Reference 23/811/L02
本署檔號 Our Reference () in TPB/A/YL-TYST/1244
電話號碼 Tel. No. : 2158 6296
傳真機號碼 Fax No. : 2489 9711

6 June 2024

Top Bright Consultants Limited
300 Kung Um Road,
Yuen Long, New Territories
(Attn.: Lo Ming Kong)

Dear Sir/Madam,

Compliance with Approval Condition (b) **Planning Application No. A/YL-TYST/1244**

I refer to your submission dated 7.2.2024 for compliance with the captioned approval condition on the submission of a condition record of existing drainage facilities implemented on the site. The Drainage Services Department (DSD) has been consulted on your submission. Your submission is considered:

- Acceptable. The captioned condition **has been complied** with. Please find detailed advisory departmental comments at **APPENDIX**.
- Acceptable. Since the captioned condition requires both the submission and implementation of the proposal, it **has not been fully complied with**. Please proceed to implement the accepted proposal for full compliance with the approval condition.
- Not acceptable. The captioned condition has **not** been complied with.

Should you have any queries on the departmental comments, please contact Mr. Jeff TSE (Tel: 2300 1627) of DSD.

Yours faithfully,

(Edwin YEUNG)
for District Planning Officer/
Tuen Mun and Yuen Long West
Planning Department

c.c.

CE/MN, DSD (Attn.: Mr. Jeff TSE)

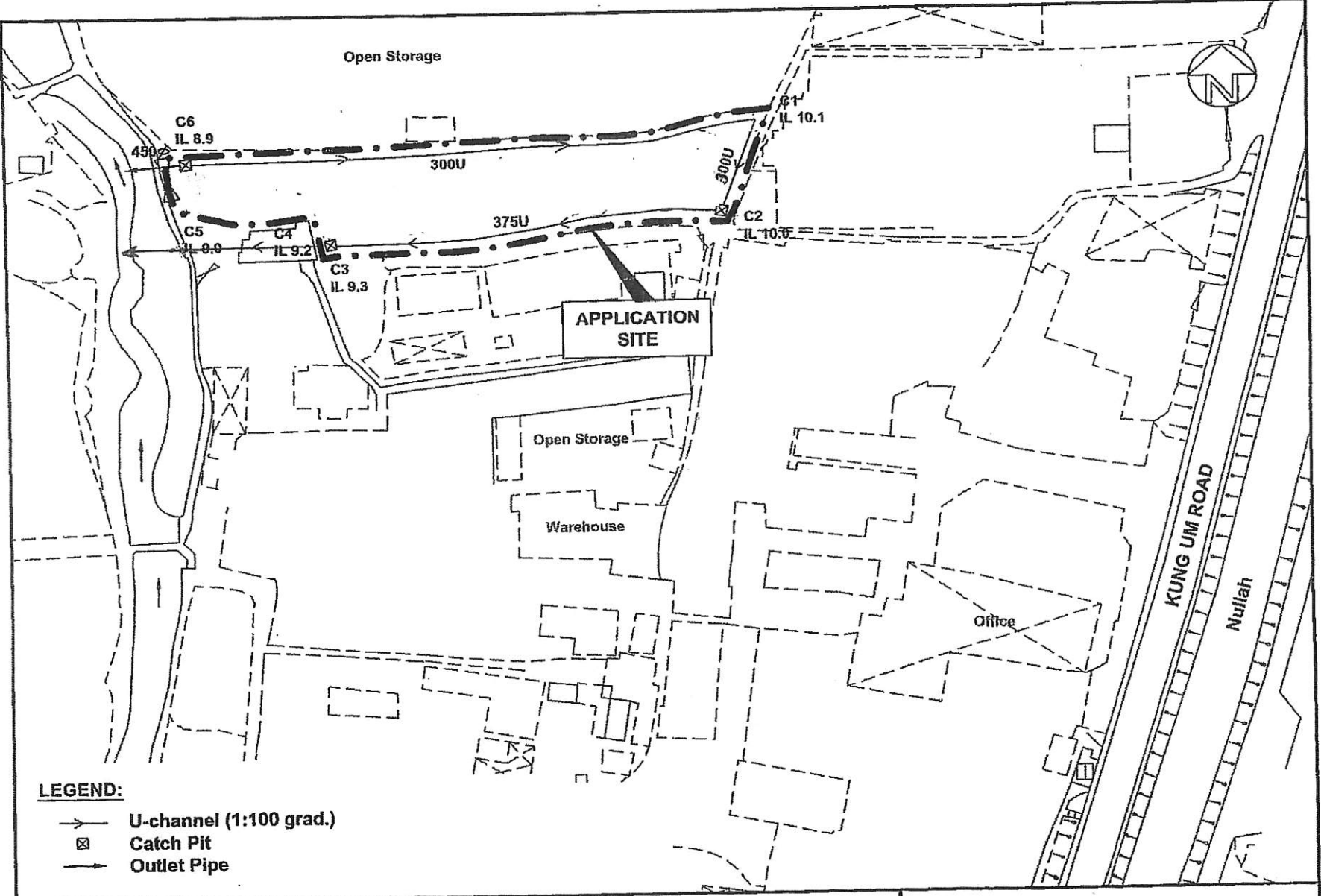
Internal

CTP/TPB (2)

Comments of the Chief Engineer/Mainland North, Drainage Services Department
(CE/MN, DSD)

Please be reminded to maintain all the drainage facilities on site in good condition and ensure that the proposed development would neither obstruct overland flow nor adversely affect existing natural streams, village drains, ditches and the adjacent areas, etc. You are required to rectify the drainage system at your own expense to the satisfaction of the government parties concerned if they are found to be inadequate or ineffective during operation.

Approved Drainage Proposal for the Previous Application (No.: A/YL-TYST/1244)



LEGEND:

- U-channel (1:100 grad.)
- ☒ Catch Pit
- Outlet Pipe



Top Bright Planning and Design Ltd.

Drainage Plan

Lots 1544 and 1545(Part) in DD119,
Pak Sha Tsuen, Yuen Long, N.T.

FIGURE 7

FOR IDENTIFICATION PURPOSE
Date: 21.6.2010
Scale: 1 : 1 000

Appendix 2

Fire Service Installations Proposal and FS251 Certificates

Fire Notes:

- Sufficient emergency lighting shall be provided throughout the entire building in accordance with BS5266-1:2016, BS EN 1838:2013 and the FSD Circular Letter No. 4/2021.
- Sufficient directional and exit sign shall be provided in accordance with BS EN 5266:Part 1 and FSD Circular letter 5/2008.
- Sufficient portable hand-operated approved appliance shall be provided and as marked on plans.
- An Automatic Sprinkler System Supplied by 90m³ Sprinkler Water Tank and Hazard Class OH3 shall be provided to entire building in accordance with LPC BS EN 12845:2015 and the FSD Circular Letter No.5/2020. Sprinkler Water Tank, Sprinkler Pump Room, Sprinkler Inlet and Sprinkler Control Valve Group shall be clearly marked on plans.
- Goods is classified as category 1. The maximum storage height of free standing of block storage is less than four meter & the maximum storage area shall be 50m² for any single block with no less than 2.4m clearance around the block, as the sprinkler system is ordinary hazard group III.
- An hose reel system should be supplied by a 2.0m³ F.S Water tank . There shall be sufficient hose reel to ensure that every part of each building can be reached by a length of not more than 30m of hose reel tubing. The F.S water tank, F.S pump room and hose reel shall be clearly marked on plans.
- Fire alarm system shall be provided throughout the entire building in accordance with BS EN 5839-1:2017 and the FSD Circular Letter 6/2021. One actuation point and one audio warning device to be located at each hose reel point. The actuation point should include facilities for fire pump start and audio/visual warning device initiation.
- Sprinkler pump (SP1, SP2, SJP) & hose reel pump (FSP-1 & FSP-2) provided at F.S. pump room.
- Secondary power supply shall be provided.
- No ventilation / air condition control system provided in building.

LEGEND

	NEW INSTALLED PIPEWORK / EQUIPMENT / CABLE		SPRINKLER INLET
	EXISTING INSTALLED PIPEWORK / EQUIPMENT / CABLE		AIR RELIEF VALVE.
	SPRINKLER HEAD UNDER STRUCTURE SLAB		FLOW SWITCH
	SPRINKLER HEAD (FOR SCHEMATIC)		SPRINKLER CONTROL VALVE.
	F.S. MAIN CONTROL PANEL		BREAKGLASS UNIT
	F.S. / SPR. PUMP CONTROL PANEL		HOSE REEL SET (30M LENGTH)
	CHECK METER POSTION		FIRE ALARM BELL
	PRESSURE SWITCH SET		PRESSURE GAUGE
	GATE VALVE WITH PLUGGED		DAMPED TYPE PRESSURE GAUGE
	PRESSURE SWITCH FOR DROP 0.5 bar SIGNAL		FULL WAY GATE VALVE
	BALL VALVE		FIRE SERVICES PUMP (DUTY/STANDBY)
	LEVEL SWITCHES (HIGH LEVEL CUT-OUT & LOW LEVEL CUT-IN)		SPRINKLER WATER ALARM GONG
	FULL-WAY GATE VALVE. C/W MONITORING SIGNAL		FLASHING LIGHT
	NON-RETURN VALVE.		PRESSURE RELIEF VALVE
	5KG CO2 GAS TYPE FIRE EXTINGUISHER		VORTEX INHIBITOR
	2KG CO2 GAS TYPE FIRE EXTINGUISHER		EMERGENCY LIGHT
	5KG DRY POWDER TYPE FIRE EXTINGUISHER		EXIT SIGN
	9 LITER FOAM TYPE FIRE EXTINGUISHER		
	9 LITER WATER TYPE FIRE EXTINGUISHER		
	2KG DRY POWDER TYPE FIRE EXTINGUISHER		
	SAND BUCKET		

PIPE SCHEDULE	
NOMINAL PIPE SIZE	SPECIFICATION
ø150mm & BELOW (ABOVE-GROUND)	G.I. PIPE TO B.S. 1387, MEDIUM GRADE
ø150mm & BELOW (UNDERGROUND)	G.I. PIPE TO B.S. 1387, HEAVY GRADE
ø200mm & ABOVE (ABOVE-GROUND & UNDERGROUND)	G.I. PIPE TO B.S. 1387, HEAVY GRADE

NOTES:

0	22/10/2024	PD SUBMISSION	YK
REV.	DATE	DESCRIPTION	BY

F.S. CONTRACTOR
文滙消防有限公司
Man Leong Fire Services Limited
 Address : 1/F, Wing Gar Factory Building,
 87 Larch Street, Tai Kok Tsui, Kowloon
 Tel : 2712 1522 Fax : 2712 7390

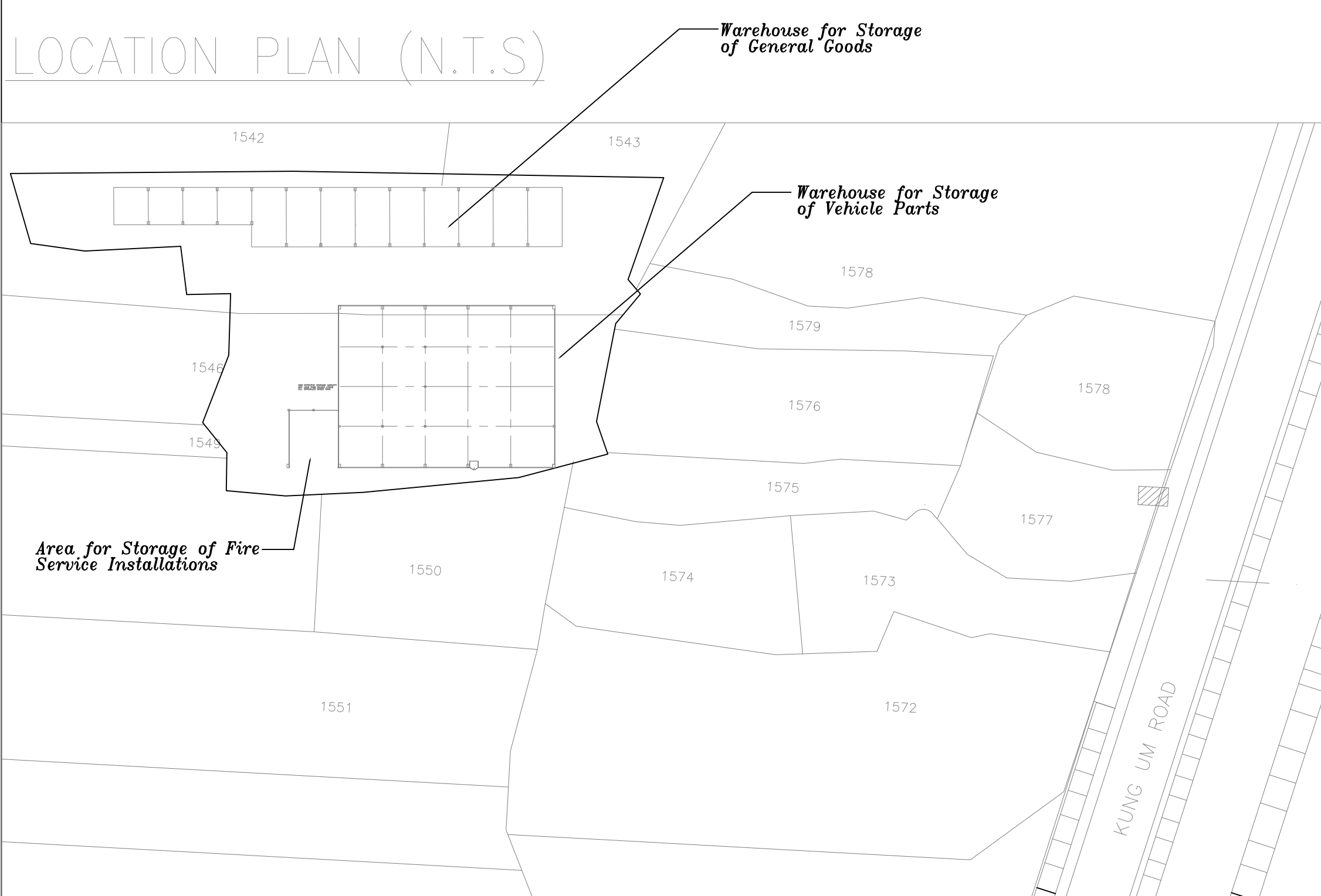
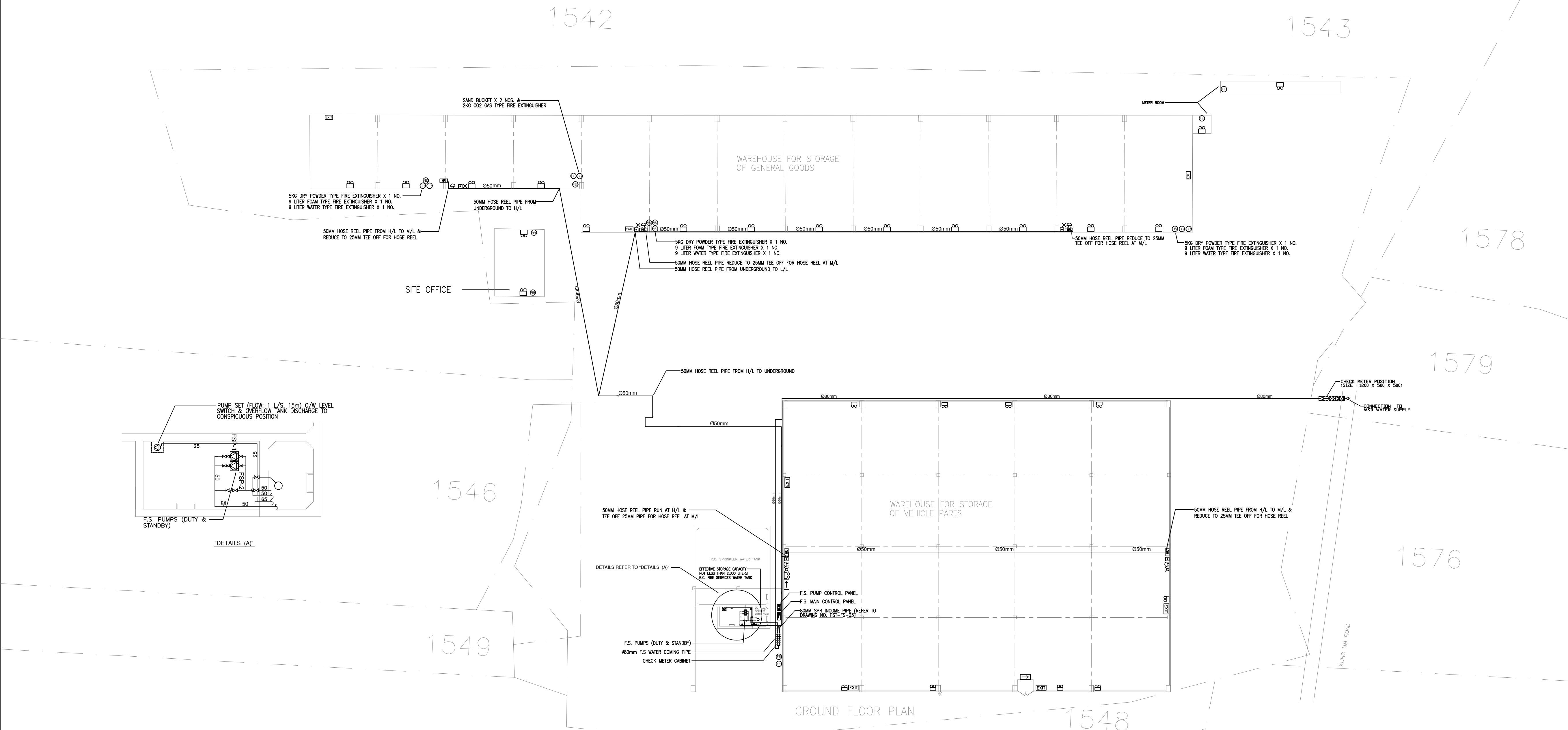
PROJECT
F.S. INSTALLATION WORKS AT Lots 1544 (Part), 1545 (Part), 1547, 1548, 1574 (Part), 1575 (Part), 1576 (Part) and Adjoining Government Land in DD119, Pak Sha Tsuen, Yuen Long.

DRAWING TITLE
LEGEND, NOTES & ABBREVIATION FOR FIRE SERVICES INSTALLATION

DRAWING NO
PST-FS-01

DATE	10/2024	SCALE	N.T.S.(A1)
DESIGN	W.H.W	DRAWN	W.H.W
CHECKED	Y.K.WONG	APPROVAL	

NOTES:
 1. ALL SPRINKLER PIPES SHALL BE 32mm DIA. UNLESS OTHERWISE STATED.



FIXED FIRE PUMP SCHEDULE					
PUMP	PRESSURE (BAR)	FLOW (L/min)	TYPE	MOTOR	
				SPEED (RPM)	RATING (KW)
FIXED FIRE PUMP SET	FSP-1 FSP-2	5.0 60	HORIZONTAL END-SUCTION	2900	3

REMARKS: PUMP CASING WORKING PRESSURE SHALL BE 150% OF THE HIGHEST POSSIBLE DISCHARGE SYSTEM PRESSURE AND OF MINIMUM 16 BARS.

COLOUR CODE	
PIPE(mm)	COLOUR
Ø25	GREEN
Ø32	RED
Ø40	PURPLE
Ø50	YELLOW
Ø65	LIGHT BLUE
Ø80	DARK GREEN
Ø100	LIGHT BROWN
Ø150	DARK BROWN
Ø200	DARK BLUE

PD SUBMISSION			
REV.	DATE	DESCRIPTION	BY
0	22/10/2024	PD SUBMISSION	YK

F.S. CONTRACTOR
文澆消防有限公司
Man Leong Fire Services Limited
 Address : 1/F, Wing Gar Factory Building,
 87 Larch Street, Tai Kok Tsui, Kowloon
 Tel : 2712 1522 Fax : 2712 7390

PROJECT
F.S. INSTALLATION WORKS AT Lots 1544 (Part), 1545(Part), 1547, 1548, 1574(Part), 1575 (Part), 1576(Part) and Adjoining Government Land in DD119 , Pak Sha Tsuen, Yuen Long.

DRAWING TITLE
HOSE REEL, EMERGENCY LIGHT, EXIT SIGN, MANUAL FIRE ALARM, FIRE EXTINGUISHER LAYOUT PLANT AT G/F

DRAWING NO
PST-FS-02

DATE 10/2024	SCALE 1:200(A1)
DESIGN W.H.W	DRAWN W.H.W
CHECKED Y.K.WONG	APPROVAL

NOTES:
 1. ALL SPRINKLER PIPES SHALL BE 32mm DIA. UNLESS OTHERWISE STATED.

COLOUR CODE	
PIPE(mm)	COLOUR
ø25	GREEN
ø32	RED
ø40	PURPLE
ø50	YELLOW
ø65	LIGHT BLUE
ø80	DARK GREEN
ø100	LIGHT BROWN
ø150	DARK BROWN
ø200	DARK BLUE

PD SUBMISSION			
REV.	DATE	DESCRIPTION	BY
0	22/10/2024	PD SUBMISSION	YK

F.S. CONTRACTOR
文滙消防有限公司
Man Leong Fire Services Limited
 Address : 1/F, Wing Gar Factory Building,
 87 Larch Street, Tai Kok Tsui, Kowloon
 Tel : 2712 1522 Fax : 2712 7390

PROJECT
F.S. INSTALLATION WORKS AT Lots 1544 (Part), 1545(Part), 1547, 1548, 1574(Part), 1575 (Part), 1576(Part) and Adjoining Government Land in DD119 , Pak Sha Tsuen, Yuen Long.

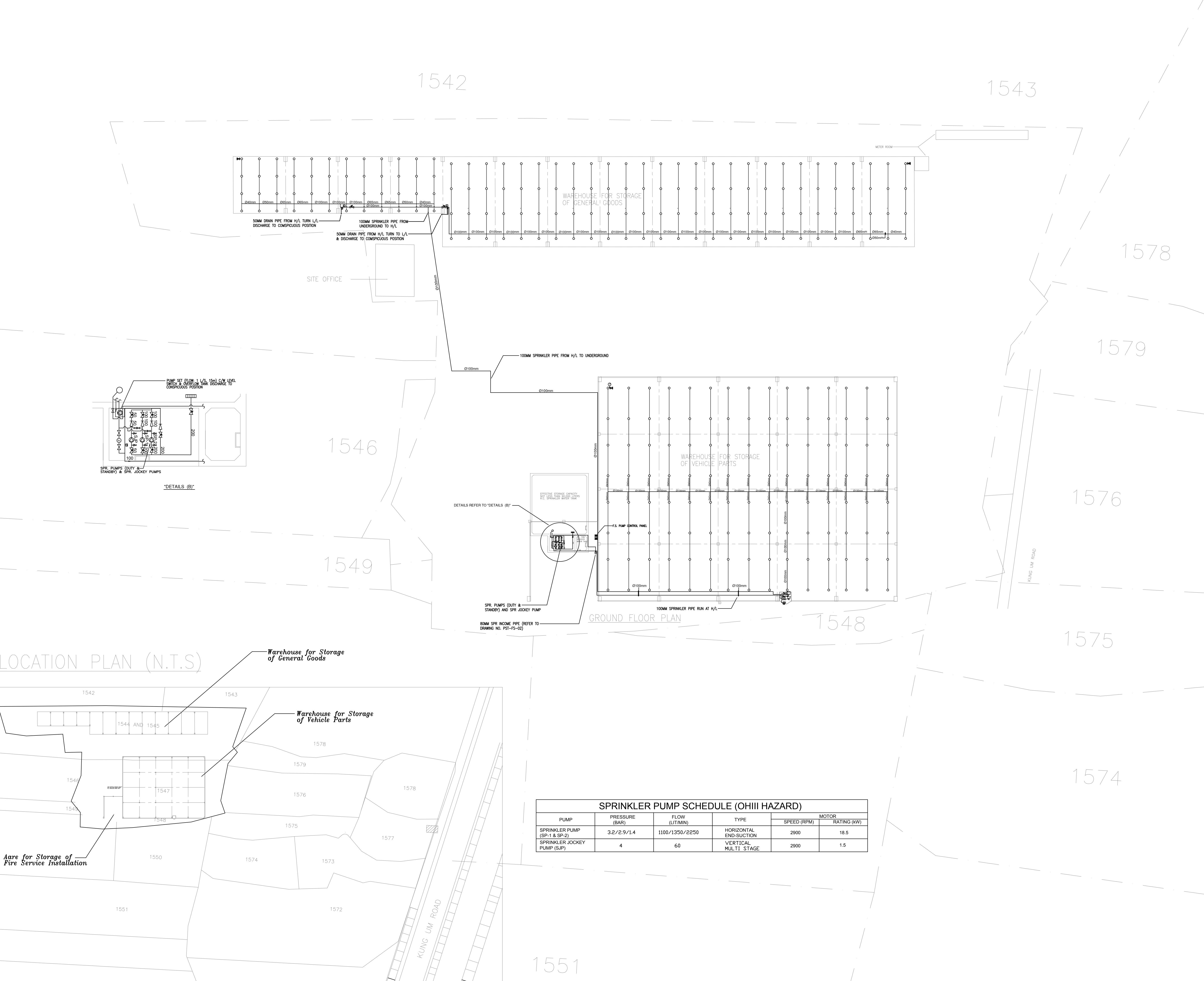
DRAWING TITLE
SPRINKLER SYSTEM LAYOUT PLANT AT G/F

DRAWING NO
PST-FS-03

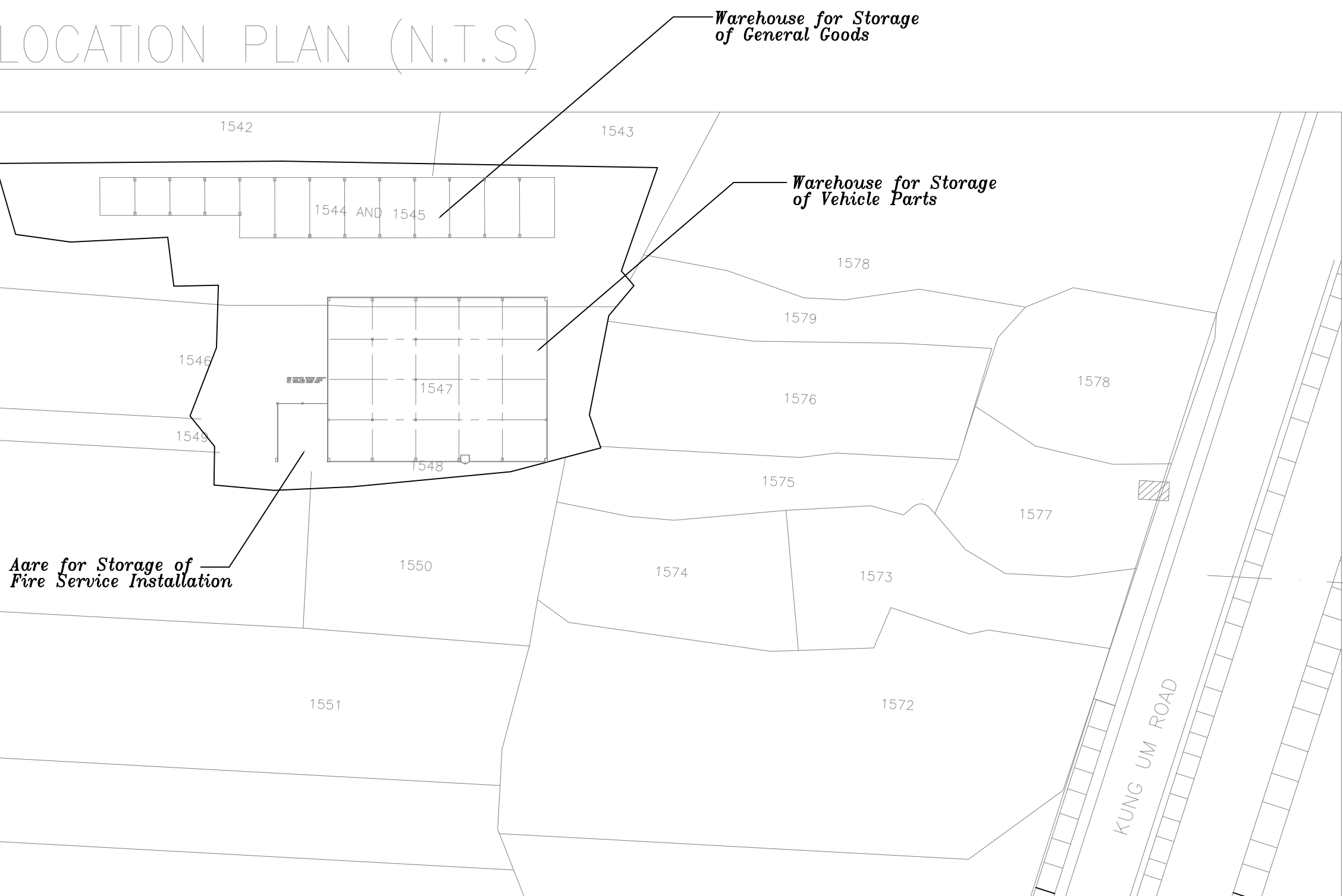
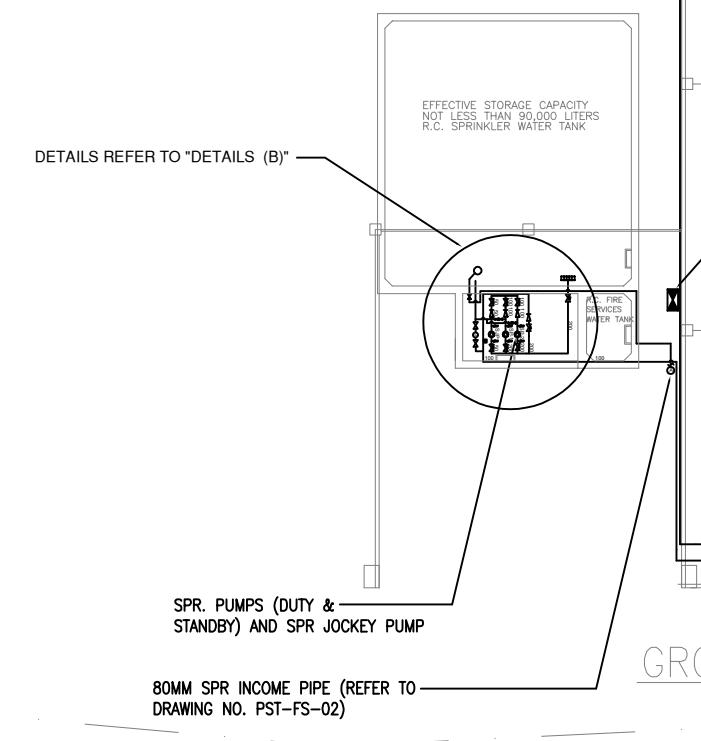
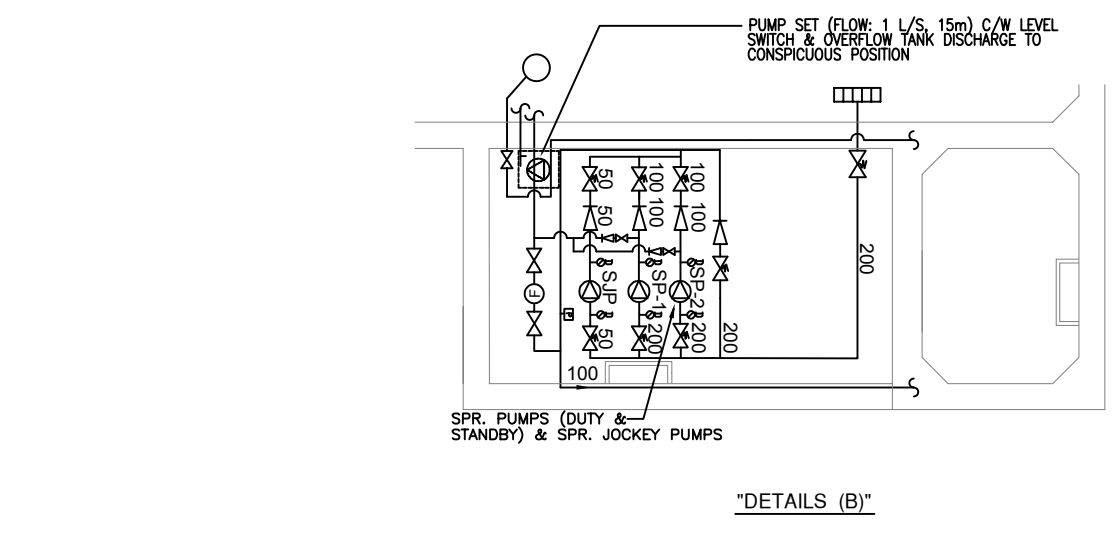
DATE
10/2024 SCALE
1:200(A1)

DESIGN
W.H.W DRAWN
W.H.W

CHECKED
Y.K.WONG APPROVAL

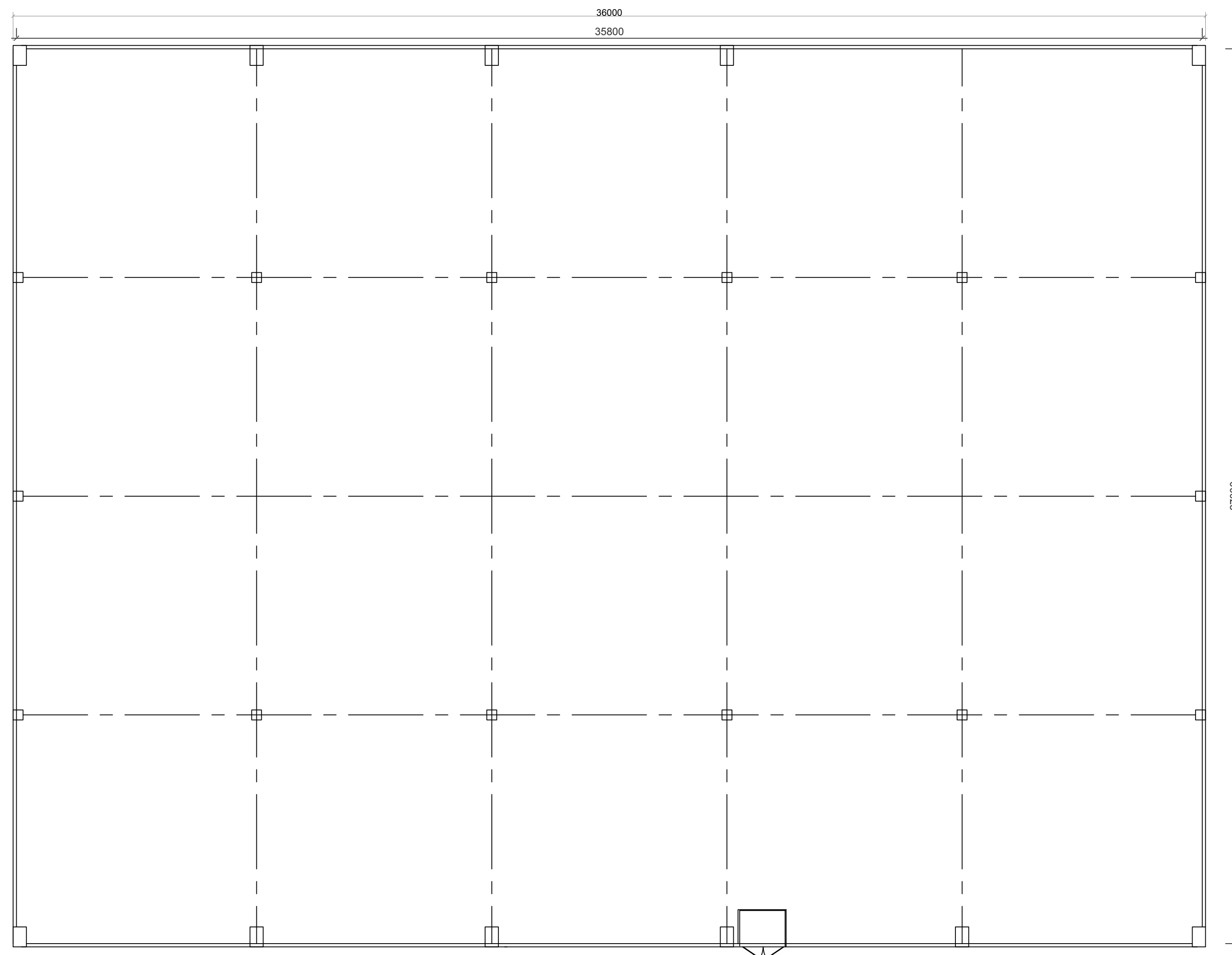


PUMP	PRESSURE (BAR)	FLOW (LIT/MIN)	TYPE	MOTOR	
				SPEED (RPM)	RATING (KW)
SPRINKLER PUMP (SP-1 & SP-2)	3.2/2.9/1.4	1100/1350/2250	HORIZONTAL END-SUCTION	2900	18.5
SPRINKLER JOCKEY PUMP (SJP)	4	60	VERTICAL MULTI STAGE	2900	1.5



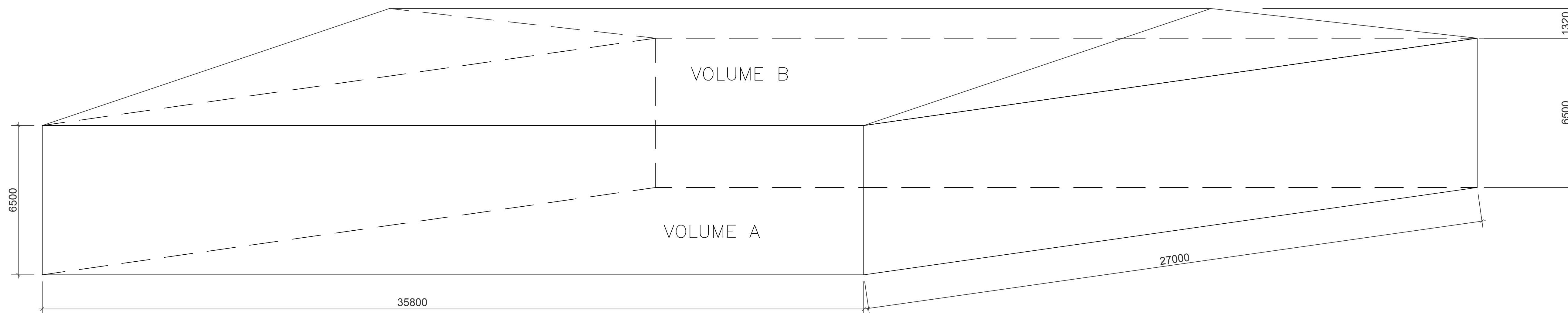
WAREHOUSE FOR STORAGE OF VEHICLE PARTS

A1



FLOOR AREA = 35.8 X 27.0
= 966.6 m²

GROUND FLOOR PLAN



TOTAL VOLUME OF FIRE COMPARTMENT = VOLUME A (CUBOID) + VOLUME B (TRIANGULAR PRISM)

$$= (35.8 \times 27.0 \times 6.5) + [(27.0 \times 1.32)/2 \times 35.8]$$

$$= 6282.9 + 637.956$$

$$= 6920.856 \text{ M}^3$$

REV.	DATE	DESCRIPTION	BY
0	22/10	TO PD SUBMISSION	I.L.

F.S. CONTRACTOR
文澆消防有限公司
Man Leong Fire Services Limited
 1/F., Wing Gar Factory Building,
 No. 87 Larch Street, Tai Kok Tsui, Kowloon.
 Tel : 2712 1522 Fax : 2712 7390

PROJECT
F.S. INSTALLATION WORKS AT Lots 1544 (Part), 1545 (Part), 1547, 1548, 1574 (Part), 1575 (Part), 1576 (Part) and Adjoining Government Land in DD119, Pak Sha Tsuen, Yuen Long.

DRAWING TITLE
AREA & VOLUME CALCULATION (2 OF 2)

DRAWING NO
PST-FS-05

FILE NAME

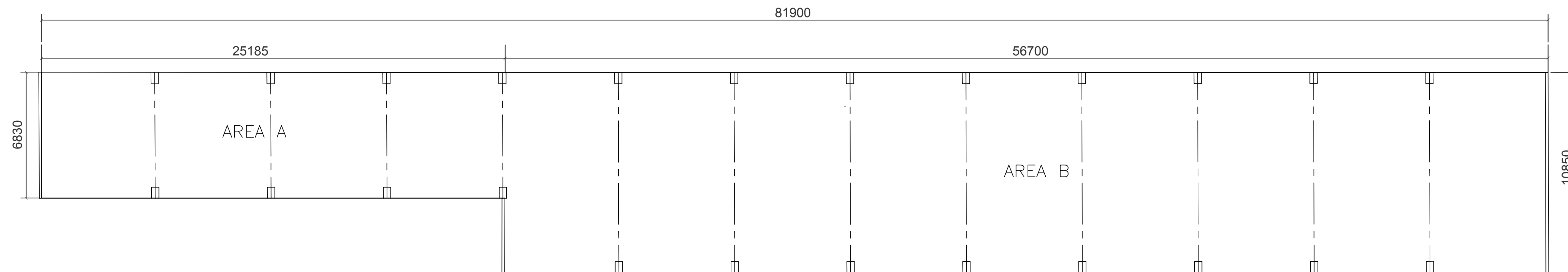
DATE	SCALE	REV.
10/2024	1:100(A1)	

DESIGN	DRAWN
I.L.	I.L.

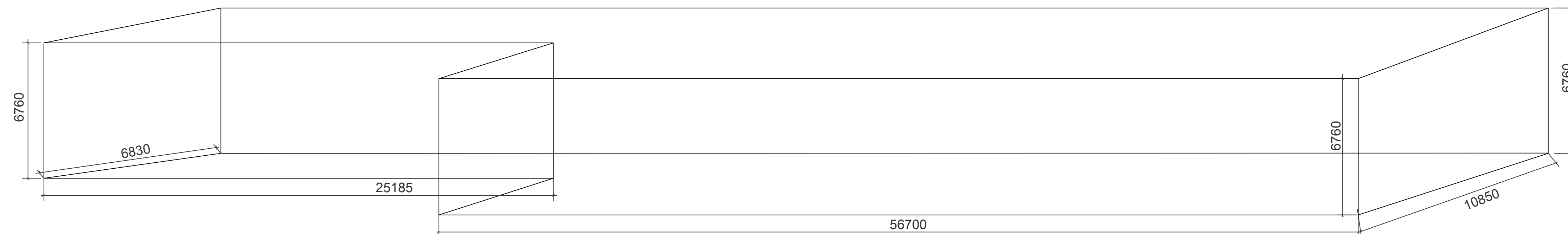
CHECKED	APPROVAL
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WAREHOUSE FOR STORAGE OF GENERAL GOODS

NOTES:



G/F FLOOR PLAN



STEREO VIEW

THE AREA = AREA A + AREA B
 = (25.185 X 6.83) + (56.7 X 10.85)
 = 172.1 + 615.2
 = 787.3m²

THE VOLUME = AREA X HEIGHT
 = 787.3 X 6.76
 = 5323m³

REV.	DATE	DESCRIPTION	BY
0	22/10/2024	PD SUBMISSION	YK

F.S. CONTRACTOR
文滙消防有限公司
Man Leong Fire Services Limited
 Address : 1/F, Wing Gar Factory Building,
 87 Larch Street, Tai Kok Tsui, Kowloon
 Tel : 2712 1522 Fax : 2712 7390

PROJECT
F.S. INSTALLATION WORKS AT Lots 1544 (Part), 1545(Part), 1547, 1548, 1574(Part), 1575 (Part), 1576(Part) and Adjoining Government Land in DD119 , Pak Sha Tsuen, Yuen Long.

DRAWING TITLE
AREA & VOLUME CALCULATION (1 OF 2)

DRAWING NO
PST-FS-04

DATE
10/2024 SCALE
N.T.S.(A1)

DESIGN
W.H.W DRAWN
W.H.W

CHECKED
Y.K.WONG APPROVAL

FIRE SERVICE (INSTALLATIONS AND EQUIPMENT) REGULATIONS

消防(裝置及設備)規例

(Regulation 9(1))

(第九條(1)款)

CERTIFICATE OF FIRE SERVICE INSTALLATION AND EQUIPMENT

消防裝置及設備證書

A 9579580

FSD Ref.: _____
消防處檔號

Name of Client : **溢昌(中國)發展有限公司**
顧客姓名

Name of Building : **Lots 1544 (Part), 1545 (Part), 1547, 1548, 1574 (Part), 1575 (Part), 1576 (Part) and Adjoining Government Land in DD119**
樓宇名稱

Street No./Town Lot : _____ Street/Road/Estate Name : **Pak Sha Tsuen**
門牌號數/市地段 街道/屋苑名稱

Block : _____ District : **Yuen Long** Area : HK K NT
座 分區 地區 香港 九龍 新界

Type of Building 樓宇類型 : Industrial 工業 Commercial 商業 Domestic 住宅 Composite 綜合 Licensed premises 持牌處所 Institutional 社團

Part 1 Annual Inspection ONLY
第一部 只適用於年檢事項

In accordance with Regulation 8(b) of Fire Service (Installations and Equipment) Regulations, the owner of any fire service installation or equipment which is installed in any premises shall have such fire service installation or equipment inspected by a registered contractor at least once in every 12 months. 根據消防(裝置及設備)規例第八條(b)款, 擁有裝置在任何處所內的任何消防裝置或設備的人, 須每12個月由一名註冊承辦商檢查該等消防裝置或設備至少一次。

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s) 位置	Comment on Condition 狀況評述	Completion Date 完成日期(DD/MM/YY)	Next Due Date 下次到期日(DD/MM/YY)
24	2kg Dry Powder F.E. x 2 nos.	G/F	Conforms with FSD requirements	28/09/2024	27/09/2025
24	5kg Dry Powder F.E. x 3 nos.		Conforms with FSD requirements	28/09/2024	27/09/2025
24	9L Foam type F.E. x 2 nos.		Conforms with FSD requirements	28/09/2024	27/09/2025
24	2kg Co2 Gas F.E. x 1 no.		Conforms with FSD requirements	28/09/2024	27/09/2025
24	5kg Co2 Gas F.E. x 4 nos.		Conforms with FSD requirements	28/09/2024	27/09/2025
25	Sand Bucket x 3 nos.		Conforms with FSD requirements	28/09/2024	27/09/2025
			Defect see part 3		

Part 2 第二部 Installation / Modification / Repair / Inspection work 裝置/改裝/修理/檢查工作

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s) 位置	Nature of Work Carried out 完成之工作內容	Comment on Condition 狀況評述	Completion Date 完成日期(DD/MM/YY)
			NIL		

Part 3 第三部 Defects 損壞事項

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s) 位置	Outstanding Defects 未修缺點	Comment on Defects 缺點評述
24	Portable Fire Extinguisher	G/F	5kg Dry Powder F.E. expired x 1 no.	Need replace / Hydraulic Pressure Test
24	Portable Fire Extinguisher	G/F	9L W/Co2 F.E. expired x 3 nos.	Need replace / Hydraulic Pressure Test
24	Portable Fire Extinguisher	G/F	9L Foam type F.E. expired x 3 nos.	Need replace / Hydraulic Pressure Test
25	Portable Hand-operated Approved Appliance	G/F	Sand Bucket damaged x 2 nos.	Need replace

I/We hereby certify that the above installations/equipment have been tested and found to be in efficient working order in accordance with the Codes of Practice for Minimum Fire Service Installations and Equipment and Inspection, Testing and Maintenance of Installations and Equipment published from time to time by the Director of Fire Services. Defects are listed in Part 3.

本人藉此證明以上之消防裝置及設備經試驗, 證明性能良好, 符合消防處處長不時公佈的最低限度之消防裝置及設備守則與裝置及設備之檢查測試及保養守則的規格, 損壞事項列於第三部。

如證書涉及年檢事項, 應張貼於大廈或處所當眼處以供消防處人員查核

This certificate should be displayed at prominent location of the building or premises for FSD's inspection if any annual maintenance work is involved.

Authorized Signature :

授權人簽署

Name :

姓名

FSD/RC No. :

消防處註冊號碼

Company Name :

公司名稱

Telephone :

聯絡電話

Date :

日期



Ng Hau Lin

RC1/371, RC2/530, RC3/840

Man Leong Fire Services Limited

[Redacted]

28/09/2024

For FSD use only:

Inspected

Key-in

Verified

FIRE SERVICE (INSTALLATIONS AND EQUIPMENT) REGULATIONS

建築消防(裝置及設備)規例

(Regulation 9(1))

(第九條(1)款)

A 9608087

FSD Ref.:
消防處檔號

CERTIFICATE OF FIRE SERVICE INSTALLATION AND EQUIPMENT

消防裝置及設備證書

Name of Client / 顧客姓名: 溢昌(中國)發展有限公司

Name of Building / 樓宇名稱: Lots 1544 (Part), 1545 (Part), 1547, 1548, 1574 (Part), 1575 (Part), 1576 (Part) and Adjoining Government Land in DD119

Street No./Town Lot / 門牌號數/市地段: [Blank] Street/Road/Estate Name / 街道/屋苑名稱: Pak Sha Tsuen

Block / 座: [Blank] District / 分區: Yuen Long Area / 地區: HK 香港 K 九龍 NT 新界

Type of Building 樓宇類型: Industrial 工業 Commercial 商業 Domestic 住宅 Composite 綜合 Licensed premises 持牌處所 Institutional 社團

Part 1 Annual Inspection ONLY
第一部 只適用於年檢事項

In accordance with Regulation 8(b) of Fire Service (Installations and Equipment) Regulations, the owner of any fire service installation or equipment which is installed in any premises shall have such fire service installation or equipment inspected by a registered contractor at least once in every 12 months. 根據消防(裝置及設備)規例第八條(b)款, 擁有裝置在任何處所內的任何消防裝置或設備的人, 須每12個月由一名註冊承辦商檢查該等消防裝置或設備至少一次。

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s) 位置	Comment on Condition 狀況評述	Completion Date 完成日期(DD/MM/YY)	Next Due Date 下次到期日(DD/MM/YY)
			NIL		

Part 2 第二部 Installation / Modification / Repair / Inspection work 裝置/改裝/修理/檢查工作

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s) 位置	Nature of Work Carried out 完成之工作內容	Comment on Condition 狀況評述	Completion Date 完成日期(DD/MM/YY)
24	Portable Fire Extinguisher	G/F	Replace 5kg Dry Powder F.E. x 1 no.	Conforms with FSD requirements	04/11/2024
24	Portable Fire Extinguisher	G/F	Replace 9L W/Co2 F.E. x 3 nos.	Conforms with FSD requirements	04/11/2024
24	Portable Fire Extinguisher	G/F	Replace 9L Foam type F.E. x 3 nos.	Conforms with FSD requirements	04/11/2024
25	Portable Hand-operated Approved Appliance	G/F	Replace Sand Bucket x 2 nos.	Conforms with FSD requirements	04/11/2024
			(Defect FS251 No.: A9579580)		

Part 3 第三部 Defects 損壞事項

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s) 位置	Outstanding Defects 未修缺點	Comment on Defects 缺點評述
			NIL	

I/We hereby certify that the above installations/equipment have been tested and found to be in efficient working order in accordance with the Codes of Practice for Minimum Fire Service Installations and Equipment and Inspection, Testing and Maintenance of Installations and Equipment published from time to time by the Director of Fire Services. Defects are listed in Part 3.

本人藉此證明以上之消防裝置及設備經試驗, 證明性能良好, 符合消防處處長不時公佈的最低限度之消防裝置及設備守則與裝置及設備之檢查測試及保養守則的規格, 損壞事項列於第三部。

如證書涉及年檢事項, 應張貼於大廈或處所當眼處以供消防處人員查核

This certificate should be displayed at prominent location of the building or premises for FSD's inspection if any annual maintenance work is involved.

Authorized Signature / 授權人簽署

Name / 姓名: Ng Hau Lin
FSD/RC No. / 消防處註冊號碼: RC1/371, RC2/530, RC3/840

Company Name / 公司名稱: Man Leong Fire Services Limited

Telephone / 聯絡電話: [Redacted]

Date / 日期: 04/11/2024



For FSD use only:

Inspected

Key-in

Verified

FIRE SERVICE (INSTALLATIONS AND EQUIPMENT) REGULATIONS

消防 (裝置及設備) 規例

(Regulation 9(1))

(第九條 (1) 款)

CERTIFICATE OF FIRE SERVICE INSTALLATION AND EQUIPMENT

消防裝置及設備證書

A 9579760

FSD Ref.: _____
消防處檔號

Name of Client : **溢昌(中國)發展有限公司**
顧客姓名

Name of Building : **Lots 1544 (Part), 1545 (Part), 1547, 1548, 1574 (Part), 1575 (Part), 1576 (Part) and Adjoining Government Land in DD119**
樓宇名稱

Street No./Town Lot : _____ Street/Road/Estate Name : **Pak Sha Tsuen**
門牌號數/市地段 街道/屋苑名稱

Block : _____ District : **Yuen Long** Area : HK K NT
座 分區 地區 香港 九龍 新界

Type of Building 樓宇類型 : Industrial 工業 Commercial 商業 Domestic 住宅 Composite 綜合 Licensed premises 持牌處所 Institutional 社團

Part 1 Annual Inspection ONLY
第一部 只適用於年檢事項

In accordance with Regulation 8(b) of Fire Service (Installations and Equipment) Regulations, the owner of any fire service installation or equipment which is installed in any premises shall have such fire service installation or equipment inspected by a registered contractor at least once in every 12 months. 根據消防(裝置及設備)規例第八條(b)款, 擁有裝置在任何處所內的任何消防裝置或設備的人, 須每12個月由一名註冊承辦商檢查該等消防裝置或設備至少一次。

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s) 位置	Comment on Condition 狀況評述	Completion Date 完成日期(DD/MM/YY)	Next Due Date 下次到期日(DD/MM/YY)
11	Emergency Lighting	G/F	Conforms with FSD requirements	28/09/2024	27/09/2025
12	Exit Sign		Conforms with FSD requirements	28/09/2024	27/09/2025
13	Fire Alarm System (MFA)		Conforms with FSD requirements	28/09/2024	27/09/2025
16	FH / HR System		Conforms with FSD requirements	28/09/2024	27/09/2025
28	Sprinkler System		Conforms with FSD requirements	28/09/2024	27/09/2025
			Defect see part 3		

Part 2 第二部 Installation / Modification / Repair / Inspection work 裝置/改裝/修理/檢查工作

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s) 位置	Nature of Work Carried out 完成之工作內容	Comment on Condition 狀況評述	Completion Date 完成日期(DD/MM/YY)
			NIL		

Part 3 第三部 Defects 損壞事項

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s) 位置	Outstanding Defects 未修缺點	Comment on Defects 缺點評述
11	Emergency Lighting	G/F	Emergency Light Damage x 6 nos.	Need repair / replace
12	Exit Sign	G/F	Exit Sign Damage x 1 no.	Need repair / replace
13	Fire Alarm System (MFA)	G/F 近花酒總控制閥	10" Fire Alarm Bell Damage x 1 no.	Need replace
13	Fire Alarm System (MFA)	Point 1045(消防直線故障); Point 1058(掙手)	Monitor Module Damage x 2 nos.	Need replace
13	Fire Alarm System (MFA)	G/F Panel	12V 44AH Battery 老化 x 1 對	Need replace
28	Sprinkler System	G/F: Point 1025(花酒2號泵入水閘掣)	Monitor Module Damage x 1 nos.	Need replace

I/We hereby certify that the above installations/equipment have been tested and found to be in efficient working order in accordance with the Codes of Practice for Minimum Fire Service Installations and Equipment and Inspection, Testing and Maintenance of Installations and Equipment published from time to time by the Director of Fire Services. Defects are listed in Part 3.

本人藉此證明以上之消防裝置及設備經試驗, 證明性能良好, 符合消防處處長不時公佈的最低限度之消防裝置及設備守則與裝置及設備之檢查測試及保養守則的規格, 損壞事項列於第三部。

如證書涉及年檢事項, 應張貼於大廈或處所當眼處以供消防處人員查核

This certificate should be displayed at prominent location of the building or premises for FSD's inspection if any annual maintenance work is involved.

Authorized Signature : _____
授權人簽署

Name : **Ng Hau Lin**
姓名

FSD/RC No. : **RC1/371, RC2/530, RC3/840**
消防處註冊號碼

Company Name : **Man Leong Fire Services Limited**
公司名稱

Telephone : _____
聯絡電話

Date : **28/09/2024**
日期

For FSD use only:

Inspected

Key-in

Verified

FIRE SERVICE (INSTALLATIONS AND EQUIPMENT) REGULATIONS

FSD Ref.:
消防處檔號

消防 (裝置及設備) 規例
(Regulation 9(1))
(第九條(1)款)

A 9608301

CERTIFICATE OF FIRE SERVICE INSTALLATION AND EQUIPMENT
消防裝置及設備證書

Name of Client / 顧客姓名: 溢昌(中國)發展有限公司
 Name of Building / 樓宇名稱: Lots 1544 (Part), 1545 (Part), 1547, 1548, 1574(Part), 1575(Part), 1576(Part) and Adjoining Government Land in DD119
 Street No./Town Lot / 門牌號數/市地段: [] Street/Road/Estate Name / 街道/屋苑名稱: Pak Sha Tsuen
 Block / 座: [] District / 分區: Yuen Long Area / 地區: HK 香港 K 九龍 NT 新界
 Type of Building 樓宇類型: Industrial 工業 Commercial 商業 Domestic 住宅 Composite 綜合 Licensed premises 持牌處所 Institutional 社團

Part 1 Annual Inspection ONLY
第一部 只適用於年檢事項

In accordance with Regulation 8(b) of Fire Service (Installations and Equipment) Regulations, the owner of any fire service installation or equipment which is installed in any premises shall have such fire service installation or equipment inspected by a registered contractor at least once in every 12 months. 根據消防(裝置及設備)規例第八條(b)款, 擁有裝置在任何處所內的任何消防裝置或設備的人, 須每12個月由一名註冊承辦商檢查該等消防裝置或設備至少一次。

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s) 位置	Comment on Condition 狀況評述	Completion Date 完成日期(DD/MM/YY)	Next Due Date 下次到期日(DD/MM/YY)
			NIL		

Part 2 第二部 Installation / Modification / Repair / Inspection work 裝置/改裝/修理/檢查工作

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s) 位置	Nature of Work Carried out 完成之工作內容	Comment on Condition 狀況評述	Completion Date 完成日期(DD/MM/YY)
11	Emergency Lighting	G/F	Replace Emergency Light x 6 nos.	Conforms with FSD requirements	04/11/2024
12	Exit Sign	G/F	Replace Exit Sign x 1 no.	Conforms with FSD requirements	04/11/2024
13	Fire Alarm System (MFA)	G/F近花酒總控制點	Replace 10" Fire Alarm Bell x 1 no.	Conforms with FSD requirements	04/11/2024
13	Fire Alarm System (MFA)	Point 1045(消防直梯故障); Point 1058(抄手)	Replace Monitor Module x 2 nos.	Conforms with FSD requirements	04/11/2024
13	Fire Alarm System (MFA)	G/F Panel	Replace 12V 44AH Battery x 1 pair	Conforms with FSD requirements	04/11/2024
28	Sprinkler System	G/F:Point 1025(花酒2號泵入水閘掣)	Replace Monitor Module x 1 no. (Defect FS251 No.: A9579760)	Conforms with FSD requirements	04/11/2024

Part 3 第三部 Defects 損壞事項

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s) 位置	Outstanding Defects 未修缺點	Comment on Defects 缺點評述
			NIL	

I/We hereby certify that the above installations/equipment have been tested and found to be in efficient working order in accordance with the Codes of Practice for Minimum Fire Service Installations and Equipment and Inspection, Testing and Maintenance of Installations and Equipment published from time to time by the Director of Fire Services. Defects are listed in Part 3.

本人藉此證明以上之消防裝置及設備經試驗, 證明性能良好, 符合消防處處長不時公佈的最低限度之消防裝置及設備守則與裝置及設備之檢查測試及保養守則的規格, 損壞事項列於第三部。

如證書涉及年檢事項, 應張貼於大廈或處所當眼處以供消防處人員查核

This certificate should be displayed at prominent location of the building or premises for FSD's inspection if any annual maintenance work is involved.

Authorized Signature / 授權人簽署

Name / 姓名: Ng Hau Lin

FSD/RC No. / 消防處註冊號碼: RC1/371, RC2/530, RC3/840

Company Name / 公司名稱: Man Leong Fire Services Limited

Telephone / 聯絡電話: []

Date / 日期: 04/11/2024

For FSD use only:

Inspected

Key-in

Verified