

Conservation Management Plan

for

Nam Koo Terrace at no. 55 Ship Street, Wan Chai, Hong Kong



prepared for

Hopewell Holdings Limited / Yuba Company Limited

by

The Team Consultant

October 2024

Conservation Management Plan for Nam Koo Terrace at no. 55 Ship Street, Wanchai, Hong Kong

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Part A – Introduction

A1.0 Background of the Project

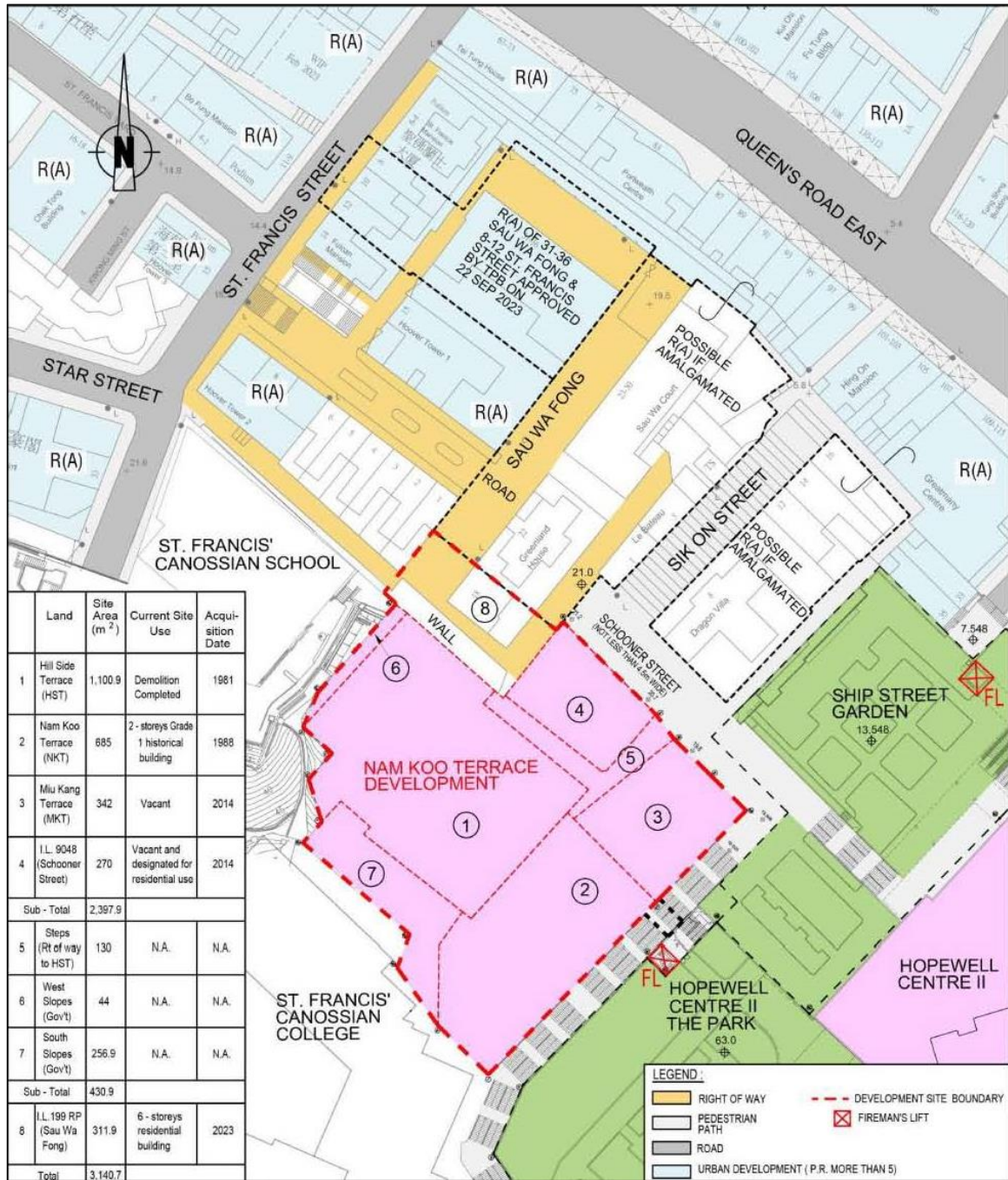
As part of the Hopewell Holdings Limited’s comprehensive vision for the continuous urban renewal and revitalization of Wan Chai and provision of open space for public use, Yuba Company Limited, a subsidiary of Hopewell seeks Town Planning Board approval for the Proposed Comprehensive Development amalgamating the following sites –

- nos. 1, 1A, 2 and 3 Hill Side Terrace
- no. 55 Ship Street (Nam Koo Terrace),
- nos. 1 – 5 Schooner Street and no. 53 Ship Street (Miu Kang Terrace),
- no. 18 Sau Wa Fong
- Inland lot no. 9048, and
- adjoining Government Land in Wan Chai.

This Conservation Management Plan (CMP) is prepared in support of the Section 12A Planning Application / Rezoning Request to amend the Approved Wan Chai Outline Zoning Plan No.S/H5/31 at Nos. 1, 1A, 2 and 3 Hill Side Terrace, No. 55 Ship Street (Nam Koo Terrace), no. 1-5 Schooner Street and No. 53 Ship Street, No. 18 Sau Wa Fong, Inland Lot no.9048 and adjoining Government land, Wan Chai.

Conservation Management Plan for Nam Koo Terrace at no. 55 Ship Street, Wanchai, Hong Kong

Part A – Introduction



Drawing A-01 – Re-zoning site location

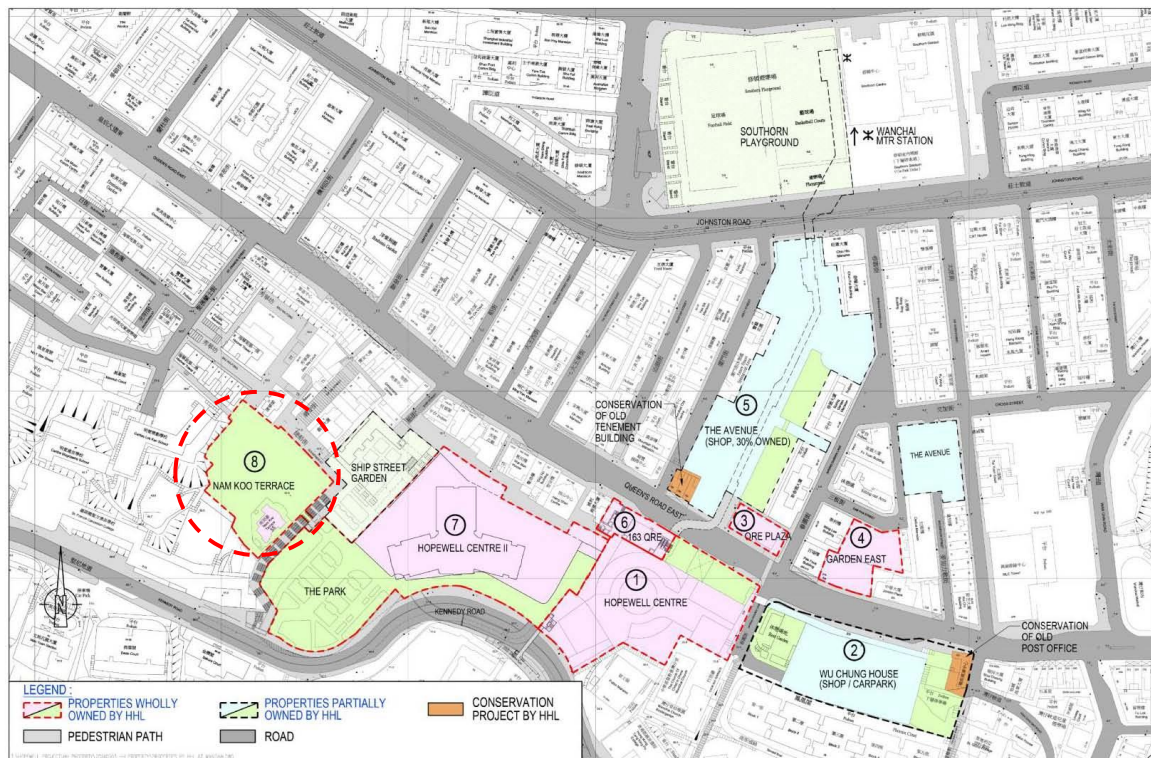
Conservation Management Plan for Nam Koo Terrace at no. 55 Ship Street, Wanchai, Hong Kong

Part A – Introduction

A2.0 Particulars of Nam Koo Terrace

Address	no. 55 Ship Street, Wanchai, Hong Kong
Lot number	Inland lot no. 2140
Historic building grading	Grade 1
Completion year	between 1915 and 1921
Original use	Residential
Description of the building	Main Building – 2 storeys and the roof with a small pavilion Annex Block at the rear – 2 storeys with a bridge connected to second floor of Main Building Landscaped garden at the front with a small pavilion and water feature
Site area	7,373 sq.ft. (according to land lease)

HOPEWELL'S PROPERTY DEVELOPMENT IN WAN CHAI AREA



P6

Drawing A-02 – Plan showing location of Nam Koo Terrace

**Conservation Management Plan for Nam Koo Terrace at
no. 55 Ship Street, Wanchai, Hong Kong**

Part A – Introduction

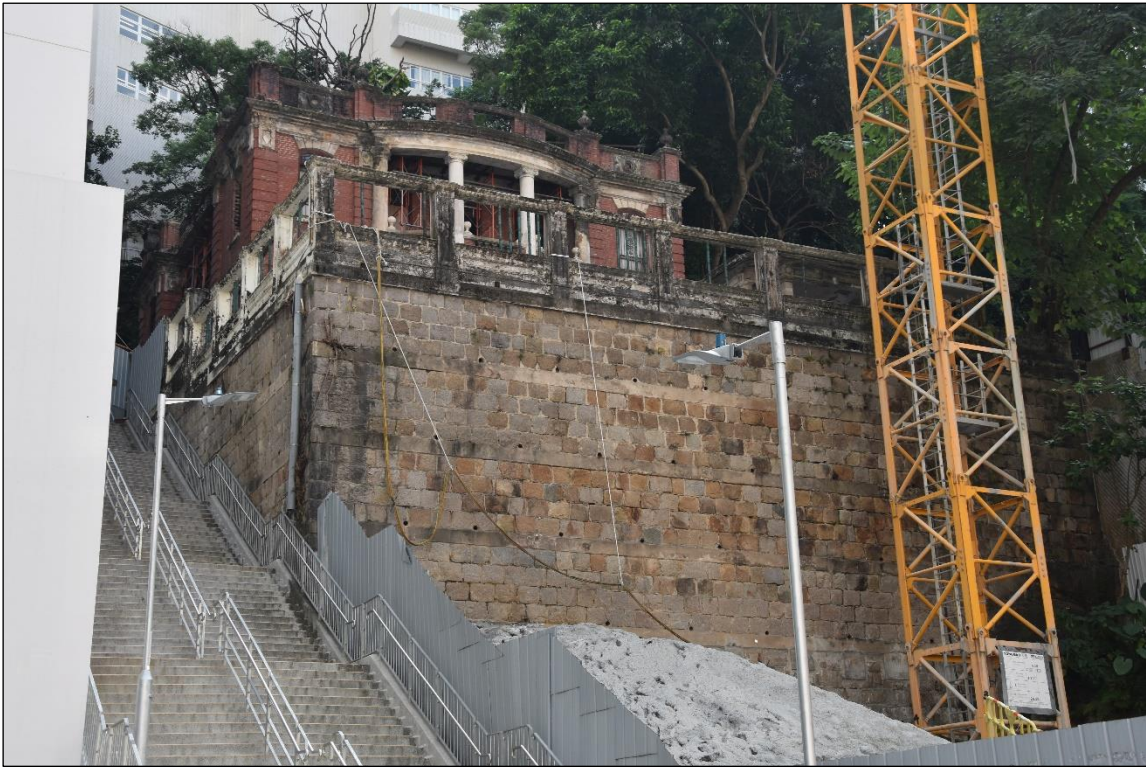


Photo A-01 – Nam Koo Terrace, view from Ship Street near
Queen's Road East, (8th October, 2024)



Photo A-02 – Nam Koo Terrace, Main Building main facade,
(8th October, 2024)

**Conservation Management Plan for Nam Koo Terrace at
no. 55 Ship Street, Wanchai, Hong Kong**

Part A – Introduction



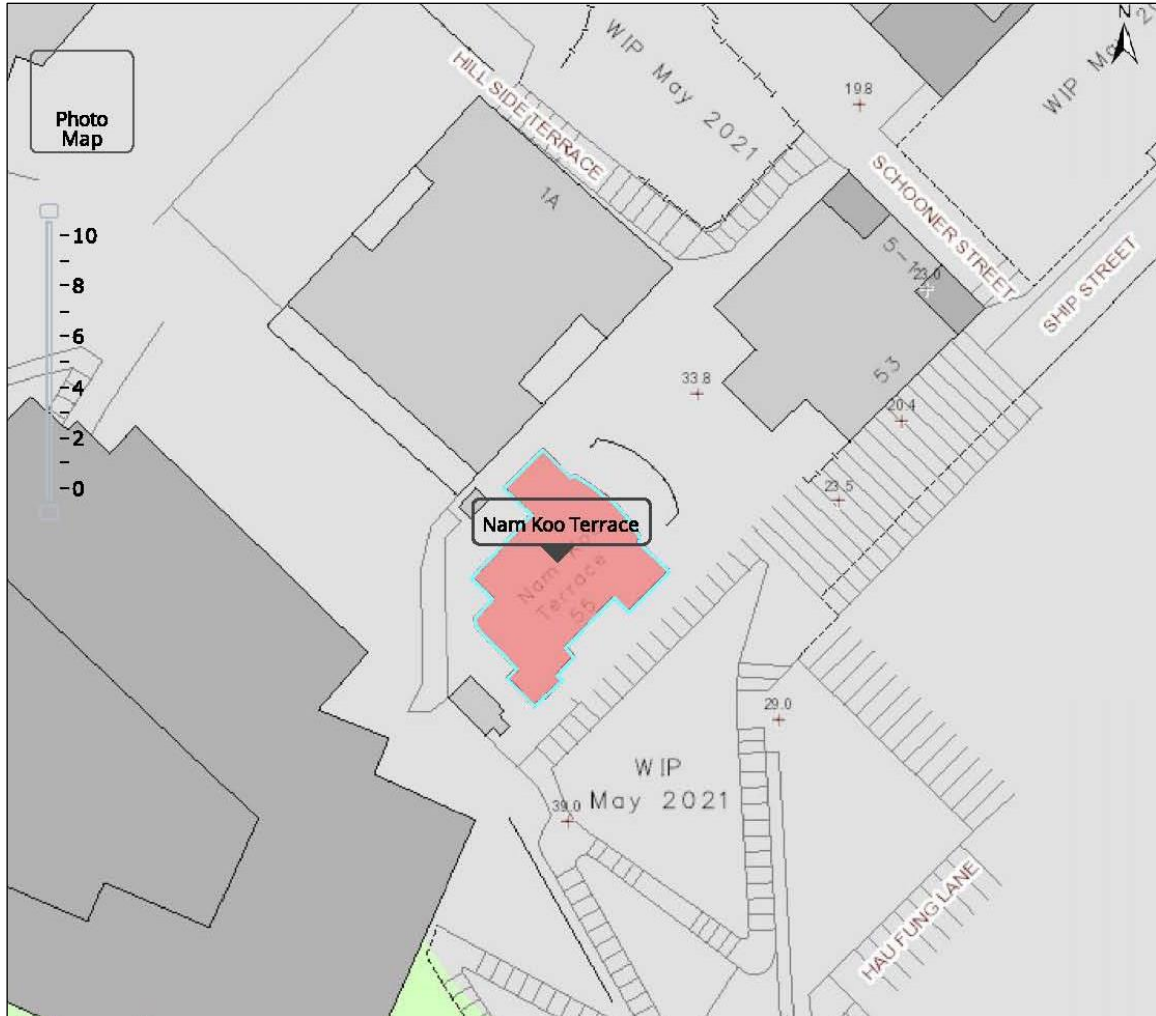
Photo A-03 – Nam Koo Terrace, the Annex Block at the rear which is not within
the graded building boundary, (8th October, 2024)

Conservation Management Plan for Nam Koo Terrace at no. 55 Ship Street, Wanchai, Hong Kong

Part A – Introduction

A3.0 Heritage Status of Nam Koo Terrace

Nam Koo Terrace was accorded Grade 1 Historic Building by Antiquities Advisory Board on 18th December, 2009, (List of the 1,444 Historic Buildings with Assessment Results (as of 7th March, 2024), (item no. 124).



Drawing A-03 – Graded building boundary of Nam Koo Terrane
(plan down-loaded from Antiquities and Monuments Office website)

Conservation Management Plan for Nam Koo Terrace at no. 55 Ship Street, Wanchai, Hong Kong

Part B – Cultural Significance

B1.0 Brief History of Wanchai

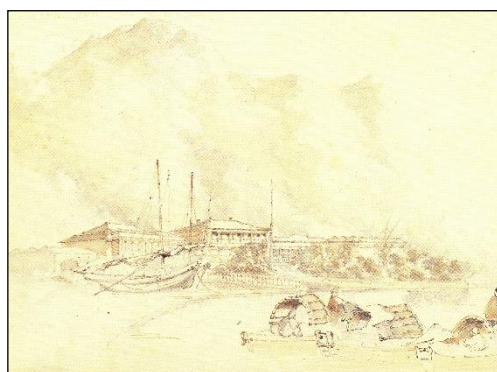
B1.1 Before 1840s

The area of Wanchai south of Queen’s Road East and up to Kennedy Road is the oldest part of the district. There was a small Chinese settlement near the present Hung Shing Temple (also known as Tai Wong Temple) on Queen’s Road East before the British arrived in 1841, and they were the Tanka (蜆家)¹. The early coastline of Wanchai extended from the west of Morrison Hill to Queen’s Road East around Hung Shing Temple.



“Spring Gardens, 1846”

(source: Hong Kong Museum of Art. *Historical Pictures, Collection of the Hong Kong Museum of Art* (3rd edition). Hong Kong: Urban Council, 1999, p.28.)



View of Spring Gardens, 1850s by Dr. Thomas B. Watson, pencil and brown ink sketch on paper

(source: Hong Kong Urban Council. 《香港及澳門風貌》 [Hong Kong and Macau Scenery]. Hong Kong: Urban Council, 1983, p. 30.)

B1.2 1841 – 1850s

The area was developed into a European commercial and residential centre after the arrival of the British in 1841. Queen’s Road East, one of the oldest roads along the oldest northern shore of Wanchai, was built in 1840s to become the main thoroughfare. By 1845, after the first land sales in 1841 and subsequent development, the Wanchai area, then known as Spring Garden (named after the villa of opium merchant John Dent), was an exclusive residential area for many European tycoons. Spring Garden Lane marks the boundary of one of the old properties, which was initially developed as a high class residential area for the European. Piers were built along the seashore, i.e. the north side of present Queen’s Road East, and the Spring Garden area. The population increased and the area begun to be built-up.

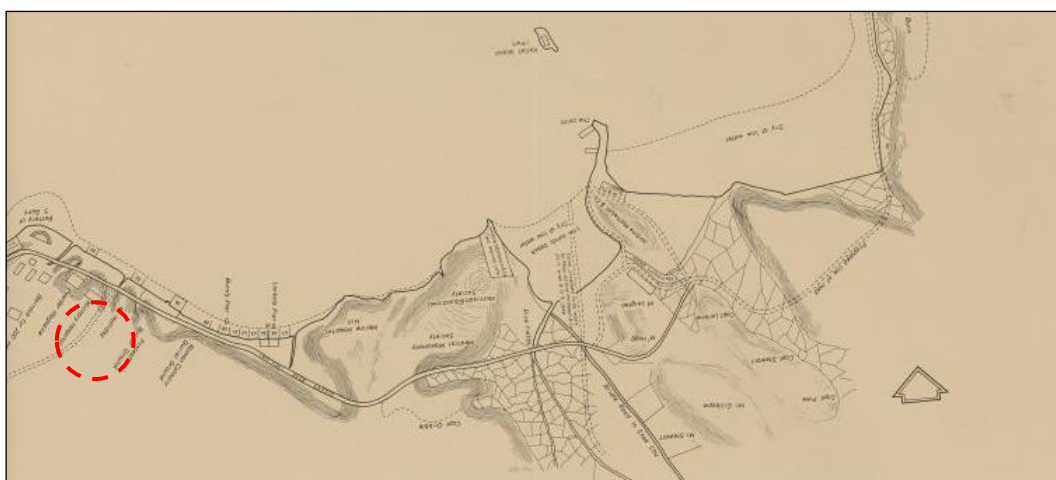
¹ In accordance with Professor Siu Kowk-kin, the early settlement near Hung Sing Temple was the Tanka (蜆家), from interview with Professor Siu in July, 2008.

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Part B – Cultural Significance

Industrial and commercial activities were active at Wanchai around the Spring Gardens area upon the arrival of the British. Godowns and industries relating to shipping such as dockyards, timber, coal and metal industries set up along the waterfront. Piers, e.g. Burn's Pier and Larkin's Pier were built along the shoreline. Wan Chai was an important area for ships' chandlers and other maritime trades. This is reflected in street names like Schooner Street (捷船街) and Ship Street (船街) and Sam Pan Street (三板街). Wanchai was also a distributing centre for rattan wares.

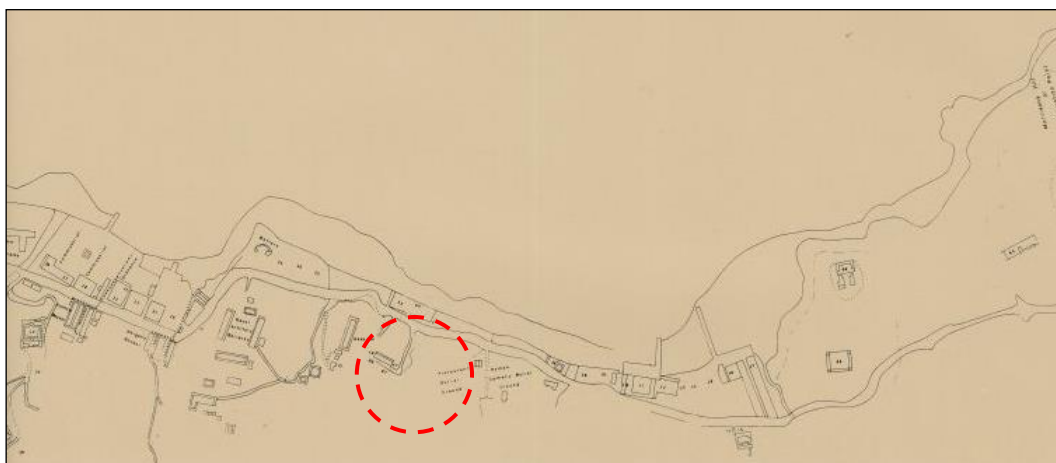
The four maps below show the early development of Wanchai in the 1840s along Queen's Road East.



Map B-01 – Part of “Pottinger’s map”, 1842

(the approximate location of Nam Koo Terrace is circled in red)

(source: Empson, Hal. *Mapping Hong Kong: A Historical Atlas*.
Hong Kong: Government Information Services, 1992, p. 161.)



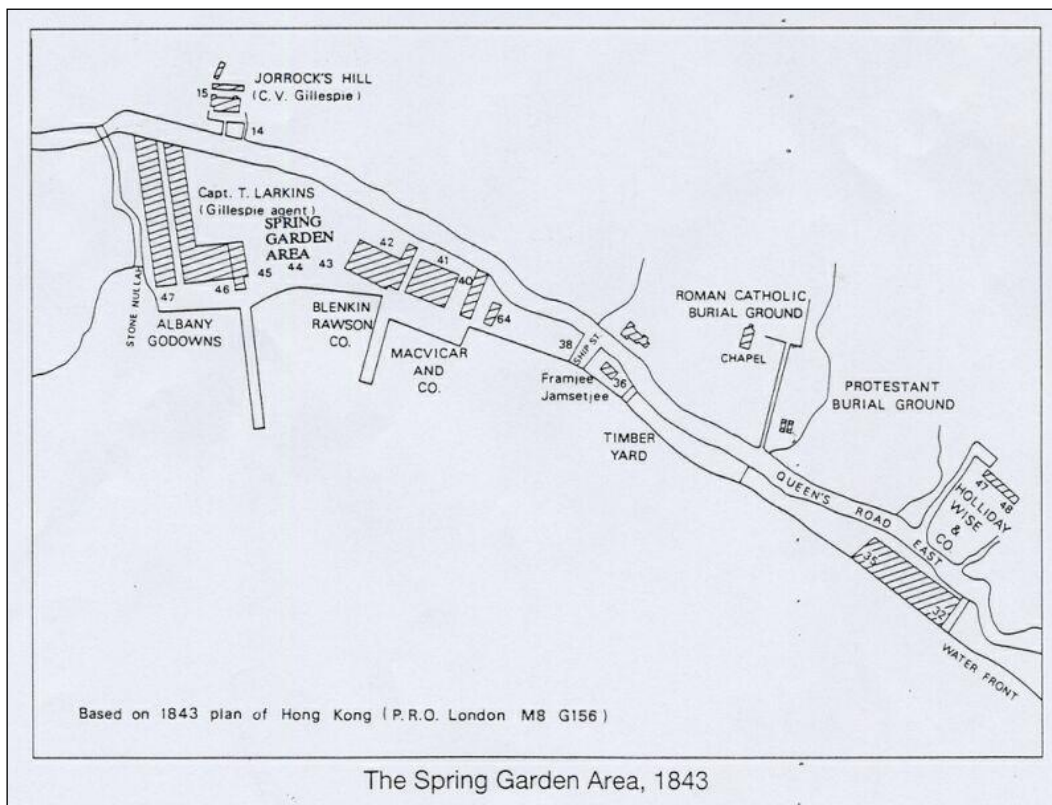
Map B-02 – Part of “Gordon’s Map”, 1843

(the approximate location of Nam Koo Terrace is circled in red)

(source: Empson, Hal. *Mapping Hong Kong: A Historical Atlas*.
Hong Kong: Government Information Services, 1992, p. 161.)

**Conservation Management Plan for Nam Koo Terrace at
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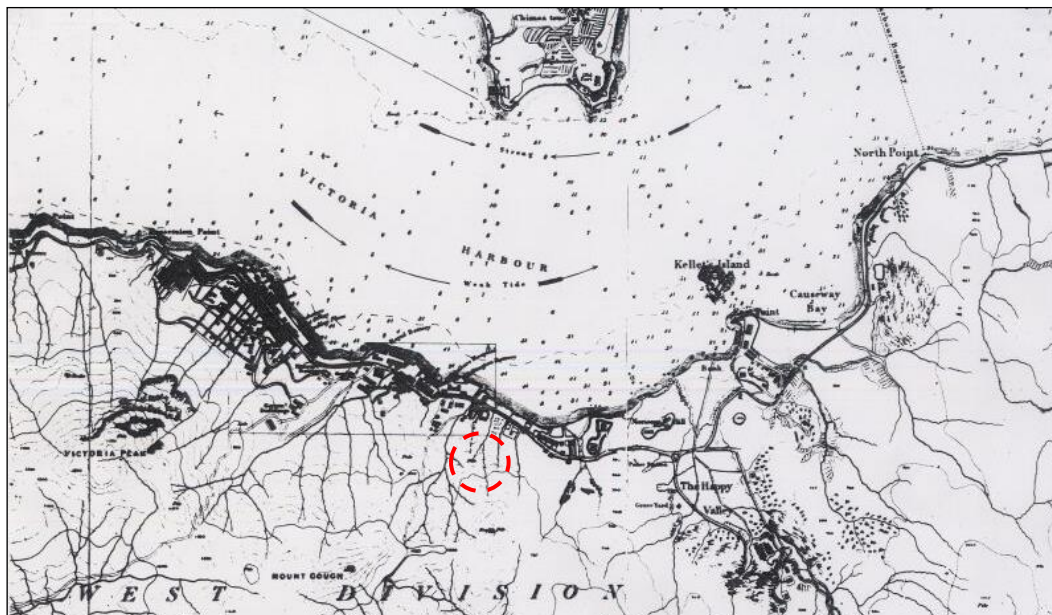
Part B – Cultural Significance



Map B-03 – The Spring Garden Area, 1843

(the approximate location of Nam Koo Terrace is outside the plan)

(source: Smith, Carl Thurman. *A Sense of History, Studies in the Social and Urban History of Hong Kong*. Hong Kong: Hong Kong Education Press, 1995, p.153.)



Map B-04 – The Hong Kong shore line at 1845

(the approximate location of Nam Koo Terrace is circled in red)

(source: The Ordinance Map of Hong Kong, surveyed by Collinson R.E., 1845.)

Conservation Management Plan for Nam Koo Terrace at no. 55 Ship Street, Wanchai, Hong Kong

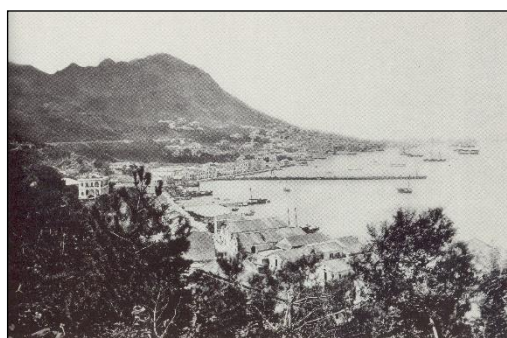
Part B – Cultural Significance

B1.3 1850 – Late Nineteen Century

Wanchai initially though planned as an European centre and became an increasingly Chinese residential and shop-keeping community by 1860s.

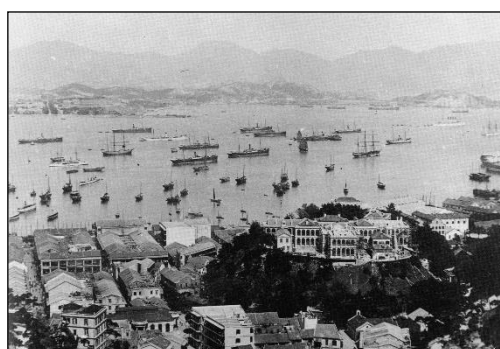
Besides the marine lots along Queen’s Road East, the area west of Hospital Hill was opened up and divided into small lots for the development by the Chinese. There was sufficient space between the stream from the Peak along Stone Nullah Lane, which ran below Hospital Hill, thus a range of small lots were laid out and sold to Chinese in the 1850’s. This is clearly shown in the 1856 “Plan of Victoria” map (Map B-06). The area around Sampan Street, McGregor Street, Tai Yuan Street, Stone Nullah Lane, Cross Street and Triangle Street (Marine Lot 44, 46 and 47) were divided into small parcel lots for easy disposal in 1855, except Sampan Street which was occupied by the military until twentieth century. To serve these lots, the north-south running Wan Chai Road was laid out in 1851 so that these lots could be accessed and are shown in the 1856 “Plan of Victoria” map (Map B-06) below.

A trade depression caused the European commercial firms to leave the district and numerous firms thus went bankrupt. Many lots and properties were sold to Chinese merchants during this period. Moreover, many Europeans began to move from Wanchai to Kowloon when the latter was developed for residential purpose. A large number of immigrants from Mainland flooded to Hong Kong and Wanchai gradually became a Chinese residential area.



Wan Chai Praya, looking west from
Morrison Hill, circa 1870s

(source: Ho, Ching-hin (ed.) 何清顯 (編輯).
《四環九約:博物館藏歷史圖片精選》 [City
of Victoria: A Selection of the Museum’s
Historical Photographs]. Hong Kong: Hong
Kong Museum of History, 1999, p. 81.)



A bird’s eye view of Wan Chai from
Kennedy Road, c. 1880,
(the Royal Naval Hospital is seen on top
of Hospital Hill)

(source: Ho, Ching-hin (ed.) 何清顯 (編輯).
《四環九約:博物館藏歷史圖片精選》 [City
of Victoria: A Selection of the Museum’s
Historical Photographs]. Hong Kong: Hong
Kong Museum of History, 1999, p. 79.)

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Part B – Cultural Significance



Queen's Road East, 1885

(source: 洪金玉, 關若文(主編). 《歷史回顧: 歷任香港總督與香港珍貴歷史圖片》 [(1842 – 1997) *The 28 Governors With Photo Collections of Historical Hong Kong*]. Hong Kong: Honour Publishing Co. Ltd., 1996, p. 41.)

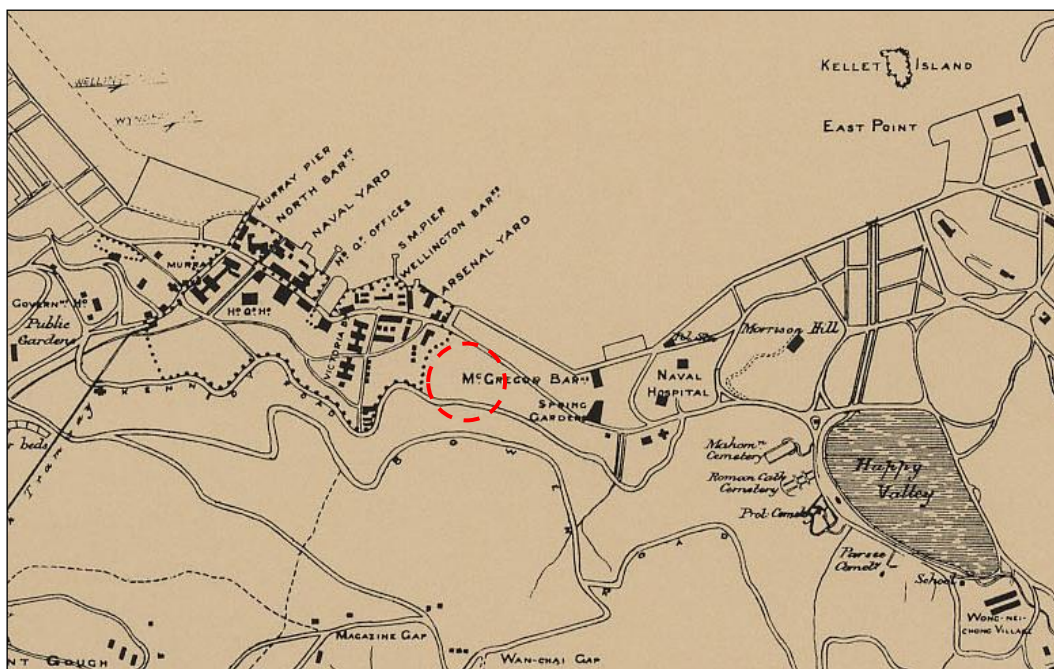


Victoria Barracks, circa 1890s

(looking towards Wanchai)

(source: Ho, Ching-hin (ed.) 何清顯 (編輯). 《四環九約: 博物館藏歷史圖片精選》 [*City of Victoria: A Selection of the Museum's Historical Photographs*]. Hong Kong: Hong Kong Museum of History, 1999, p. 74.)

The four maps below show the development along Queen's Road East area from 1850s to the turn of century.



Map B-05 – 'Collinson' map, 1845, reproduced from Hong Kong, 1845, from Ordinance Map surveyed by Lieut. Collinson R.E.

(the approximate location of Nam Koo Terrace is circled in red)

(source: Empson, Hal. *Mapping Hong Kong: A Historical Atlas*. Hong Kong: Government Information Services, 1992, p. 136.)

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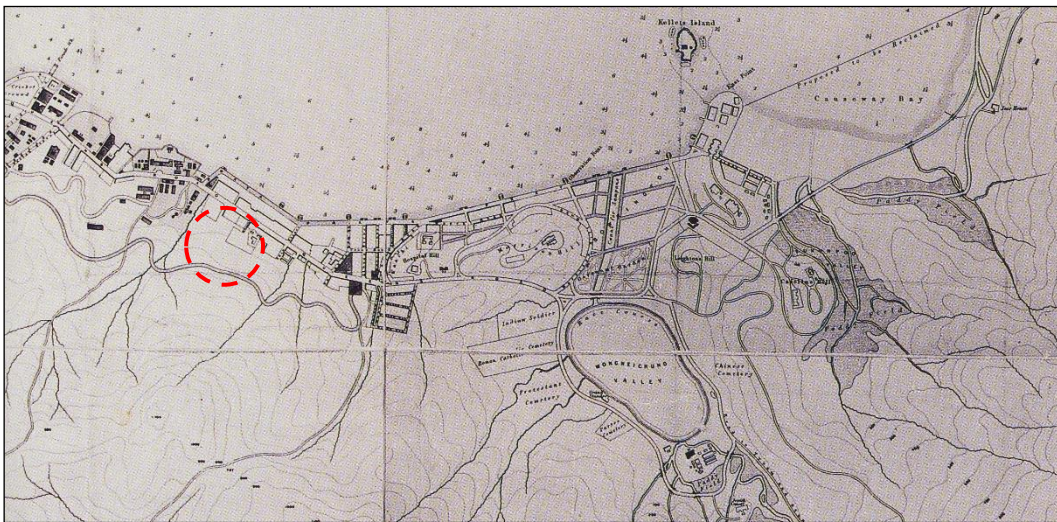
Part B – Cultural Significance



Map B-06 – Part of “Plan of Victoria” Map, 1856

(the approximate location of Nam Koo Terrace is circled in red)

(source: Empson, Hal. *Mapping Hong Kong: A Historical Atlas*.
Hong Kong: Government Information Services, 1992, p. 161.)



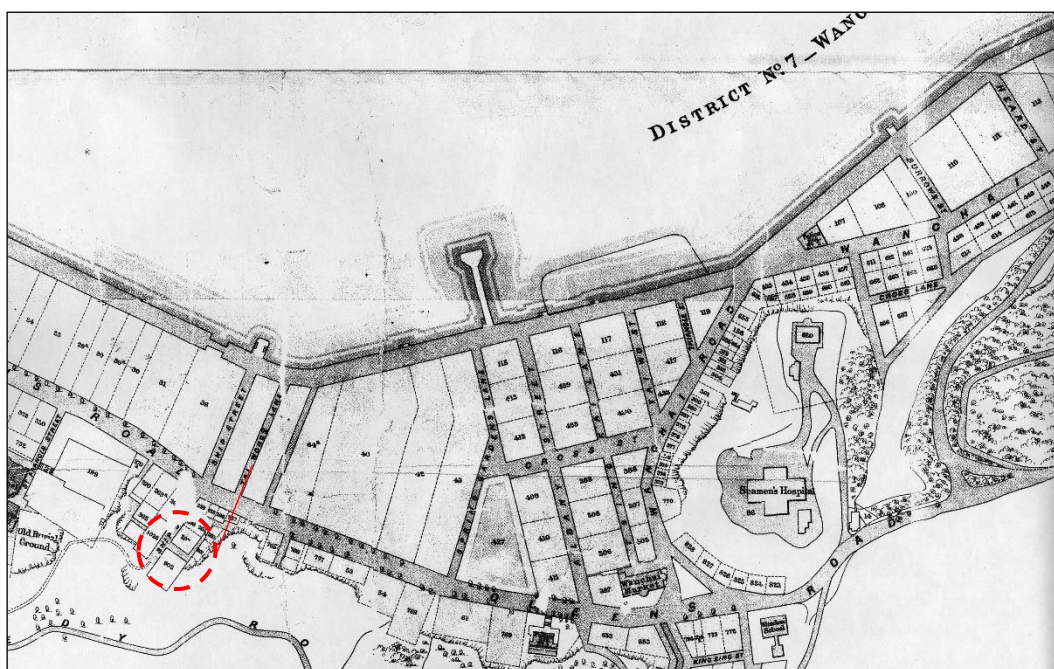
Map B-07 – Part of the 1863 Map by A.F. Alves in the Surveyor General’s Office

(the approximate location of Nam Koo Terrace is circled in red)

(source: Empson, Hal. *Mapping Hong Kong: A Historical Atlas*.
Hong Kong: Government Information Services, 1992, p. 133.)

Conservation Management Plan for Nam Koo Terrace at no. 55 Ship Street, Wanchai, Hong Kong

Part B – Cultural Significance



Map B-08 – Part of “Plan of City of Victoria” 1889, (Ship Street is underlined in red)

(the approximate location of Nam Koo Terrace is circled in red)

(source: courtesy of the Survey and Mapping Office, Lands Department,
Hong Kong SAR Government, acc. no.: HG 28-5.)

B1.4 Late Nineteen Century to 1920s

As land was fully occupied, Governor John Bowring proposed a large reclamation plan, which proposed the construction of a sea wall between Belcher Bay 卑路乍灣 and Causeway Bay 銅鑼灣, a street named Bowring Seashore Road 寶靈海濱道, and a new town in Wan Chai which would be called Bowrington after him. Unfortunately the project was objected by the foreign merchants and given up. In late 19th century due to rapid increase in population, two reclamation projects were carried out in Causeway Bay in the 1880s. Wan Chai therefore developed into a commercial-cum residential area.

“Industrial and commercial activities were active at Wan Chai since the 19th century. Godowns and industries related to shipping such as dockyards, timber, coal and metal industries were set up along the water front. Wan Chai was also a distributing centre for rattan wares. Many soya bean shops were situated at Stone Nullah Lane. However, due to the disturbing noises of small traders, the government enacted an ordinance to control the economic activities in 1905.”²

² Ho, Ching-hin (ed.). *City of Victoria, a Selection of the Museum’s Historical Photographs*, 2nd edition (February, 1999). Hong Kong: Hong Kong Museum of History, Urban Council of Hong Kong, 1999, p. 73.

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Part B – Cultural Significance



Wan Chai and Causeway Bay in the
early 20th century

(source: Ho, Ching-hin (ed.) 何清顯 (編輯). 《四環九約: 博物館藏歷史圖片精選》 [City of Victoria: A Selection of the Museum's Historical Photographs]. Hong Kong: Hong Kong Museum of History, 1999, p. 82.)



Queen's Road East, 1910, Wanchai
Market is on the right

(source: 鄭寶鴻 (編著)。《港島街道百年》 [A Century of Hong Kong Roads and Streets]。香港: 三聯書店(香港)有限公司, 2004, 第 73 頁。)

B1.5 The Reclamation in the 1920s

A large number of immigrants flooded into Hong Kong in the 1920s and the population grew rapidly in the late nineteenth century and early twentieth century. A large scale reclamation work was carried out in the 1920s. The Praya Reclamation Scheme from 1921 – 1931 doubled the area of Wanchai.³ With new reclamation, Wanchai reached a developmental plateau where the hillside up to Kennedy Road was sold off for European-style terraces and bungalows. This phase lasted through the turn of the century and the area between Kennedy Road and the sea front was fully occupied. Nevertheless, Wanchai had to face a drastic change again, due to the large influx of immigrants who sought refuge in Hong Kong from the continued unrest in China.



The reclaimed area in Wan Chai, c. 1930

(source: Cheng, Po Hung 鄭寶鴻. 《香江道貌: 香港的早期電車路風光》 [Early Hong Kong Tramways]. Hong Kong: The University Museum and Art Gallery, The University of Hong Kong, 2005, p.130.)



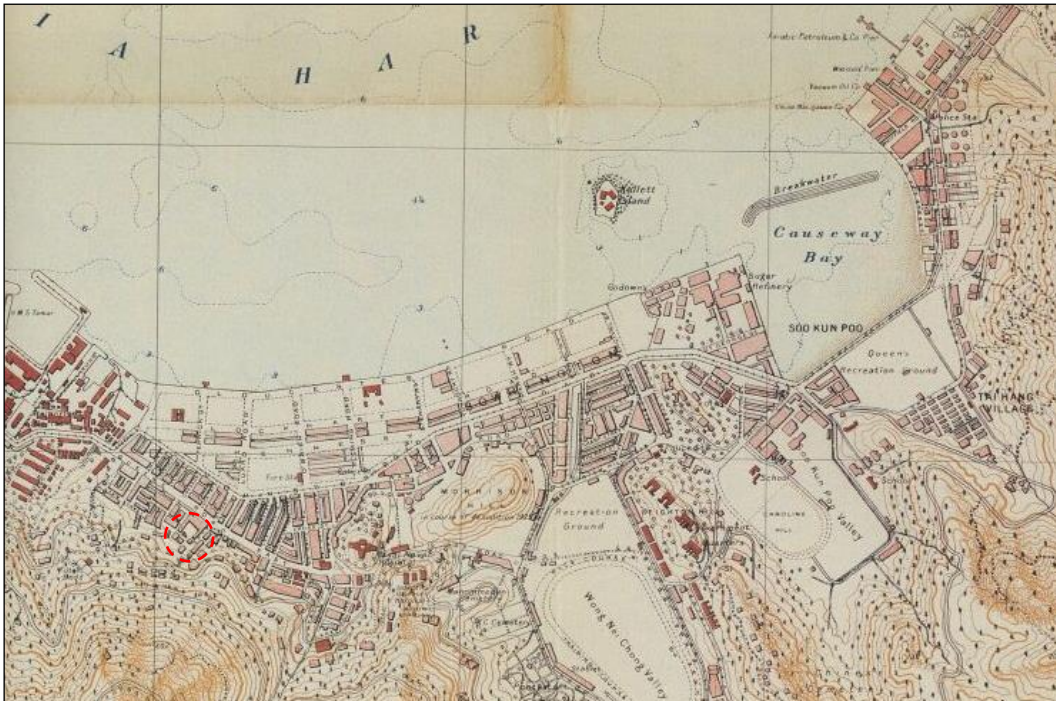
Luard Road with newly completed
blocks in 1932

(source: 鄭寶鴻(編著)。《港島街道百年》 [A Century of Hong Kong Roads and Streets]。香港: 三聯書店(香港)有限公司, 2004, 第 75 頁。)

³ Hong Kong Legislative Council Sessional Papers, No. 1/1931, 6; Hong Kong Daily Press Office 1940, A-477.

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Part B – Cultural Significance



Map B-09 – Part of 1930 – 45 1:10,000 map sheet Victoria GSG3890

(the approximate location of Nam Koo Terrace is circled in red)

(source: Empson, Hal. *Mapping Hong Kong: A Historical Atlas*.

Hong Kong: Government Information Services, 1992, p. 167.)



Map B-10 – Part of 1936 – 46 survey sheet

(the approximate location of Nam Koo Terrace is circled in red)

(source: Empson, Hal. *Mapping Hong Kong: A Historical Atlas*.

Hong Kong: Government Information Services, 1992, p. 167.)

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Part B – Cultural Significance



Aerial photo B-01 – Aerial photo (no. H9#11) dated 12th November, 1924
(the approximate location of Nam Koo Terrace is outside this aerial photo)
(source: reproduced from Survey & Mapping Office, Lands Department,
Hong Kong SAR Government with permission from Ministry of Defence, U.K.)

Conservation Management Plan for Nam Koo Terrace at no. 55 Ship Street, Wanchai, Hong Kong

Part B – Cultural Significance

B1.6 After the Second World War

In the 1960s, Wanchai became one of the most densely populated areas, with different types of small industries undertakings. The 1961 census shows that Wanchai was the least industrialized of the three districts on Hong Kong Island. Almost all of these undertakings were small establishments operated in flatted premises and ground floors rather than a factory building.⁴ Aerial photos of 1945, 1949 and 1963 show the development at this period.



Wan Chai District, c. 1940

(source: Cheng, Po Hung 鄭寶鴻. 《香江道貌: 香港的早期電車路風光》 [Early Hong Kong Tramways]. Hong Kong: The University Museum and Art Gallery, The University of Hong Kong, 2005, p.132.)



View of Wan Chai from Kennedy Road, c. 1952; this was a reclaimed area and

many four-storey buildings

completed in the 1930s can be seen

(source: Cheng, Po Hung 鄭寶鴻. 《香江道貌: 香港的早期電車路風光》 [Early Hong Kong Tramways]. Hong Kong: The University Museum and Art Gallery, The University of Hong Kong, 2005, p.134.)

⁴ Hong Kong Census and Statistics Department. *1971 Census of Manufacturing Establishments*. Hong Kong: Hong Kong Government Printer, 1972, p. 16.

**Conservation Management Plan for Nam Koo Terrace at
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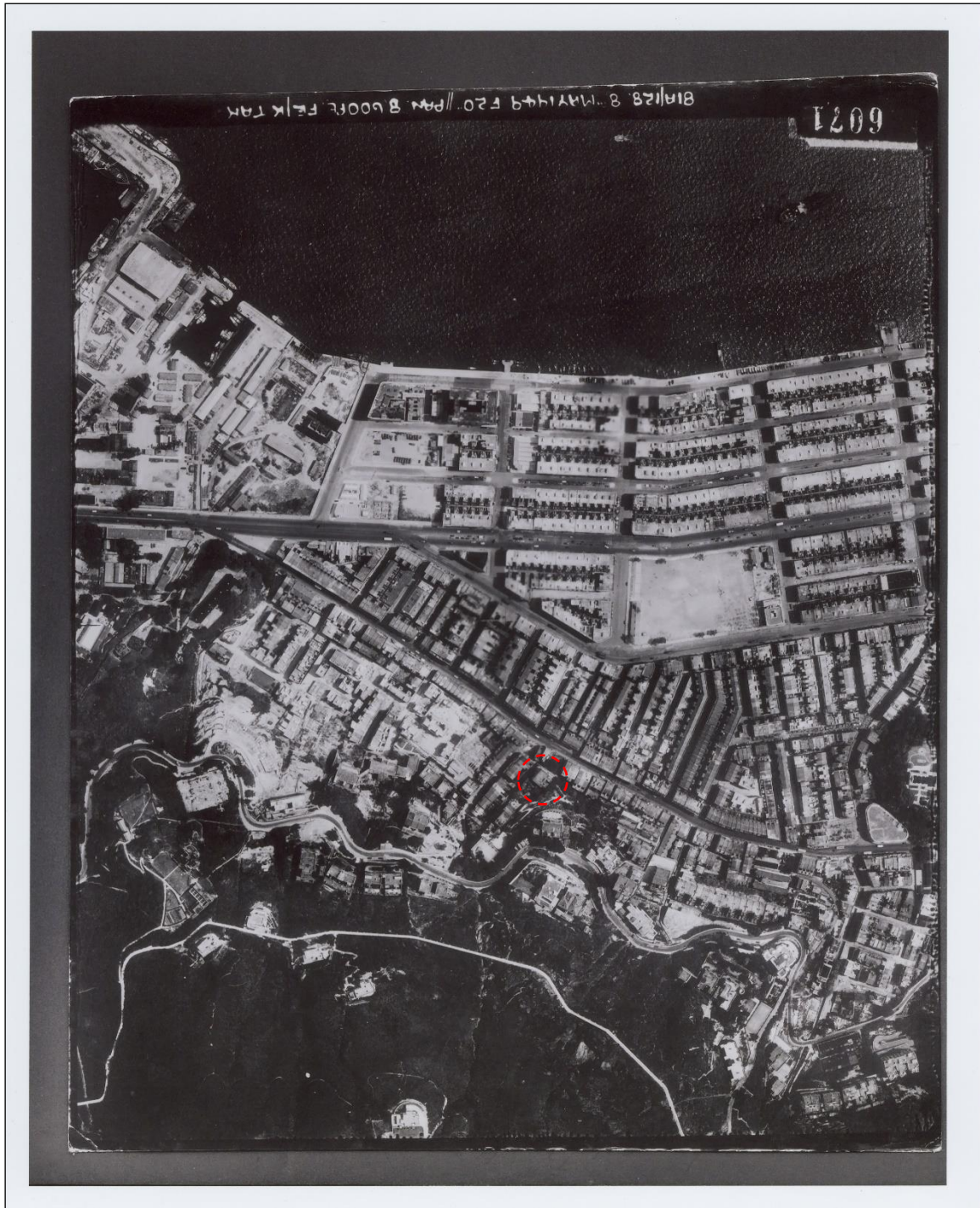
Aerial photo B-02 – Aerial photo, 1945

(the approximate location of Nam Koo Terrace is circled in red)

(source: Aerial photo ref. no. M1681(6)#4068, Mapping and Survey Office, Lands Department,
Hong Kong SAR Government.)

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Aerial photo B-03 – Aerial photo, 1949

(the approximate location of Nam Koo Terrace is circled in red)

(source: Aerial photo ref. no. 6071 81A 128, Mapping and Survey Office, Lands Department,
Hong Kong SAR Government.)

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Aerial photo B-04 – Aerial photo, 1963

(the approximate location of Nam Koo Terrace is outside this aerial photo)

(source: Aerial photo ref. no. 7054, Mapping and Survey Office, Lands Department,
Hong Kong SAR Government.)

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B2.0 History of Neighbourhood Area

B2.1 Chronology History

The following is a brief chronological history of the site and neighbourhood based on the materials from Carl Smith. The neighbourhood area is defined as the parcel of land surrounded by Queen’s Road East, Johnston Road and the south-north running Wan Chai Road. The location of the lots described below are shown in Map B-08 – Part of “Plan of City of Victoria” 1889.

- (1) Area around Landale Street and Anton Street –
 - Marine Lot 23 – first purchase by John Dalton Hawker from Government land sale in 1843, subsequently sold to the Sisters of St. Paul in 1845, and set up convent, foundling home and associated institutions,⁵
 - Marine Lot 24 (around Landale Street and Anton Street area) – purchased by the Sisters in 1848 and amalgamate with Marine Lot 23, and
 - Hong Kong Land purchased the Marine Lots 23 and 24 from the Sisters, re-developed the site and built Chinese housing in 1917, divided the site and opened two streets – Landale Street and Anton Street.⁶

- (2) Area around Li Chit Street – Marine Lot 24 –
 - first purchase by William Tarrant from Government land sale in 1844, subsequent change hands,
 - eventually acquired by Li Liang 李良 in 1864, and
 - re-developed the site and built Chinese housing in 1887, divided the site and opened Li Chit Street 李節街.

- (3) Area around Gresson Street – Marine Lot 29 and 30 –
 - first purchased by Augustus Carter in Government land sale in 1844, later revert back to Government,
 - Government re-sale in 1849 and purchased by George Duddell in 1849, after exchange of hands, and
 - acquired by Kowloon Wharf and Godown Co., Ltd. in 1896.

⁵ The locations of the marine lots are shown in the “Plan of Victoria Map, 1856”. Copy of which is in Empson, *op.cit.*, p.161.

⁶ ‘Chinese housing’ is the term used by Carl Smith, it should refer to the first or second generation *tong lau* 唐樓 [tenements] which were housing with little or no proper sanitary provisions for the local Chinese who could not afford high rental.

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- (4) Area around Lun Fat Street and Ship Street (north portion) – Marine Lots 31 and 36 –
 - first purchased by Framjee Jamesetjee, used as shipyard, and
 - after several change of hands, eventually acquired by the Lam family of Lam Woo 林護 in 1911, and opened Lun Fat Street 聯發街 in 1921.
- (5) Area around Tai Wong Street West and Tai Wong Street East – Marine Lot 46 –
 - godown built on the lots by Lyall, Still & Co. in 1855,
 - re-developed into Chinese housing in 1860,
 - leased to military in 1868, and
 - finally took up by Jardine, Matheson & Co., Ltd.
- (6) Area around Swatow Street and Amoy Street – Marine Lot 40 –
 - purchased by the Procurator of the Dominican Mission in 1862,
 - the building on the site rented to military in 1868 and 1869,
 - the Dominican Mission disposed the property in 1872,
 - purchased by Oriental Sugar Co., and a large sugar factory was built in 1878 and closed down in 1878 due to financial difficulties before production,
 - the property acquired by Jardine, Matheson & Co., Ltd. in 1880, and re-developed the site and built Chinese housing, and
 - Dr. Patrick Mansion came from Amoy purchased the site, and opened up Swatow Street and Amoy Street in 1915.
- (7) Area around Lee Tung Street – Marine Lot 42 –
 - N. Mody & Co. purchased the lot in 1867, and
 - sold to Lee Hysan 利希慎 Family in 1918.
- (8) Area around Spring Gardens Lane – Marine Lot 43 –
 - high class European houses were built, the first three Governors rented his residence in Spring Gardens, and
 - after several change of hand, the north portion was acquired by Kwok Acheong in 1878, re-developed the site and built Chinese housing, and opened Ui Loong Lane.
- (9) Area around Sampan Street, McGregor Street, Tai Yuan Street, Stone Nullah Lane, Cross Street and Triangle Street – Marine Lots 44, 46 and 47 –
 - Divided into small parcel lots for easy disposal in 1855, except Sampan Street which was occupied by the military until twentieth century; and
 - To serve these lots, the north-south running Wan Chai Road was built in 1851.

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B3.0 History of the Ownership of Nam Koo Terrace

B3.1 The Sale of the Lot

According to the terms of land sale of Lot no. 2140 drafted by the Bureau of Public Works in 1915, someone first applied to the government through a lawyer to purchase the land where Nam Koo Terrace is located in August 1915, then the government agreed after internal research, drafted the terms of sale of the land, and put up for public auction on 4th October, 1914. The key points of the terms of sale are shown below –

- Within 24 months after the sale of the land, the owner needs to invest no less than HK\$10,000 in building the house.
- The owner needs to level the hill, level the land and build the retaining wall by himself.
- A 30-foot open-air space must be reserved around the site.
- Buildings cannot be higher than 35 feet.
- The buildings on it must be of European design and construction.

B3.2 The First Owners – the To (杜) Brothers

The lot was finally successfully bid by a “Victoria Hong Kong gentleman” To Chun-man (杜仲文) from a rich Shanghai family at a reserve price of HK\$2,136. At present, there is limited information about To Chung-man (杜仲文) in the archives and documents. It is only known that his registered address when he bought the land was no. 2 Hill Side Terrace (山坡臺), which is only a hundred steps away from the Nam Koo Terrace site. The building was later sold to To Chak-man (杜澤文) in 1921, then later mortgaged it back to To Chung-man (杜仲文) in the same year.

To Chak-man (杜澤文) was born in Zongshan City (中山市), Guangdong Province (廣東省) on 9th September, 1870, and his English name is very Westernized – Doo Jackman, which may be related to his life in Australia. Zhongshan City, Guangdong Province is one of the famous hometowns of overseas Chinese in the Mainland (僑鄉). Before the Qing Dynasty, a large number of Zhongshan people travelled to make a living overseas. To Chak-man (杜澤文) and his father To Fook-mu (杜福茂) were no exception. Not much is known about their situation in Australia, only that they are doing business on the other side. In 1921, he married the daughter of Philip Gock Chin (Kwok Chuen) (郭泉), the founder of Wing On Department Store, and in the same year, he went back to Hong Kong from Australia to help his in-laws to manage the department store business.

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To Chak-man (杜澤文) was the Chief Chinese Silks Salesman (專理紗羅綢緞員) of Wing On Company Limited (永安有限公司) in circa 1915 and later promoted to the post of Assistant Manager (副司理). He actively participated in community committees such as also the Secretary (司理) of Commercial Chamber of The Heung Shan District (香邑僑商會所) and member of The Chinese General Chamber of Commerce (華商總會), etc. He is a Christian, member of the Hong Kong Anglican Church (聖公會會友). He also contributed to the construction of St. Mary's Church (聖馬利亞堂) in Causeway Bay, which has a history of more than 80 years. Its architectural characteristics which resembles Nam Koo Terrace, not only combines the architectural features of Western modern architecture, but also with Chinese-style tile roof decorations, provided physical evidence of the inference of Western culture in the Chinese society.

B3.3 During the Japanese Occupation and After the War

During the Japanese occupation of Hong Kong, the 74 years old To Chak-man (杜澤文) died in the mansion in 1943. The death certificate recorded “unknown cause of death”. After his death, it is said that Nam Koo Terrace fell into the hands of the Japanese, and used as a “comfort house (慰安所)”.

After the Japanese surrendered in 1945, the mansion was taken up by To Chak-man (杜澤文)'s son who came back to Hong Kong after his departure during the War, until sold to a subsidiary company of Hopewell Holdings Limited in 1988.

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B4.0 The Architectural Style of Nam Koo Terrace

B4.1 The Height Control and Architectural Style in the Lease Conditions

For the height limit control of the building, it should be related to the preservation of the view of the ridgeline. Reviewing the land purchase applications along Kennedy Road during the same period, the government has set height restrictions on the buildings, and some documents mentioned the same principle to preserve the view of the ridgeline.

For the architectural style (design) of the building, because this area falls into the “European Residential Area”, European-style buildings are purely regulated by the terms of the land sale, not the owner’s personal preference. It also related to the British coming to China, the living culture is different, and the related laws and regulations are derived from the different requirements for sanitary conditions.

B4.2 European Residential Area Reservation Regulations

The dense population and poor sanitation have almost become foreigners' impression of Chinese residential areas. In fact, many British people came to Hong Kong died of many diseases due to unacceptable conditions, poor sanitation and plague. British businessman Peter G. Laurie wrote home to his mother in 1858 –

“These days have been hard, nothing but pain, pain. The weather here is bad enough, and every step is sickness and death... I woke up in the morning to learn that my good friend had passed away and another was seriously ill. , and then he also left the next day. I have been here for six months, two captains have passed away, three were sick, and one was almost killed... As I write this, I have received another friendly and seriously ill News, it looks like he won't last an hour...”⁷

Faced with this situation, the British Hong Kong government stepped up the development of land for cemeteries, and also engineer Chetwell came from the United Kingdom to Hong Kong to investigate the overall public health and living environment in Hong Kong. In 1888, the then governor of Hong Kong, Sir George William Des Vœux promulgated the “European District Reservation Ordinance” (The European District Reservation Ordinance), and only European-style residences could be built within the designated area. This area spanned from Pok Fu Lam Road to Wanchai Drainage, and is bounded in the middle by 200 feet north of Kennedy Road. The location of Nam Koo Terrace is exactly located in the European residential area.

⁷ Laurie, Peter. “Irregular Correspondence”. Laurie, William Dyson, 19 1858. Web. 7 Dec 2012. <<https://sites.google.com/site/laurieletters/7-india-and-hong-kong-1858/1858-08-19-peter>>.

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B4.3 Architectural Features of Nam Koo Terrace

The Main Building is designed in “Colonial Eclectic” style adopting “Classical Revival” and “Italianate Renaissance” architectural features combined with Chinese decorations and motifs. Therefore, some scholars define this type of Chinese and Western architecture as “Chinese eclectic style architecture”.⁸ The main construction material is red bricks which are used for the walls, (photo B-01). The red brickwork is relieved by ornamentation such as rusticated quoins, moulded cornices, and voussoired arches over windows, (photos B-02 and B-03). The front façade, facing the garden is simple and symmetrical, consisting of a curved colonnaded porch and verandah with Doric order and Ionic order columns, (photos B-01, B-04 and 05). The main entrance gate, which is situated in the side wall to the Ship Street steps, is a combination of Greek and Roman features. A pavilion on the rooftop is built in traditional Chinese style. The use of architectural ironwork for the window grilles and entrance gates give an artistic touch to the building, (photo B-06).

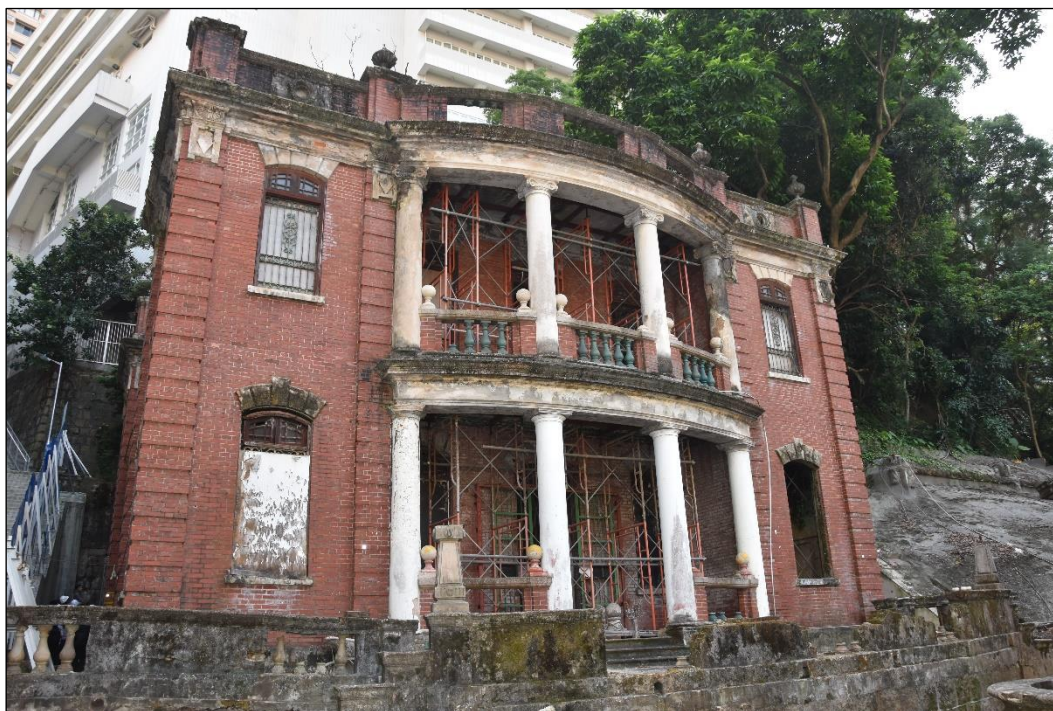


Photo B-01 – Main Building main facade, (8th October, 2024)

⁸ “Some name them Chinese Renaissance and some say they are Eclectic Architecture. No matter how they are named, their appearance will always catch our attention - a bit of Chinese and a bit of western. They were the products of the time, when the post revolutionary China had been established and western trained Chinese Architects went back to their homelands and put their passion in revitalizing Chinese architecture into practice.” From Hong Kong Architecture Centre website, visited on 3rd May, 2024.

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Photo B-02 – Main Building east elevation front part showing the red facing brickwork and the rusticated quoins, moulded cornices, and voussoired arches over the window, (21st March, 2023)

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Photo B-03 – Main Building east elevation, the voussoir arch over the
side entrance, (21st March, 2023)

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Photo B-04 – Main Building main facade, the Ionic column on
first floor verandah, (21st March, 2023)

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Photo B-05 – Main Building main facade, the Doric column on
ground floor recess entrance porch, (8th October, 2024)

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Photo B-06 – Main Building main facade, the window on first floor east side
with the wrought iron window grille, (21st March, 2023)

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B5.0 Character Defining Elements (CDEs)

B5.1 Selection criteria

“Character-defining elements” means “the materials, forms, location, spatial configurations, uses and cultural associations or meanings that contribute to the heritage value of an historic place, and which must be retained in order to preserve its heritage value”.⁹ The selection of the Character-defining elements is based on the cultural significance of the Building described in part 2.5, which includes historic significance, architectural and aesthetic significance, and social significance.

B5.2 Level of significance – definition of terms¹⁰

<u>Level of significance</u>	<u>Meaning</u>
------------------------------	----------------

- | | |
|------------|--|
| • High | Elements which make a beneficial contribution to the cultural significance of the Building, and the removal or substantial alteration of such element would be detrimental to the cultural significance of the Building. These elements normally are the original elements of the Building. |
| • Moderate | Elements which make a contribution to the overall significance of the place. Spaces, elements or fabric originally of some intrinsic quality, and may have undergone minor or extensive alteration or de-gradation. |
| • Low | Elements which make little contribution to the overall significance of the Building. Spaces, elements or fabric originally of little intrinsic quality, and may have undergone alteration or degradation. Original spaces, elements or fabrics of some quality, which have undergone extensive alteration or adaptation to the extent that only isolated remnants survive. These elements make little contribution to the significance of the building, and whose alteration or removal would not be detrimental to the heritage value of the place. |

⁹ The definition for “character-defining elements” is extracted from *Standards and Guidelines for the Conservation of Historic Places in Canada, a Federal, Provincial and Territorial Collaboration*, a pan-Canadian collaboration, 2nd edition, 2010, p253.

¹⁰ The definition of terms is developed based on James Semple Kerr, *Conservation Plan: A Guide to the Preparation of Conservation Plans for Places of European Cultural Significance*, National Trust, 2004.

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- Neutral Elements which are of little or no contribution in the understanding or appreciating the Building, and are not intrusive.
- Intrusive Elements which are visually intrusive or which obscure the understanding of significant elements of the site.
The removal of such elements would be beneficial to the understanding of the cultural significance of the Building.

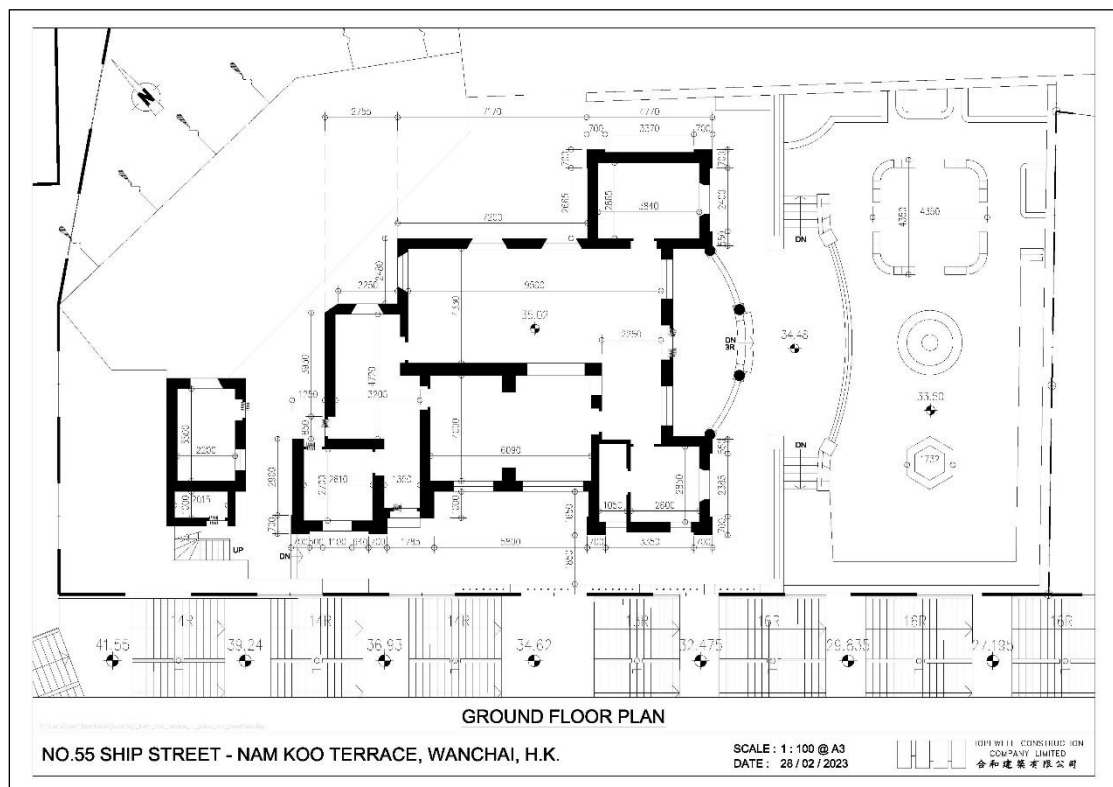
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B6.0 List of Character Defining Elements (CDEs)

B6.1 Character defining element (CDE) – Setting

- The site is not rectangular, and the design of the Main Building and the landscaped garden accommodates this irregularity. The façade of Main Building is symmetrical, and the plan is almost a square layout. The supporting servant's facilities (Annex Block) is at the rear which can hardly be seen from the landscaped garden, (drawing B-01, and photo B-07).
- Level of significance – high.



Drawing B-01 – Site plan, showing the plan shape of Main Building and the landscaped garden accommodates the irregular shape of the site

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Photo B-07 – Aerial view of Nam Koo Terrace showing the setting

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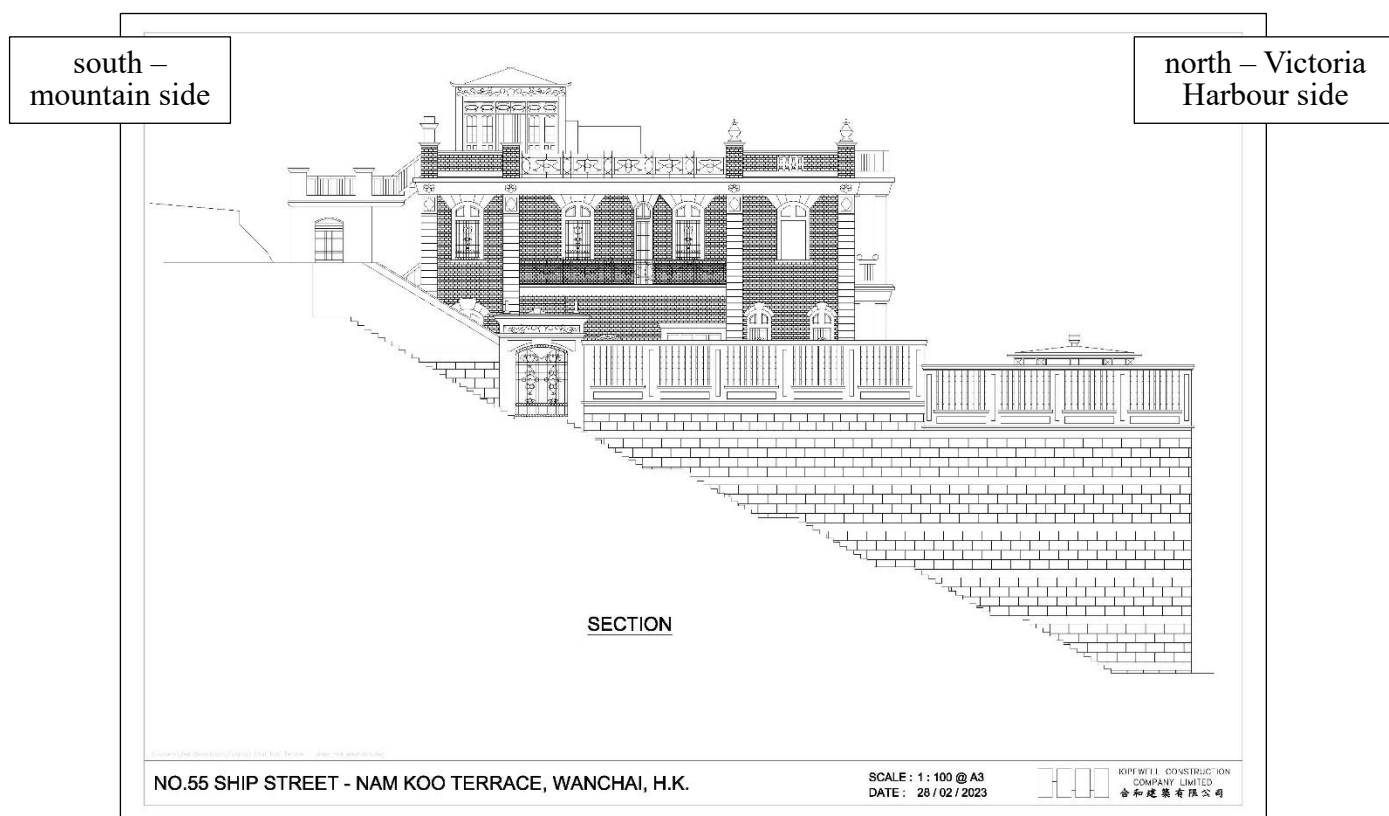
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B6.2 Character Defining Element (CDE) – Orientation

- In line with the topography of Hong Kong Island, the layout of Nam Koo Terrace is backed by mountains and facing Victoria Harbour, (drawing B-02). When there were no high-rise buildings in Wanchai in the past, the balcony on the first floor overlooked the lowlands of Wanchai and Victoria Harbour.
- Level of significance – moderate.

B6.3 Character defining element (CDE) – Platform and the Granite Block Retaining Wall

- Nam Koo Terrace is located on a slope, so the flat site was formed by “cut and fill slope”, (drawing B-02). So the front part (landscaped garden) sits on the filling surrounded by a retaining wall built with granite blocks, forming its unique and superior geographical location, (photo B-08).
- Level of significance – moderate.



Drawing B-02 – South-east elevation (facing Ship Street) of Nam Koo Terrace
showing the platform at the side of Main Building

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Photo B-08 – The platform formed by granite block retaining wall
at the north-west (front) side and south-east (Ship Street) side,
(8th October, 2024)

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B6.4 Character defining element (CDE) – Main Building main façade, the ground floor recess entrance porch and the verandah on first floor

- The recess entrance porch at ground floor and the verandah on first floor are at the middle of the main façade which emphasized on the symmetry of the façade, (drawing B-03, and photo B-09).
- Level of significance – high.



Drawing B-03 – North-east elevation (main facade) of Main Building

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Photo B-09 – Main Building main façade middle part showing the ground floor
recess entrance porch and the verandah on first floor, (8th October, 2024)

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B6.5 Character defining element (CDE) – Main Building main façade, the Doric columns at ground floor and Ionic columns at first floor with the beam with the cornice on top

- The columns at both ground and first floor of the facade adopt two classic Western column styles – the Doric columns on the ground floor symbolize masculine strength, while the Ionic columns on the first floor are slender and elegant like women, (photos B-09 to B-12). The two different style columns present an architectural language that is heavy on the bottom and light on the top.
- Level of significance – high.

B6.6 Character defining element (CDE) – Main Building main façade, the parapet wall at the ground floor recess entrance porch and the verandah on first floor

- The parapet wall spans between the columns (except the entrance at the middle of ground floor), with red facing brickwork with small protruding part towards the middle at both ends and glazed ceramic bottle shape balusters at the middle. The plan shape of the coping follows the profile of the brickwork with rebate at the bottom edges, and with plastered ball shaped decorative feature with support at both ends, (photos B-10 to B-12).
- Level of significance – high.



Photo B-10 – Main Building main façade first floor middle part verandah, showing the Ionic columns and the parapet wall in between, (8th October, 2024)

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Photo B-11 – Main Building main façade ground floor east part of recess entrance porch, showing the Doric Ionic columns and the parapet wall in between, (the 4 nos. glazed ceramic bottle shape balusters are all broken), (8th October, 2024)

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Photo B-12 – Main Building main façade ground floor west part of recess entrance porch, showing the Doric Ionic columns and the parapet wall in between, (the 4 nos. glazed ceramic bottle shape balusters are all broken), (8th October, 2024)

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- B6.7 Character defining element (CDE) – Main Building main façade, the plastered wall frieze below the roof parapet wall with the cornice on top
- This include the wall frieze (canopy projecting) below the roof parapet wall, (photos B-13 and B-14).
 - Level of significance – high.



Photo B-13 – Main Building main façade east part, the roof parapet wall and the wall cornice below, (8th October, 2024)



Photo B-14 – Main Building main façade west part, the roof parapet wall and the wall cornice below, (8th October, 2024)

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B6.8 Character defining element (CDE) – Main Building main façade, the red facing brickwork at both sides, and south-east elevation (facing Ship Street), the red facing brickwork at front portion and rear portion

- This includes the red facing brickwork quoins at both corners of the brickwork at both sides including the plastered relief at the top of the quoin, (drawings B-03 and B-04, and photos B-15 to B-17).
- Level of significance – high.

B6.9 Character defining element (CDE) – Main Building south-east elevation (facing Ship Street), the balcony on first floor at the middle portion

- This includes the wrought iron balustrade, (drawing B-04, and photo B-16).
- Level of significance – high.

B6.10 Character defining element (CDE) – Main Building south-east elevation (facing Ship Street), the voussoir arch over the side entrance at ground floor at the middle portion

- This includes the plastered arch at the entrance, (photos B-03, and B-17).
- Level of significance – high.



Drawing B-04 – South-east elevation (facing Ship Street) of Main Building

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Photo B-15 – Main Building south-east elevation (facing Street Street),
front portion, (21st March, 2023)

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Photo B-16 – Main Building south-east elevation (facing Ship Street),
middle portion, (21st March, 2023)

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Photo B-17 – Main Building south-east elevation (facing Ship Street),
rear portion, (21st March, 2023)

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B6.11 Character defining element (CDE) – Main Building window, including the wrought iron window grille

- The windows are of typical design with wrought iron grille, (photo B-18, and appendix 3 – photo record of the windows in Main Building).
- Level of significance – high.



Photo B-18 – Window with wrought iron window grille of typical design, at south-east elevation (facing Ship Street), ground floor front part, (21st March, 2023)

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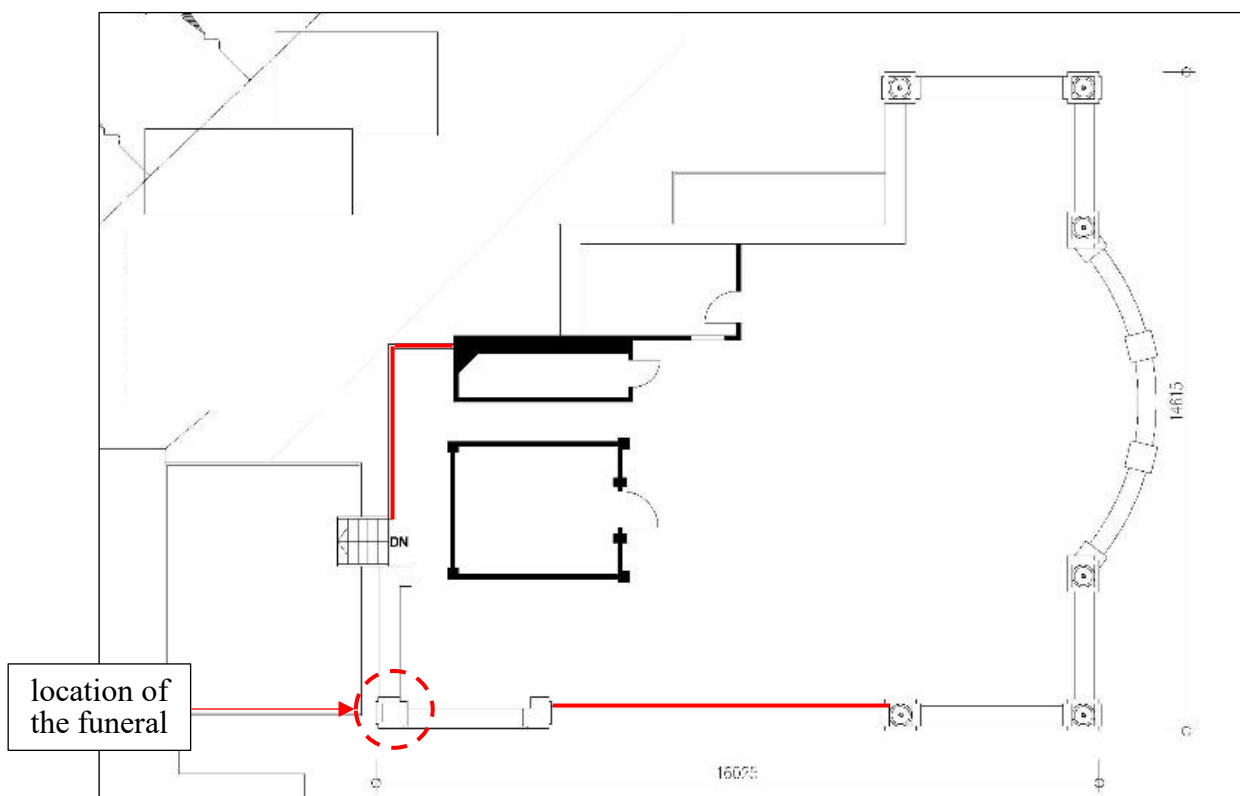
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B6.12 Character defining element (CDE) – Main Building roof, parapet wall

- The parapet wall is divided in portion following the perimeter of the roof and the red facing brickwork pillars at the ends, and glazed ceramic bottle shape balusters at the middle. There are plastered vase shaped decorative feature on top of the pillars at the main façade portion, (photos B-19 to B-25).
- This also includes the wrought iron parapet wall at south-east elevation (facing Ship Street) above the balcony on first floor (drawing B-05, and photo B-26), and at the rear elevation, (drawing B-05, and photo B-27).
- Level of significance – high.

B6.13 Character defining element (CDE) – Main Building roof, chimney

- The plastered chimney is on top of the parapet wall brick pillar at the south corner, and this is the only chimney on the roof Main Building, (drawing B-05, and photo B-28).
- There is no chimney flue at the corresponding position in the rooms on first floor and ground floor.
- There is no fire place inside the building.
- Level of significance – high.



Drawing B-05 – Roof plan, the wrought iron parapet wall is marked in red

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Photo B-19 – Main Building, the roof at north corner, (junction of main façade and north-west elevation (facing Admiralty side), (17th March, 2023)



Photo B-20 – Main Building, the roof at the middle portion of main façade, (all the glazed ceramic bottle shape balusters broken), (17th March, 2023)

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Photo B-21 – Main Building, the roof at east corner, (junction of main façade and north-east elevation (facing Ship Street), (17th March, 2023)



Photo B-22 – Main Building, the roof at north corner, (junction of main façade and north-west elevation), (17th March, 2023)

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Photo B-23 – Main Building, the roof parapet wall at north-west elevation
front portion, (17th March, 2023)



Photo B-24 – Main Building, the roof parapet wall at north-west elevation
middle portion, (17th March, 2023)

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Photo B-25 – Main Building, the roof parapet wall at main façade,
the vase shaped plastered decorative feature on top of the
red facing brick pillar, (17th March, 2023)



Photo B-26 – Main Building, the wrought iron roof parapet wall at
south-east elevation (facing Ship Street) above the balcony
on first floor, (8th October, 2024)

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Photo B-27 – Main Building, the wrought iron roof parapet wall at south-west elevation (rear elevation) west part, (17th March, 2023)



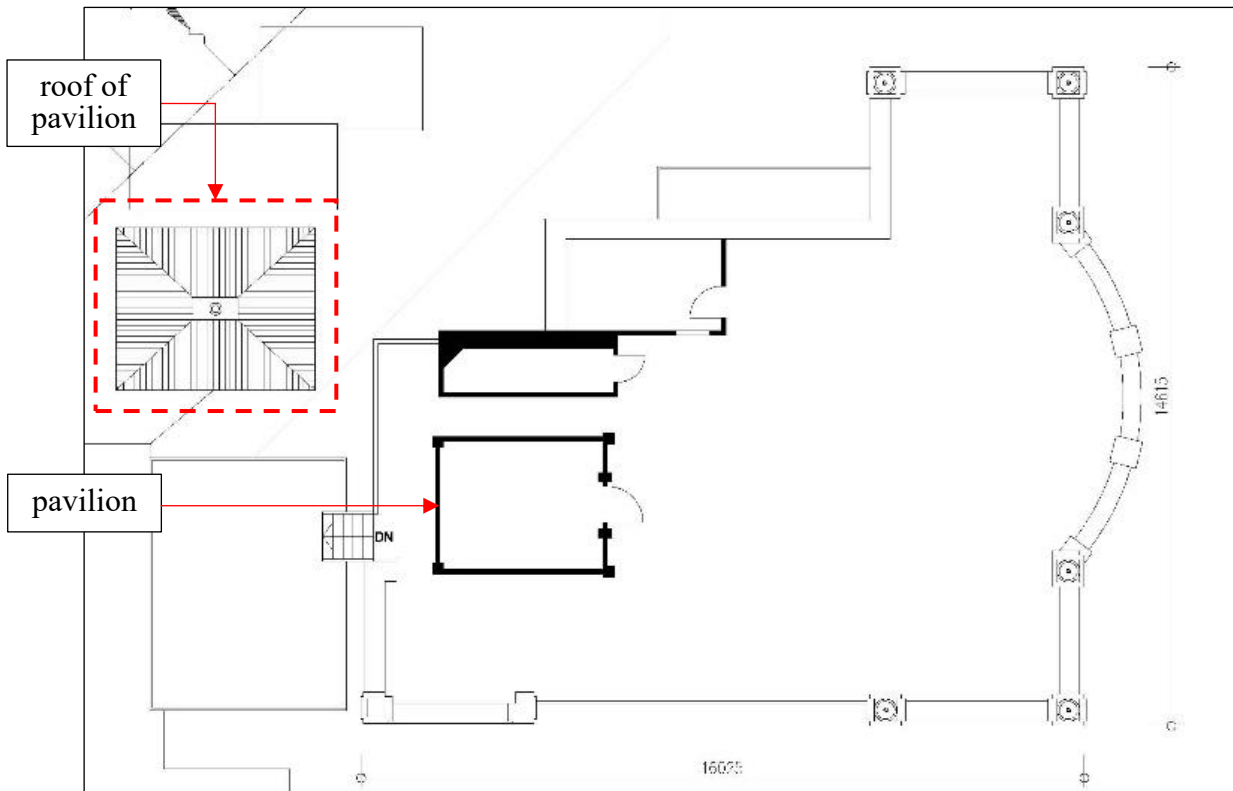
Photo B-28 – Main Building, the chimney at the south cornet, (junction at south-east elevation (facing Ship Street) and south-west elevation (rear elevation)), (17th March, 2023)

Conservation Management Plan for Nam Koo Terrace at no. 55 Ship Street, Wanchai, Hong Kong

Part B – Cultural Significance

B6.14 Character defining element (CDE) – Main Building roof, the Chinese style pavilion

- The column and beam is reinforced concrete construction, whereas the roof follow tradition Chinese style roof concrete with timber truss, purlin, batten, end rafter batten, and covered with glazed ceramic pan and roll tiles with header and dripper. There are carved timber eaves board decorations, (drawing B-06, and photos B-29 to B-31).
- Level of significance – high.



Drawing B-06 – Roof plan, showing the location of the pavilion and
the roof of the pavilion is also shown on the drawing

**Conservation Management Plan for Nam Koo Terrace at
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Photo B-29 – Main Building, the Chinese style pavilion on the roof,
(17th March, 2023)



Photo B-30 – Main Building, the Chinese style pavilion on the roof,
the roof structure of the pavilion,
(17th March, 2023)

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Photo B-31 – Main Building, the Chinese style pavilion on the roof, the side showing
the roof eaves and the carved timber eaves board, (17th March, 2023)

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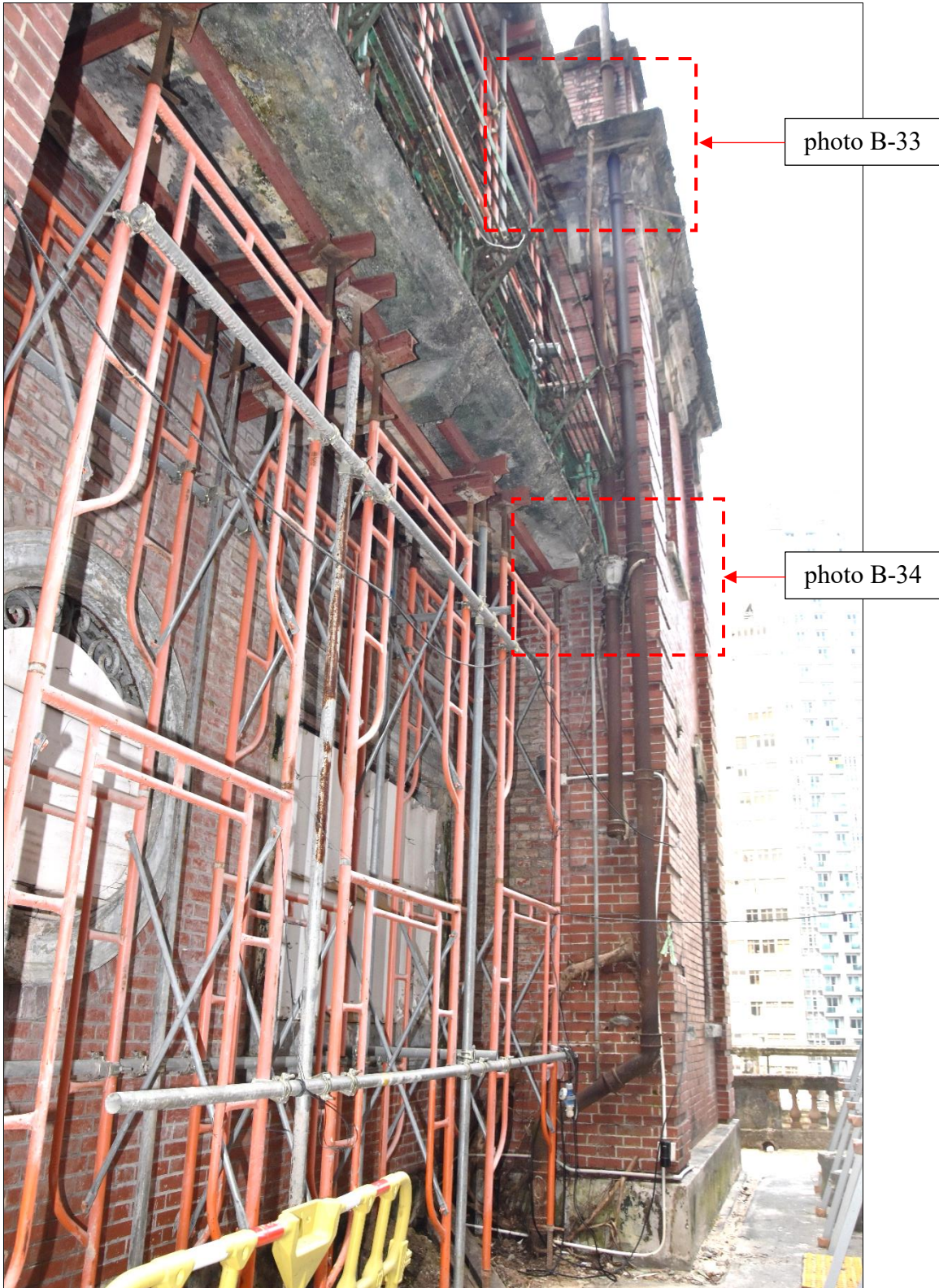


Photo B-32 – Main Building, the cast iron vent pipe and cast iron
rainwater downpipe with two hoppers installed at south-east elevation
(facing Ship Street) front portion, (8th October, 2024)

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Photo B-33 – Main Building, the cast iron hopper at the top of the
rainwater downpipe, (8th October, 2024)

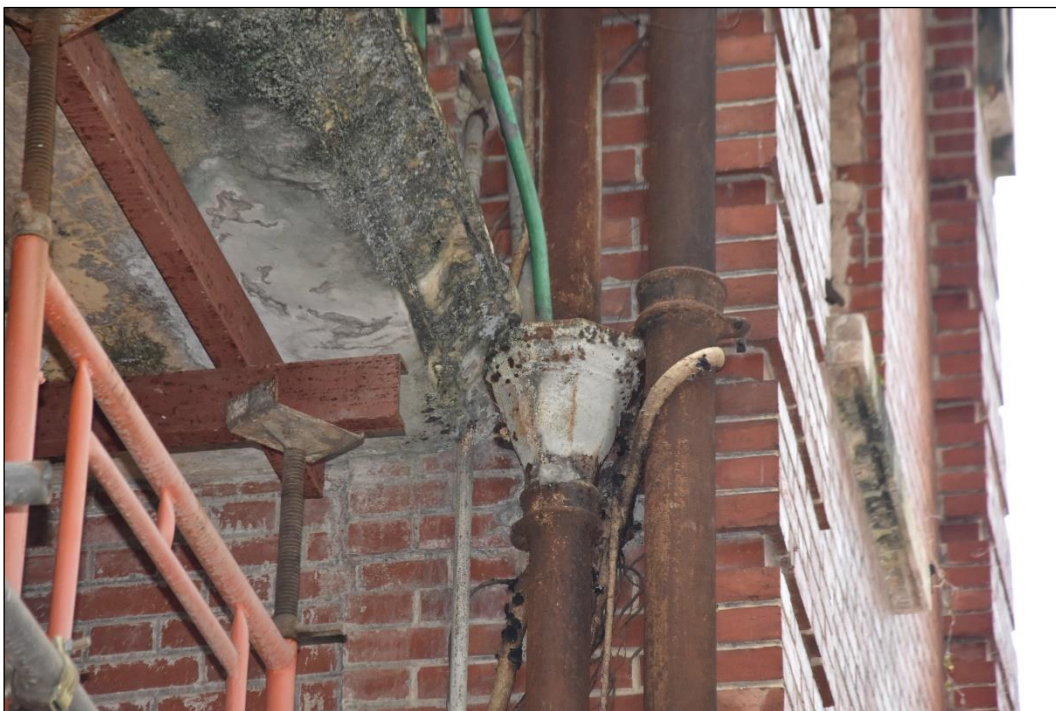


Photo B-34 – Main Building, the cast iron hopper at the middle of the
rainwater downpipe, (collect rainwater from first floor balcony),
(8th October, 2024)

**Conservation Management Plan for Nam Koo Terrace at
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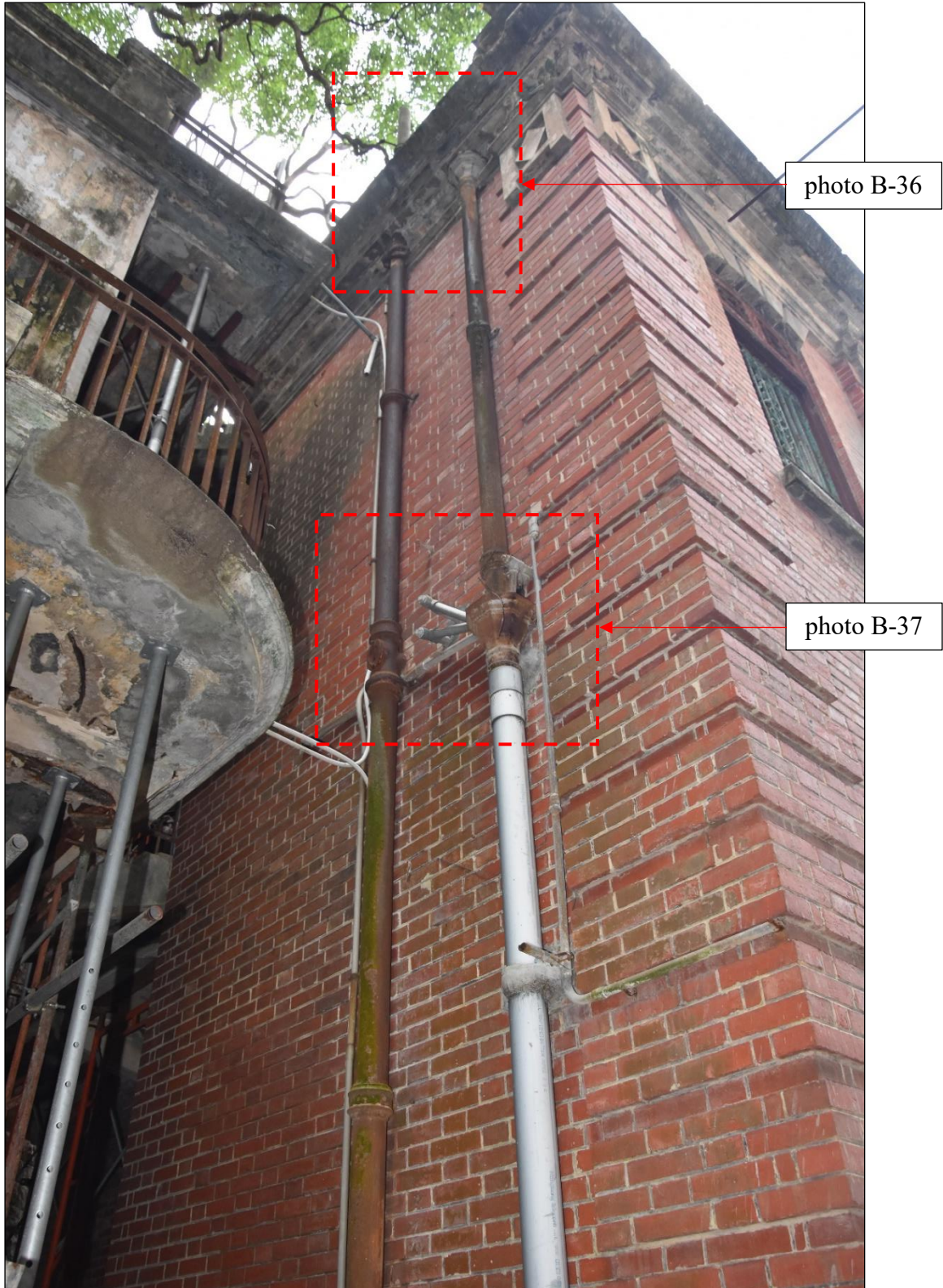


Photo B-35 – Main Building The cast iron vent pipe and cast iron
rainwater downpipe with two hoppers installed at south-west elevation
(rear elevation) near south corner, (8th October, 2024)

**Conservation Management Plan for Nam Koo Terrace at
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Photo B-36 – Main Building, the cast iron hopper at the top of the
rainwater downpipe, (8th October, 2024)

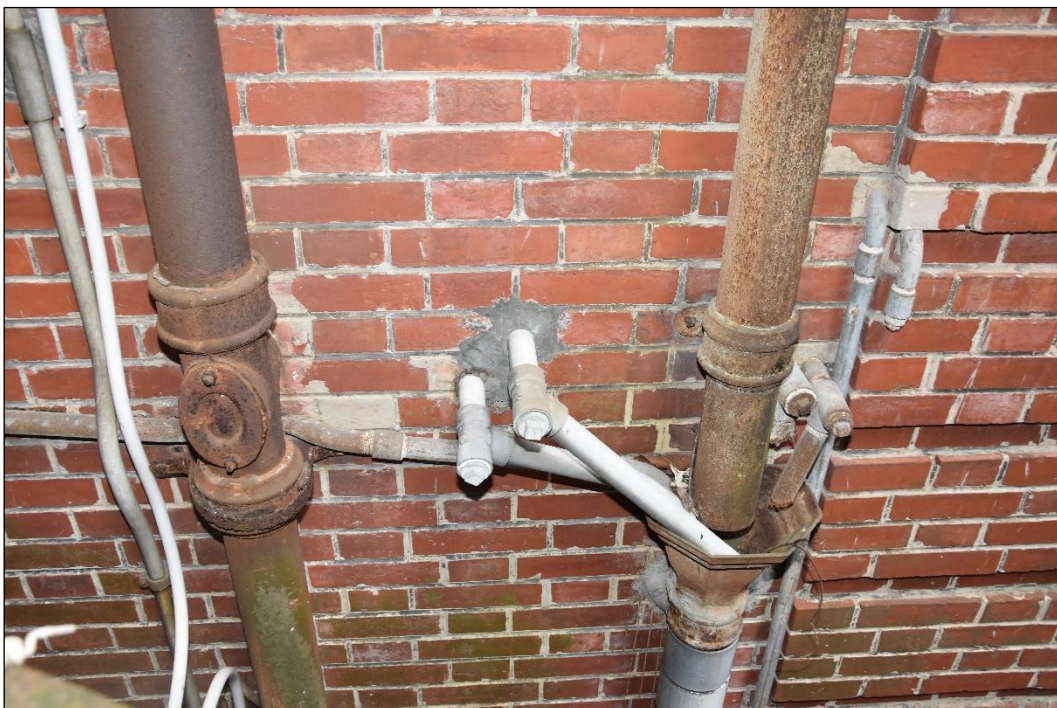


Photo B-37 – Main Building, the cast iron hopper at the middle of the
rainwater downpipe, (all pipes discharging water into the hopper
should be later additions), (8th October, 2024)

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Photo B-38 – Main Building, the cast iron rainwater downpipe with hopper
on the top installed at north-west elevation (facing Admiralty side)
front portion, (8th October, 2024)

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Photo B-39 – Main Building, the cast iron hopper at the top of the
rainwater downpipe, (8th October, 2024)

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Photo B-40 – The cast iron rainwater downpipe with hopper installed at the
north-east elevation (front elevation) of Annex Block,
(8th October, 2024)

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Photo B-41 – The cast iron hopper at the top of the rainwater downpipe,
(8th October, 2024)

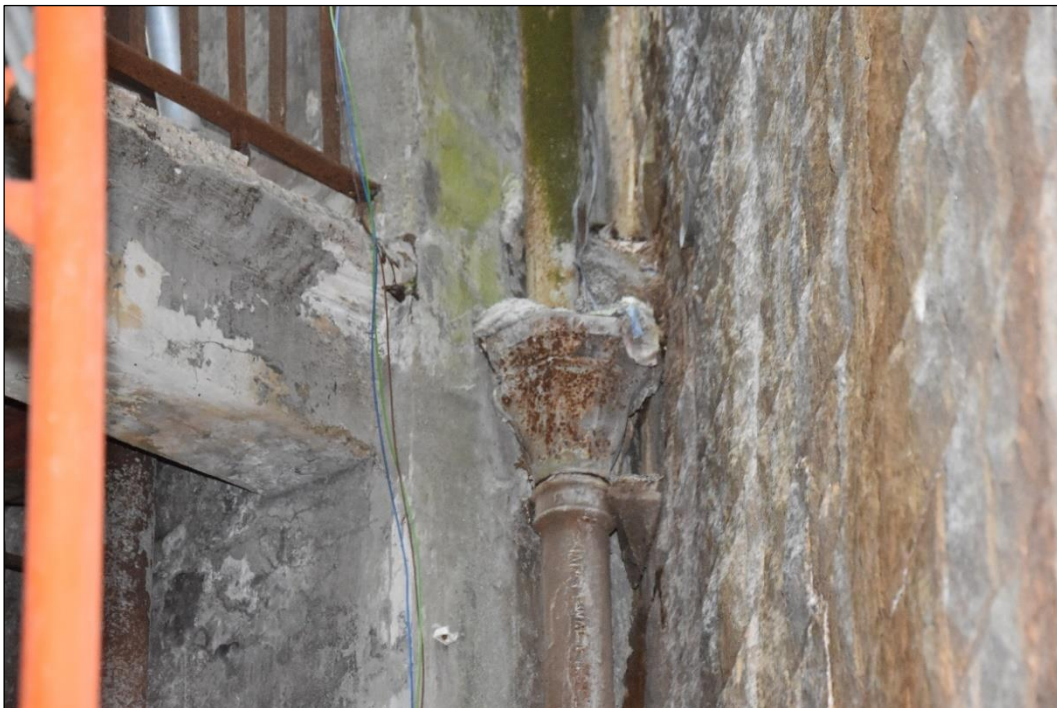


Photo B-42 – The cast iron hopper at the middle of the rainwater downpipe,
(should collect rainwater from first floor balcony), (8th October, 2024)

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Part B – Cultural Significance

B6.16 Character defining element (CDE) – Main Building interior, floor tiles

- There are mainly two types of floor tiling,
- Encaustic floor tile with border at ground floor recess entrance porch and the rooms at the rear part, and first floor verandah and balcony, (photos B-43 to B-45).
- Hexagonal shape ceramic floor tile with border at first floor rooms, (photos B-46 and B-47).
- Level of significance – high.



Photo B-43 – Main Building, ground floor, encaustic floor tile with border,
(photo courtesy from Employer), (10th October, 2024)

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Photo B-44 – Main Building, first floor, verandah at main façade,
encaustic floor tile with border, (photo courtesy from Employer),
(10th October, 2024)

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Photo B-45 – Main Building, first floor, balcony at south-east elevation
(facing Ship Street), encaustic floor tile with border,
(photo courtesy from Employer), (10th October, 2024)

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Photo B-46 – Main Building, first floor, hexagonal shape ceramic floor tile
with border, (photo courtesy from Employer), (10th October, 2024)



Photo B-47 – Main Building, first floor, hexagonal shape ceramic floor tile
with border, (photo courtesy from Employer), (10th October, 2024)

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B6.17 Character defining element (CDE) – Main Building interior, ceiling stepped cornice

- There is stepped cornice at the perimeter of the ceilings in the rooms on both ground and first floor, (photo B-48 to B-54).
- Level of significance – high.



Photo B-48 – Main Building, ground floor, typical stepped ceiling cornice,
(8th October, 2024)

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Photo B-49 – Main Building, ground floor, typical stepped ceiling cornice,
(same room as in the above photo, but photo taken from a different angle),
(8th October, 2024)



Photo B-50 – Main Building, ground floor, typical stepped ceiling cornice,
(8th October, 2024)

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Photo B-51 – Main Building, ground floor, typical stepped ceiling cornice,
(8th October, 2024)



Photo B-52 – Main Building, first floor, typical stepped ceiling cornice,
(22nd November, 2023)

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Photo B-53 – Main Building, first floor, typical stepped ceiling cornice,
(22nd November, 2023)



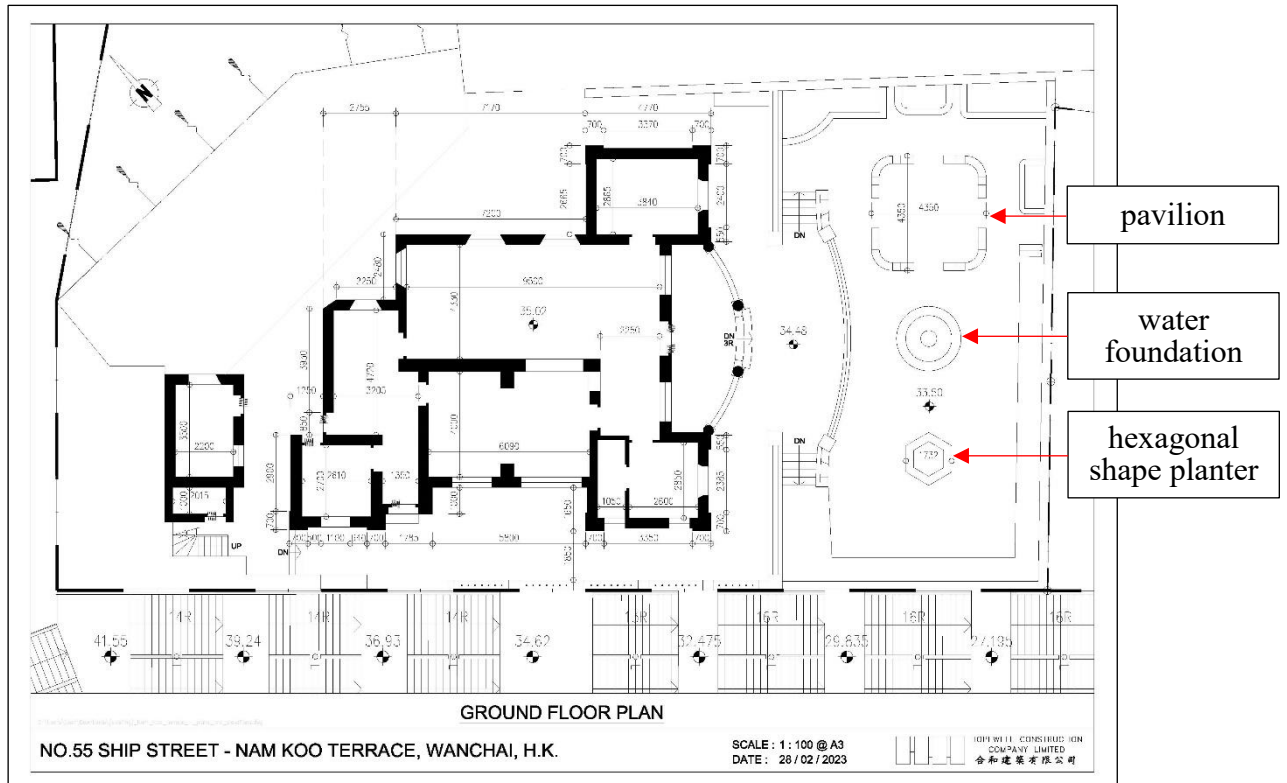
Photo B-54 – Main Building, first floor, typical stepped ceiling cornice,
(22nd November, 2023)

Conservation Management Plan for Nam Koo Terrace at no. 55 Ship Street, Wanchai, Hong Kong

Part B – Cultural Significance

B6.18 Character defining element (CDE) – the landscaped garden at the front of main facade of Main Building

- The European-style architectural features in the landscaped garden are the pavilion, the water foundation and the hexagonal shape planter, (drawing B-08, and photos B-55 to and B-58).
- Level of significance – moderate.



Drawing B-08 – Site plan, showing the location of the pavilion, water foundation and hexagonal shape planter in the landscaped garden

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Photo B-55 – The pavilion, water foundation and hexagonal shape planter
in the landscaped garden, (8th October, 2024)



Photo B-56 – The pavilion in the landscaped garden,
(8th October, 2024)

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Photo B-57 – The water foundation in the landscaped garden,
(8th October, 2024)



Photo B-58 – The hexagonal shape planter in the landscaped garden,
(8th October, 2024)

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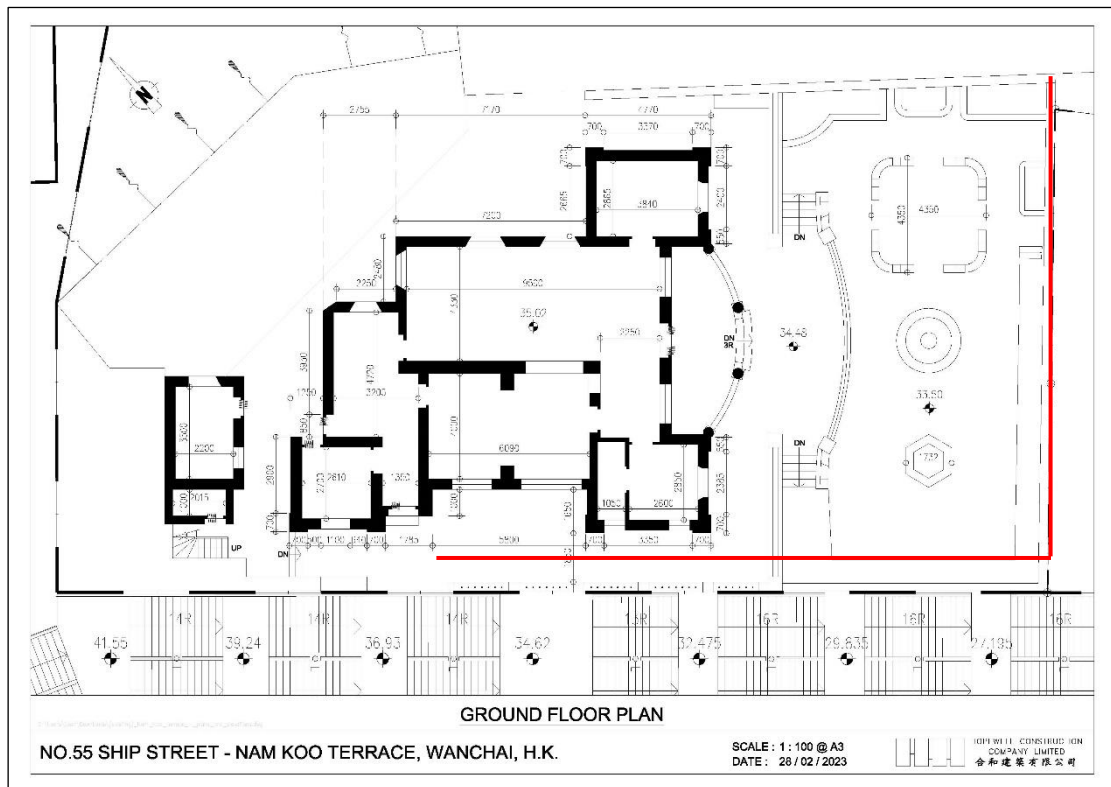
Part B – Cultural Significance

B6.19 Character defining element (CDE) – Annex Block at the rear of Main Building

- The Annex Block is of reinforced concrete column and beam construction with brick in-fill walls
- Level of significance – moderate.

B6.20 Character defining element (CDE) – the boundary wall above the granite block retaining wall at north-east elevation (facing Queen’s Road East) and at south-east elevation (facing Ship Street)

- The boundary wall is divided into segments with pillars and glazed ceramic bamboo shape fencing bars at the upper part, (drawing B-09, and photos B-59 to B-62).
- Level of significance – moderate.



Drawing B-09 – Site plan, the boundary wall above the granite block retaining wall is marked in red

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Photo B-59 – The boundary wall above the granite block retaining wall at
north-east elevation (facing Queen’s Road East), (8th October, 2024)

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Photo B-60 – The boundary wall above the granite block retaining wall at south-east elevation (facing Ship Street), (8th October, 2024)

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Photo B-61 – The boundary wall above the granite block retaining wall at north-east elevation (facing Queen’s Road East), landscaped garden side, (nearly all the glazed ceramic bamboo shape fencing bars at the upper part have been broken), (8th October, 2024)



Photo B-62 – The boundary wall above the granite block retaining wall at south-east elevation (facing Ship Street), landscaped garden side, (nearly all the glazed ceramic bamboo shape fencing bars at the upper part have been broken), (8th October, 2024)

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Part B – Cultural Significance

B6.21 Character defining element (CDE) – entrance gate at the boundary wall at south-east elevation (facing Ship Street)

- The entrance consists of a solid portal frame and a pair of wrought iron gate, (photos B-63 and B-64).
- Level of significance – moderate.



Photo B-63 – the entrance gate at boundary wall at south-east elevation
(facing Ship Street) front side, (7th August, 2021)

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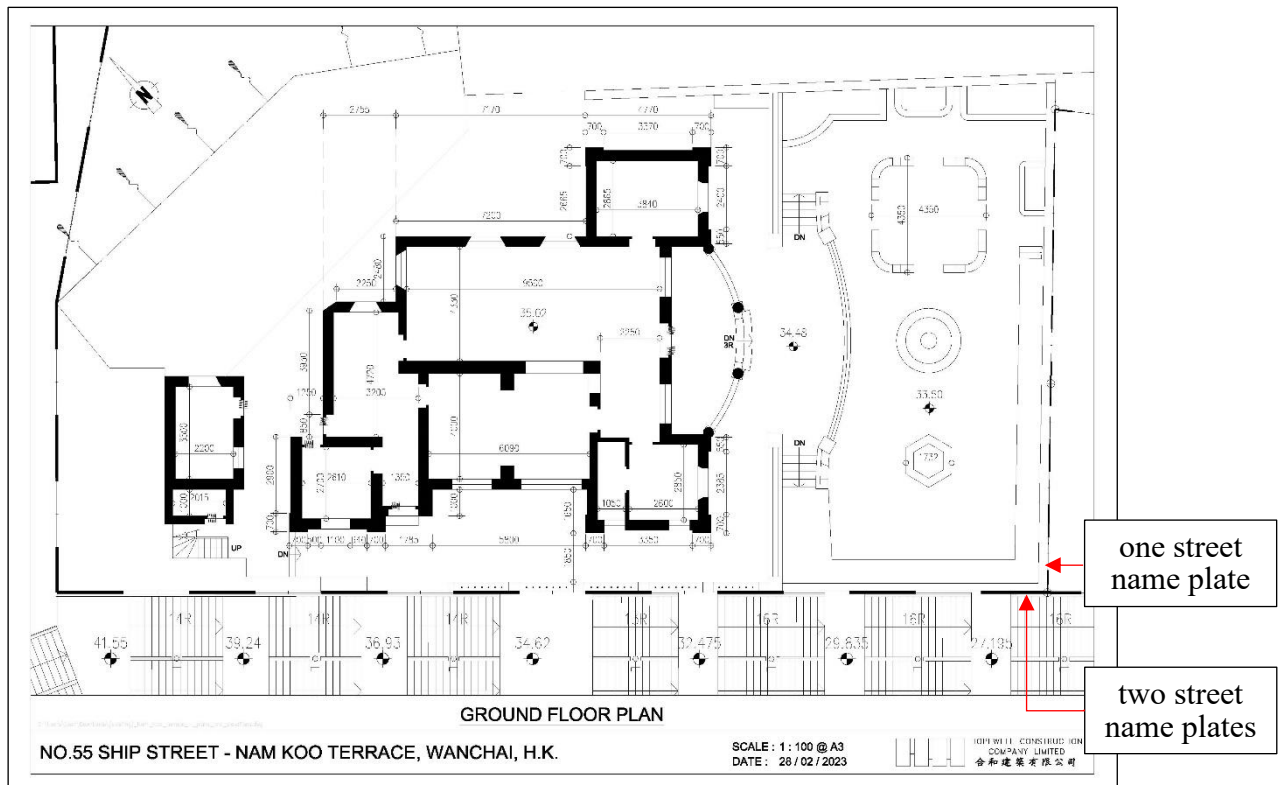
Photo B-64 – the entrance gate at boundary wall at south-east elevation
(facing Ship Street) rear side, (7th August, 2021)

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Part B – Cultural Significance

B6.22 Character defining element (CDE) – the three street name plates at the granite block retaining wall, one at north-east elevation (facing Queen’s Road East), and two at south-east elevation (facing Ship Street)

- The three street name plates are cement plaster relief with protruding Chinese characters, (drawing B-10, and photos B-65 to B-68).
- Level of significance – high.



Drawing B-10 – Site plan, showing the location of the three street name plates
at the granite block retaining wall

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photo B-42



Photo B-65 – The street name plate at the east corner of the granite block retaining wall at north-east elevation (facing Queen’s Road East), (8th October, 2024)



Photo B-66 – the street name plate at the east corner of the granite block retaining wall at north-east elevation (facing Queen’s Road East), (25th October, 2021)

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Photo B-67 – The two street name plates at the front corner of the granite block retaining wall at south-east elevation (facing Ship Street),
(8th October, 2021)

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Photo B-68 – The two street name plates at the front corner of the granite block retaining wall at south-east elevation (facing Ship Street), (8th October, 2021)

Conservation Management Plan for Nam Koo Terrace at no. 55 Ship Street, Wanchai, Hong Kong

Part C – Adaptive Re-use Proposal

C1.0 Project Objectives

- C1.1 Preserve the cultural heritage of Nam Koo Terrace by restoration of all the character-defining elements with high level of significance, and with the minimum intervention to transform the building into one of the cultural landmarks in the district showcasing Hopewell’s continuous urban renewal and revitalization of Wan Chai.
- C1.2 The preservation of Nam Koo Terrace will enhance the cultural heritage resources in Wan Chai, bring a better quality environment to the local resident and improves Wan Chai District as a whole.

C2.0 Propose Use

- C2.1 Nam Koo Terrace will be adaptive re-use and make available for public appreciation.
- C2.2 The landscaped garden will be open to public at reasonable hours.
- C2.3 The ground floor of Main Building will be a café open allowing visitors to fully appreciate the interior of the building, and also add vitality to the historic building.
- C2.4 The first floor of Main Building is currently proposed for event space which could serve for display and / or cultural purposes, that are compatible with the historic building.

C3.0 User’s Requirement

- C3.1 To preserve and restore the character-defining elements (CDE’s) of Nam Koo Terrace as described in C4.0.
- C3.2 Addition of two new staircases in Main Building to meet the “means of escape” requirements.
- C3.3 Addition of pantry on ground floor of Main Building for the café.
- C3.4 Addition of building services installations to satisfy statutory and utility company requirements, and also modern comfort needs.
- C3.5 The whole Main Building to comply with the current statutory requirements.
- C3.6 Stabilization of the slope s at the south side (mountain side) of Nam Koo Terrace.

Conservation Management Plan for Nam Koo Terrace at no. 55 Ship Street, Wanchai, Hong Kong

Part C – Adaptive Re-use Proposal

C4.0 The Existing Character Defining Elements (CDEs) to be Preserved

C4.1 Platform and granite block retaining wall

- (1) The granite block retaining wall will be preserved.
- (2) Clean the granite blocks, and repair the defective pointing.

C4.2 Main Building, main façade

- (1) The main façade character defining elements (CDEs) includes –
 - Ground floor recess entrance porch with four Doric columns including the curve spandrel beam with cornice on top of the columns,
 - First floor verandah with four Ionic columns including the curve spandrel beam with cornice on top of the columns,,
 - Parapet wall at the ground floor recess entrance porch and the verandah on first floor,
 - The plastered wall frieze below the roof parapet wall with the cornice on top, and
 - The red facing brickwork at both sides including the brickwork quoins at both corners and the plaster relief at the top of the quoin.
- (2) The main façade including the above character defining elements will preserved and restored.
- (3) There will be no alteration and addition works to the main façade, except signage.
- (4) Repair the plaster on the ground floor Doric columns and first floor Ionic columns including the capital and column base and the curve spandrel beam with cornice on top of the columns, and painted.
- (5) The two bays of parapet wall at the ground floor recess entrance porch and the three bays at the verandah on first floor will restored, including –
 - Clean the red facing brickwork with small protruding parts towards the middle at both ends at all five bays, and repair the defective pointing,
 - Replicate the glazed ceramic bottle shape baluster,
 - Replace the broken balusters – all four are broken at both bays on ground, and one broken at the east bay on first floor,
 - Check and clean the balusters on first floor (remaining three at east bay, five at the middle, and four at the west bay), and also replace the cracked balusters,
 - Clean the granite coping at all five bays, and repair the defective pointing with the red facing brickwork below,
 - Repair the plaster on the ball shape decorative feature at both ends of the granite coping, and paint,

Conservation Management Plan for Nam Koo Terrace at no. 55 Ship Street, Wanchai, Hong Kong

Part C – Adaptive Re-use Proposal

- Restore the two broken ball shape decorative feature at the end of the granite coping, (one at ground floor and one at first floor).
- (6) Repair the plastered wall frieze below the roof parapet wall with the cornice on top, and paint.
- (7) Clean the red facing brickwork at both sides including the brickwork quoins at both corners, and repair the defective pointing.
- (8) Repair the plastered relief on top of the brickwork quoin, and paint.

C4.3 Main Building, south-east elevation (facing Ship Street)

- (1) The south-east elevation character defining elements (CDEs) includes –
 - The balcony on first floor at the middle portion including the wrought iron balustrade,
 - The two non-typical timber windows at ground floor middle portion – the rectangular window and circular window,
 - The voussoir arch over the side entrance at ground floor at the middle portion
 - The plastered wall frieze below the roof parapet wall with the cornice on top, and
 - The red facing brickwork at both sides including the brickwork quoins at both corners.
- (2) The south-east elevation including the above character defining elements will preserved and restored.
- (3) There will be no alteration and addition works to the south-east elevation, except signage.
- (4) Check the soffit and the supporting canti-levered beam of the first floor balcony, and repair the spalling concrete.
- (5) Repair the plaster at the soffit and the supporting canti-levered beam of the first floor balcony, and paint.
- (6) Remove the paint and rust on wrought iron balustrade at the first floor balcony, and paint.
- (7) The two non-typical timber windows at ground floor middle portion – the rectangular window and circular window –
 - Replace the timber window including the glazing,
 - Remove the paint and rust on wrought iron window grille, and paint, and
 - Repair the plastered window surround, and paint.
- (8) Repair the plaster at the voussoir arch over the side entrance at ground floor, and paint.

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Part C – Adaptive Re-use Proposal

- (9) Repair the plastered wall frieze below the roof parapet wall with the cornice on top, and paint.
- (10) Remove the paint and clean the red facing brickwork including the brickwork quoins at both corners of both sides, and repair the defective pointing.
- (11) Repair the plastered relief on top of the brickwork quoin, and paint.

C4.4 Main Building, window including the wrought iron window grille

- (1) The window include the 21 nos. window of typical design on, (10 nos. on ground floor and 11 nos. on first floor).
- (2) Prepare cartographic survey drawings for the windows with different dimensions, including information of ironmongery.
- (3) Some of the windows including the wrought iron window grille have been taken down, and from our preliminary inspection, the existing timber casement windows and frames are in very poor condition, and beyond repair.
- (4) Supply and install new timber windows and frame in accordance with the cartographic survey drawings and ironmongery information.
- (5) Remove the paint and rust on the existing wrought iron window grille, and paint.
- (6) Replicate the wrought iron window grille (of different dimensions).
- (7) Replace the missing wrought iron window grille, and paint.
- (8) Repair the plaster at the voussoir arch on top of each window, and paint.
- (9) Repair the plaster at the window cill of each window, and paint.
- (10) Some of the panes of the timber casement window may need to be modified to accommodate the adaptive re-use of the Building, such as replacement of the glass pane by louvre, and such alteration works –
 - Apply to the windows on the north-west elevation (facing Admiralty side) and south-west elevation (rear elevation),
 - Should not change the configuration of the timber casement window, (that is should not alter the size and shape of the window panes),
 - The louvre should be timber louvre, and
 - No alteration to the pattern of the wrought window grille.

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Part C – Adaptive Re-use Proposal

C4.5 Main Building, roof – parapet wall

- (1) The roof parapet wall character defining elements (CDEs) includes –
 - The main “solid” parapet wall divided in portions following the perimeter of the roof, and
 - The wrought iron grille parapet wall at the south-east elevation (facing Ship Street) above the balcony on first floor, and at south-west elevation (rear elevation).
- (2) The main “solid” parapet wall divided in portions following the perimeter of the roof will be restored, including –
 - Clean the red facing brickwork at each bay, and the slightly higher corner brick pillars.
 - Replicate the glazed ceramic bottle shape baluster,
 - Replace the missing, broken and cracked balusters,
 - Repair the cracks at the plastered coping of each bay,
 - Repair the plaster on coping of each bay, and on top of the slightly higher corner brick pillars, and paint,
 - Repair the plaster on the vase shape decorative feature on top of the brick pillars, and paint, and
 - Restore the broken and missing vase shape decorative feature on top of the brick pillars.
- (3) Remove the paint and rust on the two wrought iron balustrades, and paint.
- (4) An additional balustrade of minimum 1,100 mm high may be added at the rear side of the existing balustrades to comply with statutory requirements –
 - The design of this additional balustrade should be elegant,
 - This additional balustrade should not be fixed onto any parts of the existing balustrade, and
 - The top part of this additional balustrade should not project over any parts of the existing balustrade.

C4.6 Main Building, roof – chimney

- (1) Repair the cracks on the plastered top and sides.
- (2) Repair the plaster on the top and sides, and paint.
- (3) Block up the opening on the chimney stack properly, such that no water can seep into the chimney.

Conservation Management Plan for Nam Koo Terrace at no. 55 Ship Street, Wanchai, Hong Kong

Part C – Adaptive Re-use Proposal

C4.7 Main Building, roof – the Chinese style pavilion

- (1) Prepare cartographic survey drawings of the pavilion including –
 - The supporting system of the roof, (the support of timber purlin at the eaves),
 - Detail dimensions of all building components,
 - Detail of the decorative feature at the junction (top) of the four hip ridges, and
 - Information of the materials.
- (2) The existing pavilion is in a very dilapidated condition such that it is beyond repair.
- (3) Check the condition of the four columns and beams, and the two canti-levered brackets at both sides for supporting the timber purlin, and carry out repair work and strengthening work if necessary.
- (4) Take down all roof members including the timber roof truss, timber batten, end rafter batten (劍桷) and roof tiling.
- (5) Check the conditions of the timber roof truss, and re-use these two sets of timber roof truss if sound condition, and also can also structural requirements.
- (6) Replicate the pan tile, roll tile, glazed ceramic header tile (琉璃瓦當) and glazed ceramic dripper tile (琉璃滴水瓦).
- (7) Re-construction the timber roof structure including re-use the existing timber roof truss is possible, new timber purlin, new timber and new timber end rafter batten.
- (8) Lay double layer pan and single layer roll (單筒雙瓦) roof tiling with new pan tile, new roll tile, new glazed ceramic header tile and new glazed ceramic dripper tile (琉璃滴水瓦).
- (9) Form the four hip ridges including the decorative feature at the junction (top).
- (10) There is one carved timber eaves board remaining –
 - Salvage this carved timber eaves board, repair, paint and apply gold gilding, and re-install back after restoration, and
 - Use this timber carved timber eaves board as pro-type, and replicate the three missing timber carved eaves board.
- (11) Paint the roof timber members.
- (12) Take down the existing screens on all four sides.
- (13) Replicate the screens
- (14) Repair the plaster of the four columns and beams, and the two canti-levered brackets at both sides for supporting the timber purlin, and paint.
- (15) Repair the plaster of the parapet wall on all four sides, and paint.
- (16) Install new screens on all four sides.

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Part C – Adaptive Re-use Proposal

C4.8 Main Building, exterior – cast iron water downpipe and hopper

- (1) Check the condition of all cast iron downpipes.
- (2) Replace all blocked up, cracked and defective cast iron downpipes.
- (3) Replace all later not proper replacements, such as the replaced PVC downpipes.
- (4) Check all the fixing brackets of the downpipes, and ensure all fixings are secure and proper.
- (5) Check all joints on the downpipes, and ensure no water leakage.
- (6) Remove all later added discharge pipes to the cast iron rainwater hopper.
- (7) Remove all rust and paint on the cast iron rainwater downpipe and hopper including internal surface of the hopper, and paint.

C4.9 Main Building, interior – floor tiles

- (1) Record the materials and condition of the floor tiles on both ground floor and first floor.
- (2) Repair the cracked and defective encaustic floor tiles and border.
- (3) Repair the cracked and defective hexagonal ceramic floor tile and border.

C4.10 Main Building, interior – ceiling stepped cornice

- (1) Record the condition of the ceiling cornices on both ground floor and first floor.
- (2) Repair the plaster, and paint.
- (3) Some of the ceiling panels may be covered by false and the stepped cornice, to accommodate fire services installations, and air-condition equipment and ductworks.

C4.11 The boundary wall above the granite block retaining wall at south-east elevation (facing Ship Street)

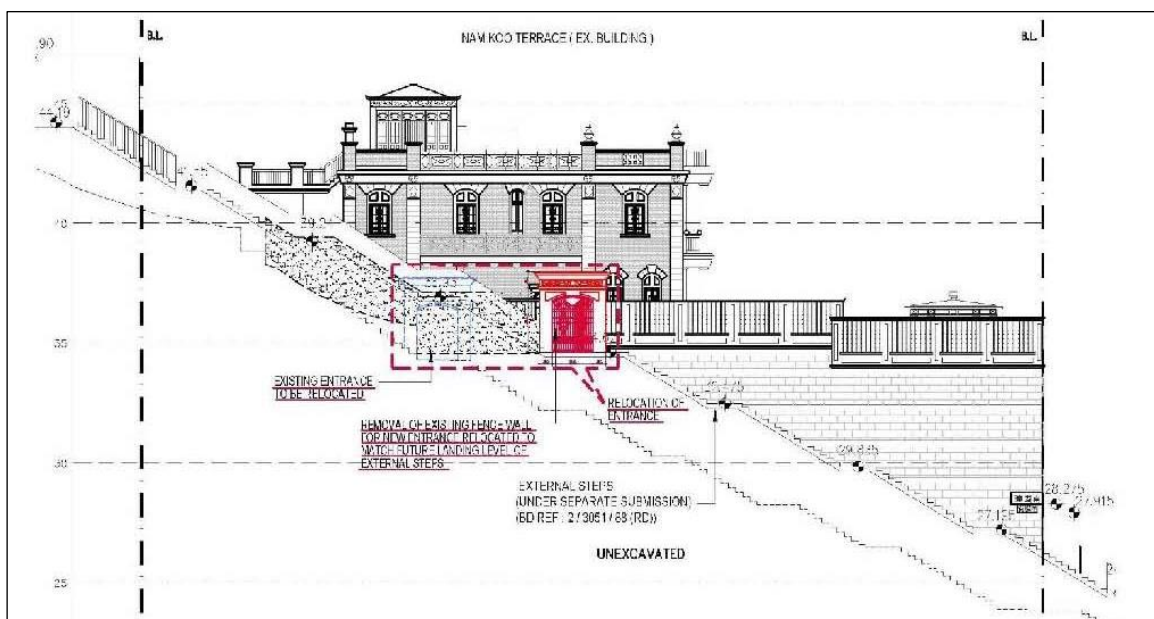
- (1) Repair the cracks at the wall.
- (2) Repair the rendering, and paint.
- (3) Replicate the glazed ceramic bamboo shape fencing bar at the upper part.
- (4) Replace the missing, broken and cracked glazed ceramic bamboo shape fencing bar at the upper part.

Conservation Management Plan for Nam Koo Terrace at no. 55 Ship Street, Wanchai, Hong Kong

Part C – Adaptive Re-use Proposal

C4.12 Entrance gate at the boundary wall at south-east elevation (facing Ship Street)

- (1) The entrance gate to Nam Koo Terrace at Ship Street is to be relocated due to the up-grading work along the steps of Ship Street, (drawing C-01).
- (2) The existing entrance gate will be dismantled carefully and replicated in the new position following the –
 - Dimensions of the existing, and
 - Architectural features of the existing, such as the projecting keystone, the scroll shaped pattern decoration across the top, the motif surrounds, and cornices of different detailing and at different levels.
- (3) Please refer to “Appendix 3 – Response to Antiquities and Monuments (AMO) comments in Approval from Buildings Department for Buildings (Alterations and Additions), letter ref. BD22-3/3027/20(HU dated) dated 14th May, 2021” – “appendix 1 – Detailed method statement regarding the removal and protection of the entrance gateway” for the relocation work –
 - Scope of work,
 - Preparation works,
 - The entrance gateway in new position and structure,
 - Salvage the exiting entrance gateway,
 - The entrance gateway with new structural frame,
 - The iron gate, and
 - Other artefacts to be salvaged and re-install in the entrance gateway in new position.



Drawing C-01 – Drawing showing the original and new position
of the entrance gate at Ship Street

Conservation Management Plan for Nam Koo Terrace at no. 55 Ship Street, Wanchai, Hong Kong

Part C – Adaptive Re-use Proposal

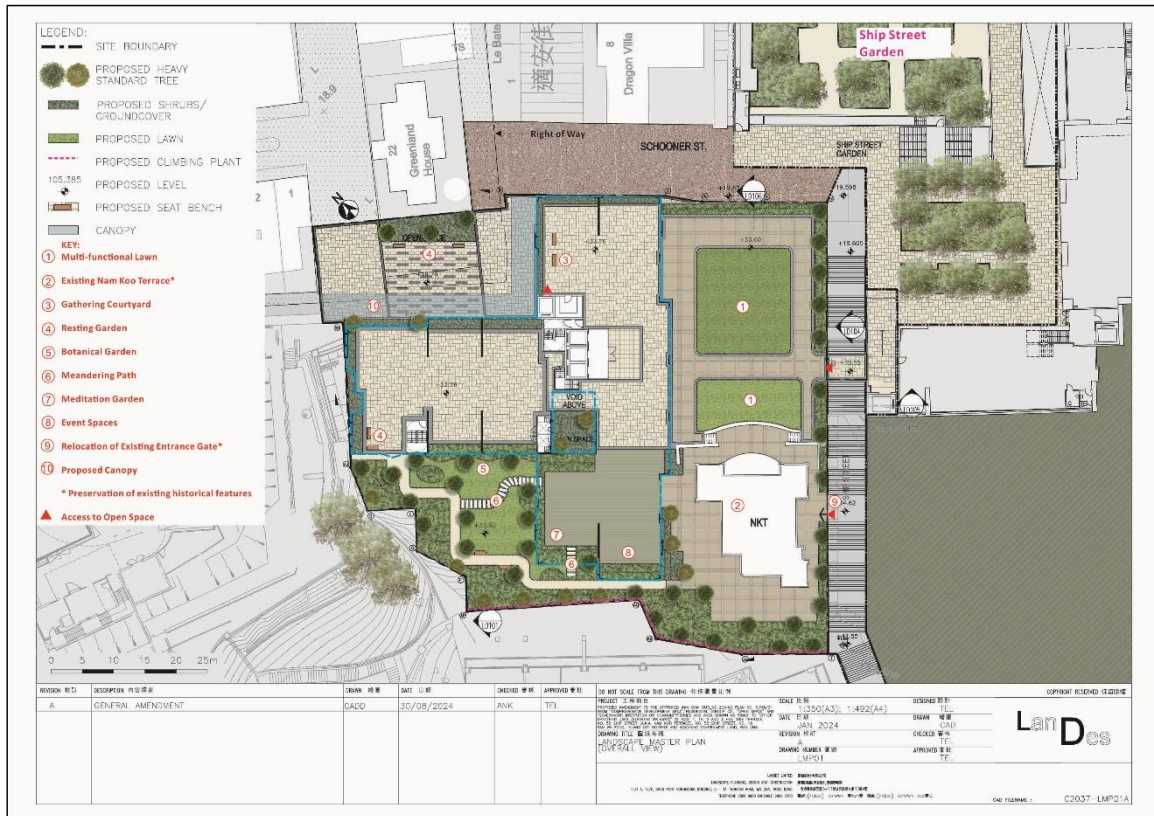
C5.0 Integration of Nam Koo Terrace as part of the Comprehensive Development

C5.1 The boundary wall above the granite block retaining wall at north-east elevation (facing Queen’s Road East) and at south-east elevation (facing Ship Street)

(1) This boundary wall will be taken down so that the landscaped garden could be connected with the podium open space of the CDA and forms part of a comprehensive landscape concept, (drawing C-02).

C5.2 The landscaped garden at the front of main façade of Main Building

(1) The pavilion, water foundation and hexagonal shape planter in the landscaped garden will be removed such that the landscaped garden can be integrated into the overall design of the podium landscape garden (drawing C-02).



Drawing C-02 – Drawing showing the landscaped garden of Nam Koo Terrace integrated into the Comprehensive Development

Conservation Management Plan for Nam Koo Terrace at no. 55 Ship Street, Wanchai, Hong Kong

Part C – Adaptive Re-use Proposal

C5.3 The three street name plates at the granite block retaining wall

- (1) The three street name plates include –
 - One at the north-east elevation (facing Queen’s Road East), (east corner of the granite block retaining wall), (photo C-01), and
 - Two at the south-east elevation (facing Ship Street), (front corner of the retaining wall), (photo C-02).
- (2) The one street name plate at the north-east elevation (facing Queen’s Road East), (east corner of the granite block retaining wall) r contains 3 Chinese characters “南固臺”, and is in poor condition, (photo C-01) –
 - Each Chinese characters “南固臺” is partly broken, and the semi-circular protruding surround is also broken at various locations.
 - A podium will be erected in front of the masonry retaining wall at the north side, this street name plate will no further be visible to the public.
 - Since it is not feasible to relocate this street name plate, it will be preserved by record, and present digital record to the public.
- (3) The two street name plates at the south-east elevation (facing Ship Street), (front corner of the retaining wall), the upper one with 3 Chinese characters “南固臺”, and the lower one also with 3 Chinese characters “洋船街” –
 - Both are in poor condition, (photo C-02),
 - The upper one with 3 Chinese characters – the two Chinese characters “固” and “臺” are partly broken, the semi-circular protruding surround is also broken at various locations, and the left edge (when view towards the plate) of the base plate had been repaired by covering with a “chunan” look paste
 - Both are covered by some tree roots.
 - These two street name plates will be repaired and preserved in-situ.
 - And the railing in front of the two street name plates will be modified, such that there will be no railing in front of the two street name plates. (subject to approval from Government Department)

**Conservation Management Plan for Nam Koo Terrace at
no. 55 Ship Street, Wanchai, Hong Kong**

Part C – Adaptive Re-use Proposal



Photo C-01 – The street name plate at the north-east elevation (facing Queen’s Road East), (east corner of the granite block retaining wall) with the Chinese characters “南固臺”. (25th October, 2021)

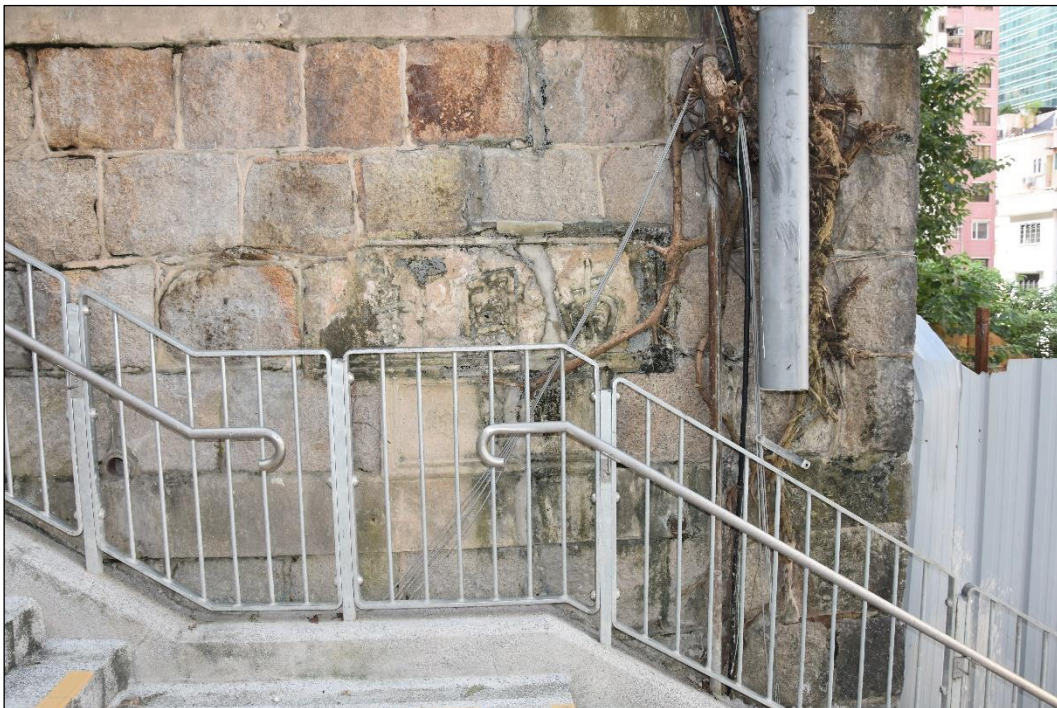


Photo C-02 – The two street name plates at the south-east elevation (facing Ship Street), (front corner of the retaining wall) with Chinese characters “南固臺” (upper) and “洋船街” (lower), (8th October, 2024)

Conservation Management Plan for Nam Koo Terrace at no. 55 Ship Street, Wanchai, Hong Kong

Part C – Adaptive Re-use Proposal

C6.0 The Slope at the South side of Nam Koo Terrace – Geo-technical Works

C6.1 A new retaining wall is required

- (1) The stability of the retaining wall behind the Annex Block is unknown. Reference could be made to the wall portion in the vicinity of Annex Block which the wall height and nature are the same. Stability assessment was carried out and the wall was considered as sub-standard. Upgrading works by wall thickening was then carried out in the past. Therefore, upgrading work is considered necessary for the retaining wall behind Annex Block. Possible upgrading works could be wall thickening or construct a retaining wall to support the upslope and ground within St Francis College's extension. Both options require the removal of the Annex Block to facilitate the aforesaid upgrading works.

- (2) In addition, some cracks and spalling were found on the existing staircase of the existing annex building connecting to Nam Koo Terrace during recent site inspection. It is relative structural unstable and may collapse during the construction of new retaining structure. As a result, the annex building is strongly recommended to be removed to maintain public safety.

- (3) The Annex Block is not within the graded building boundary of Nam Koo Terrace, efforts will make to preserve this building by record. Measured drawing and digital record of the building will be prepared before it is taken down.

**Conservation Management Plan for Nam Koo Terrace at
no. 55 Ship Street, Wanchai, Hong Kong**

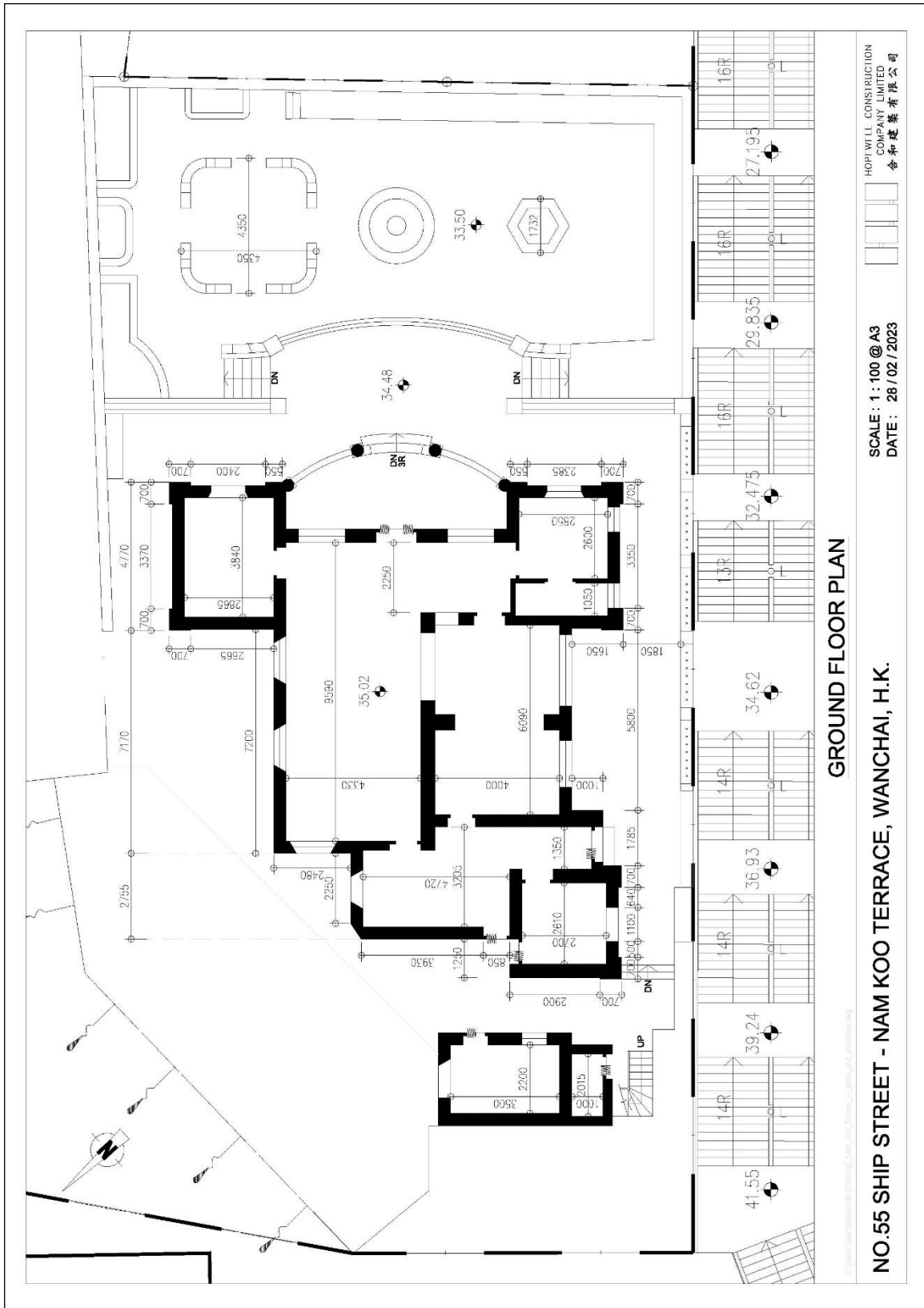
**Appendix 1 – Perspective drawing of Nam Koo Terrace
as part of the Comprehensive Development**



**Drawing App1-01 – view of the Comprehensive Development with
Ship Street Garden in front, view from Queen's Road East**

**Conservation Management Plan for Nam Koo Terrace at
no. 55 Ship Street, Wanchai, Hong Kong**

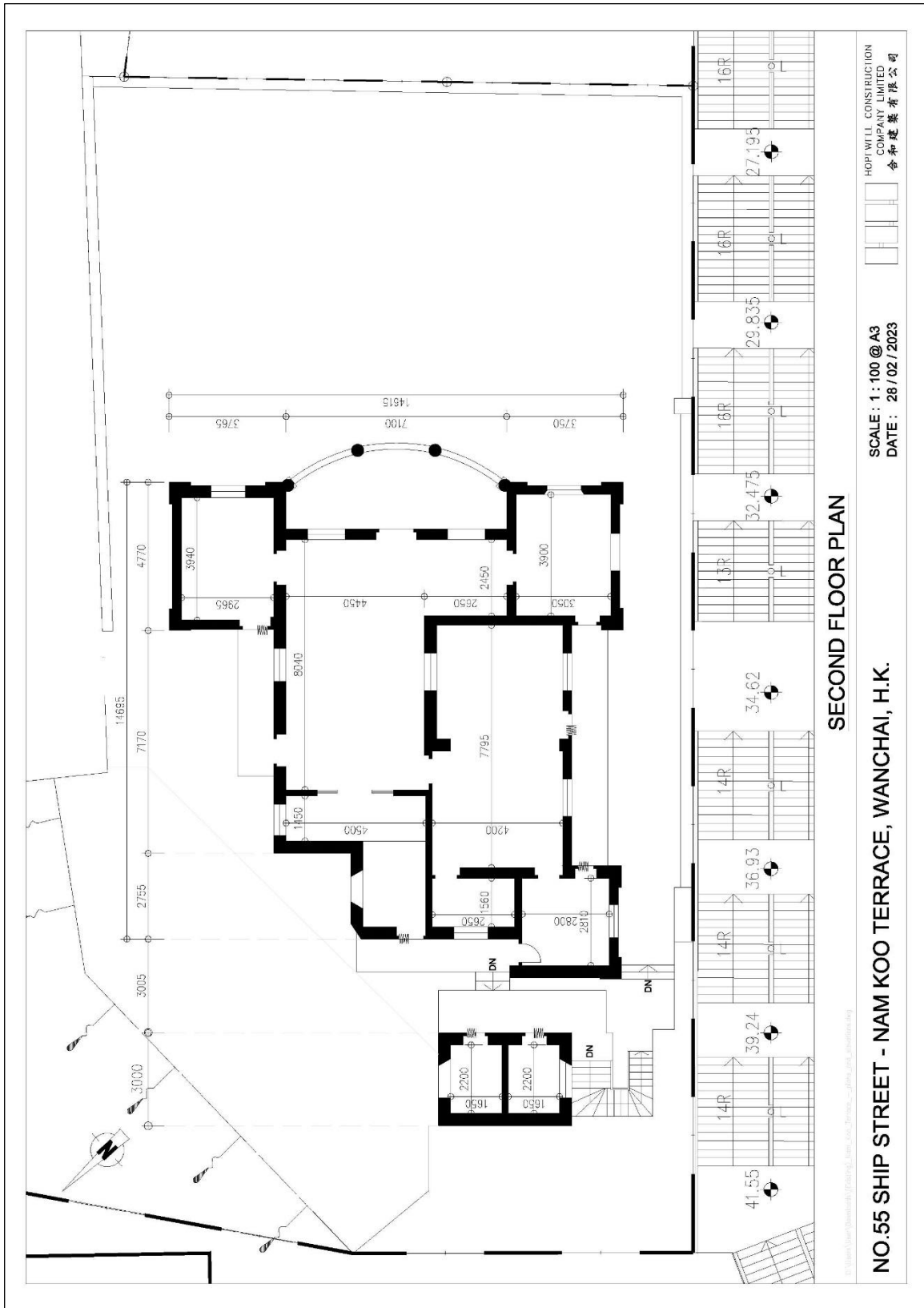
Appendix 2 – Measured drawing of Nam Koo Terrace



Drawing App2-01– ground floor plan

**Conservation Management Plan for Nam Koo Terrace at
no. 55 Ship Street, Wanchai, Hong Kong**

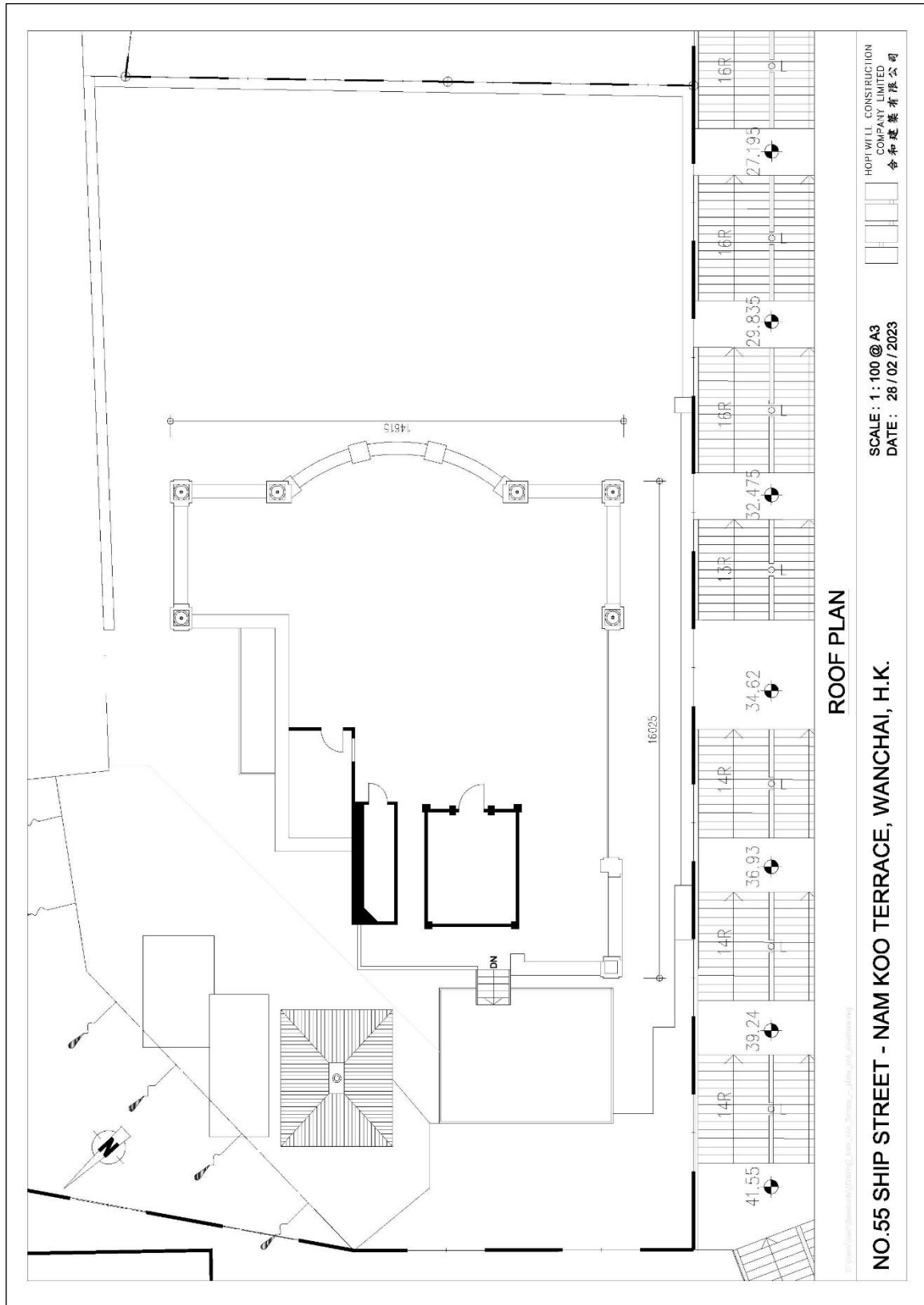
Appendix 2 – Measured drawing of Nam Koo Terrace



Drawing App2-02 – first floor plan

**Conservation Management Plan for Nam Koo Terrace at
no. 55 Ship Street, Wanchai, Hong Kong**

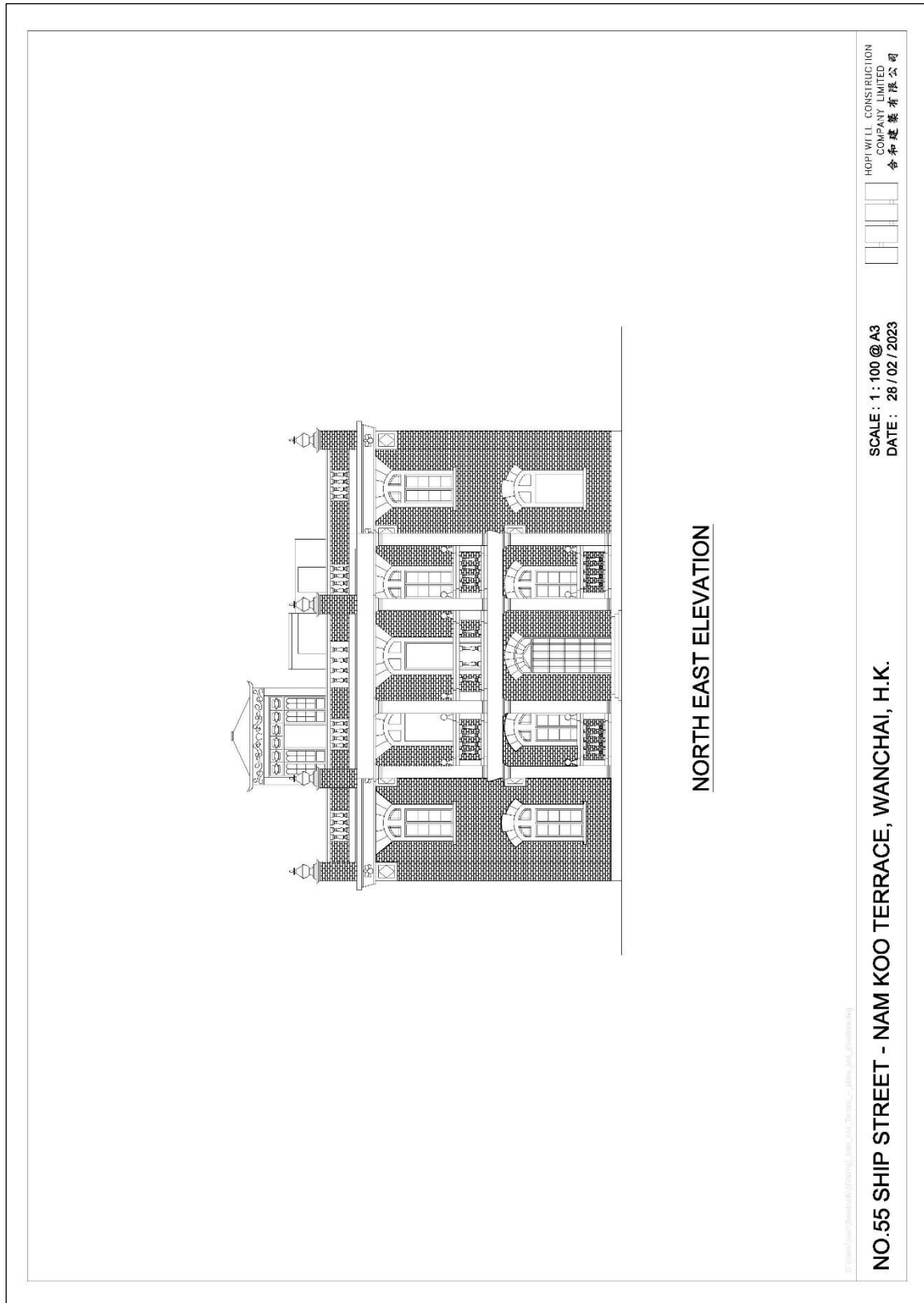
Appendix 2 – Measured drawing of Nam Koo Terrace



Drawing App2-03 – roof plan

**Conservation Management Plan for Nam Koo Terrace at
no. 55 Ship Street, Wanchai, Hong Kong**

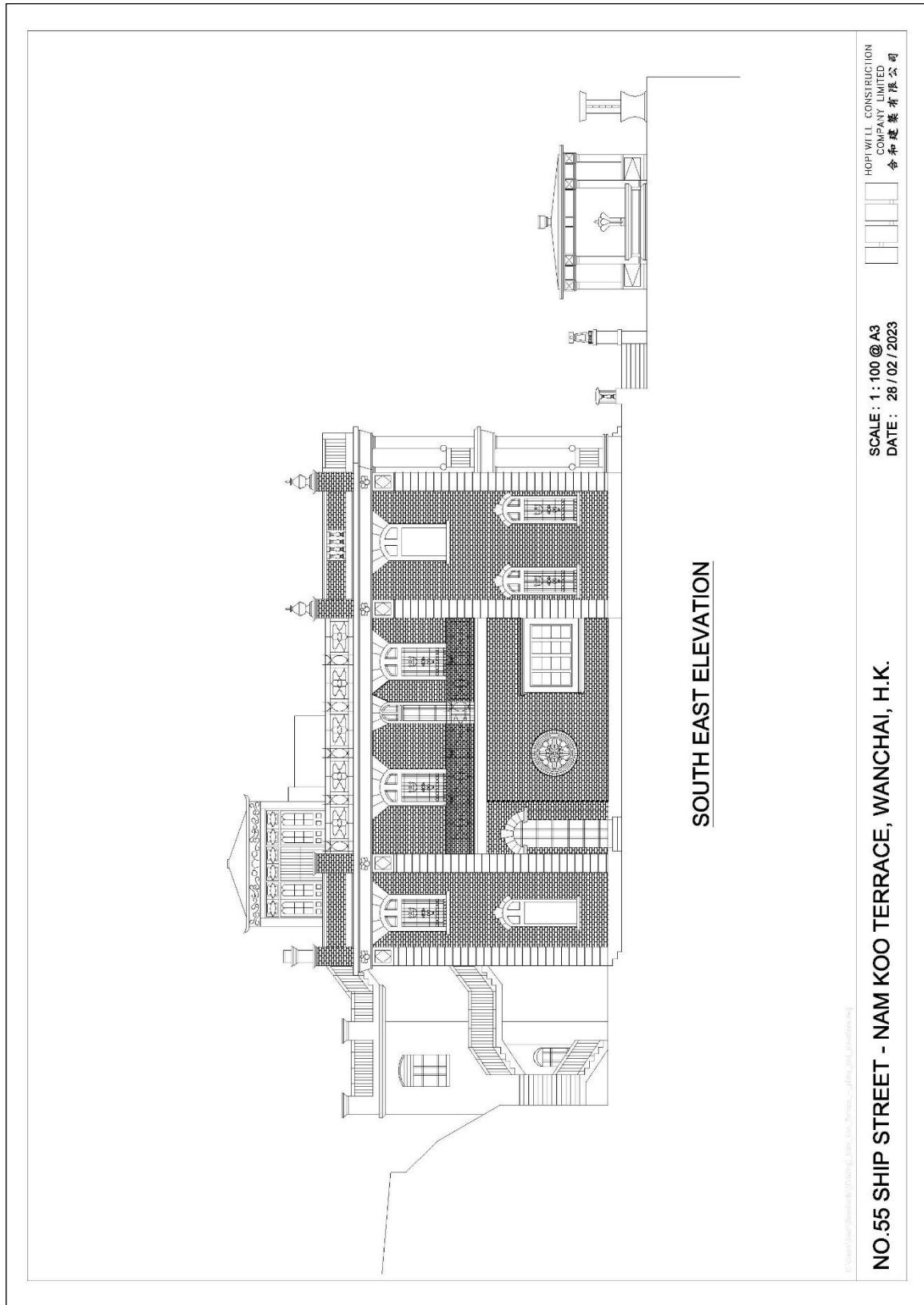
Appendix 2 – Measured drawing of Nam Koo Terrace



Drawing App2-04 – north-east elevation (front elevation)

**Conservation Management Plan for Nam Koo Terrace at
no. 55 Ship Street, Wanchai, Hong Kong**

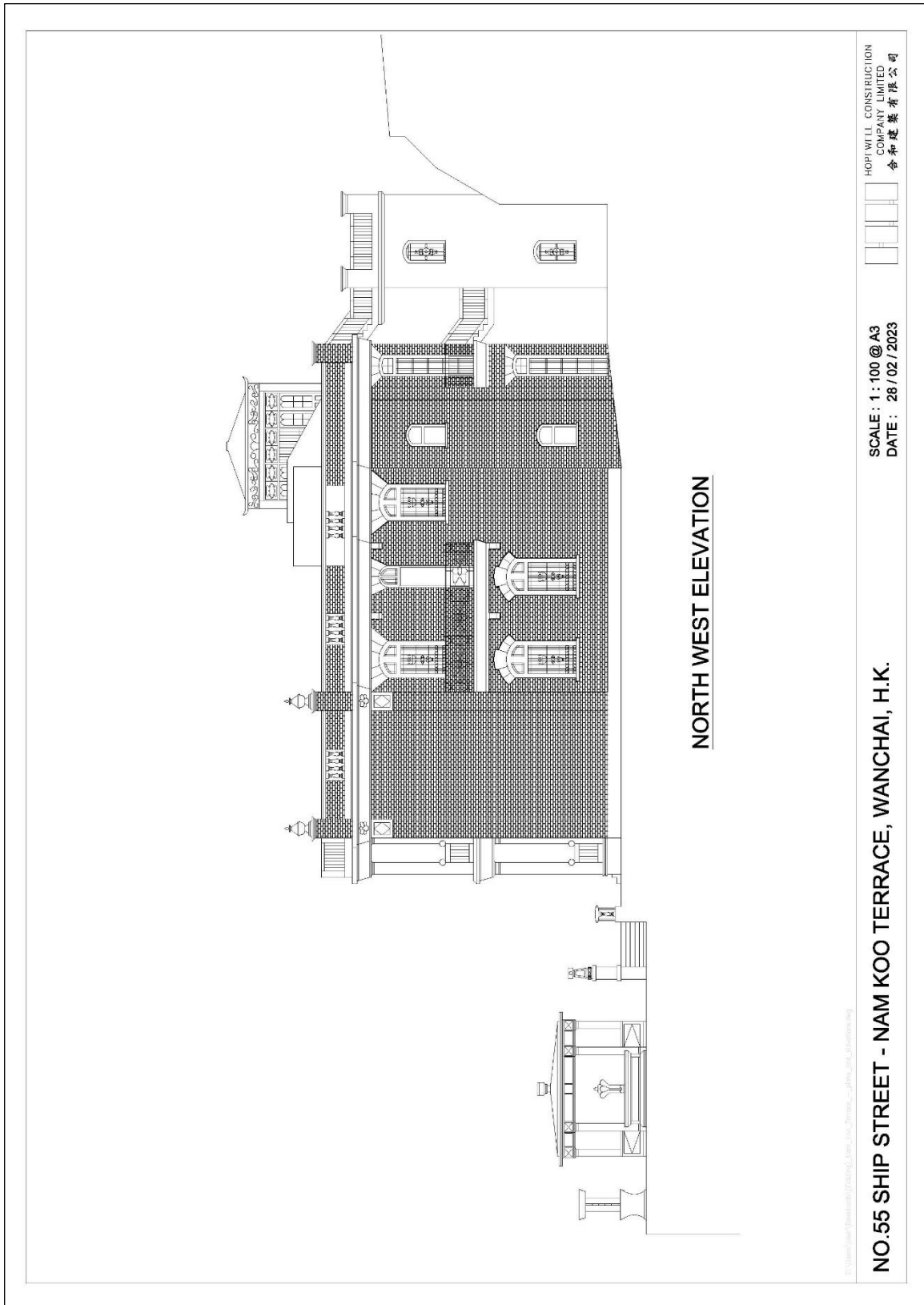
Appendix 2 – Measured drawing of Nam Koo Terrace



Drawing App2-05 – south-east elevation (side elevation)

**Conservation Management Plan for Nam Koo Terrace at
no. 55 Ship Street, Wanchai, Hong Kong**

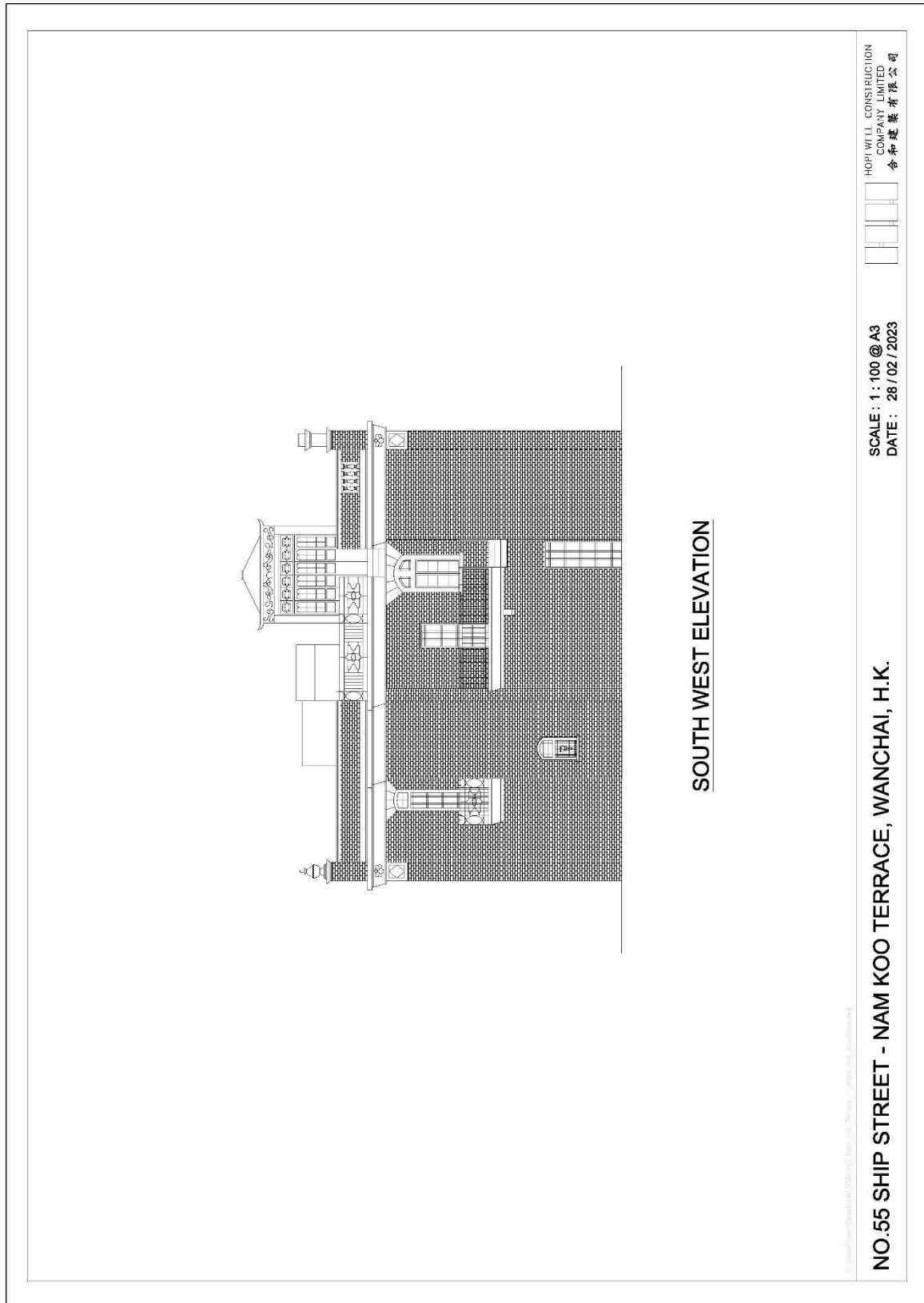
Appendix 2 – Measured drawing of Nam Koo Terrace



Drawing App2-06 – north-west elevation (side elevation)

**Conservation Management Plan for Nam Koo Terrace at
no. 55 Ship Street, Wanchai, Hong Kong**

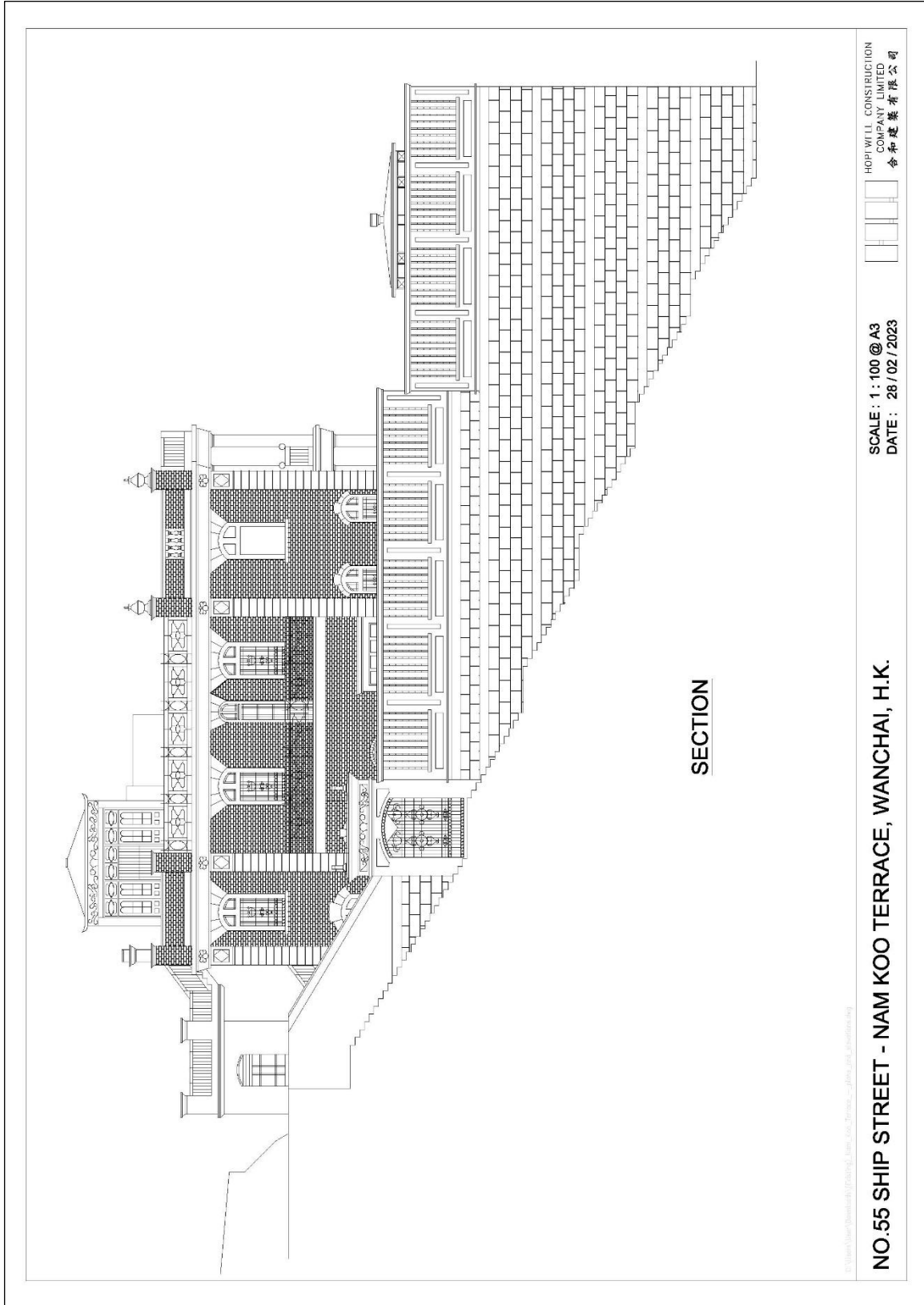
Appendix 2 – Measured drawing of Nam Koo Terrace



Drawing App2-07 – south-west elevation (rear elevation)

**Conservation Management Plan for Nam Koo Terrace at
no. 55 Ship Street, Wanchai, Hong Kong**

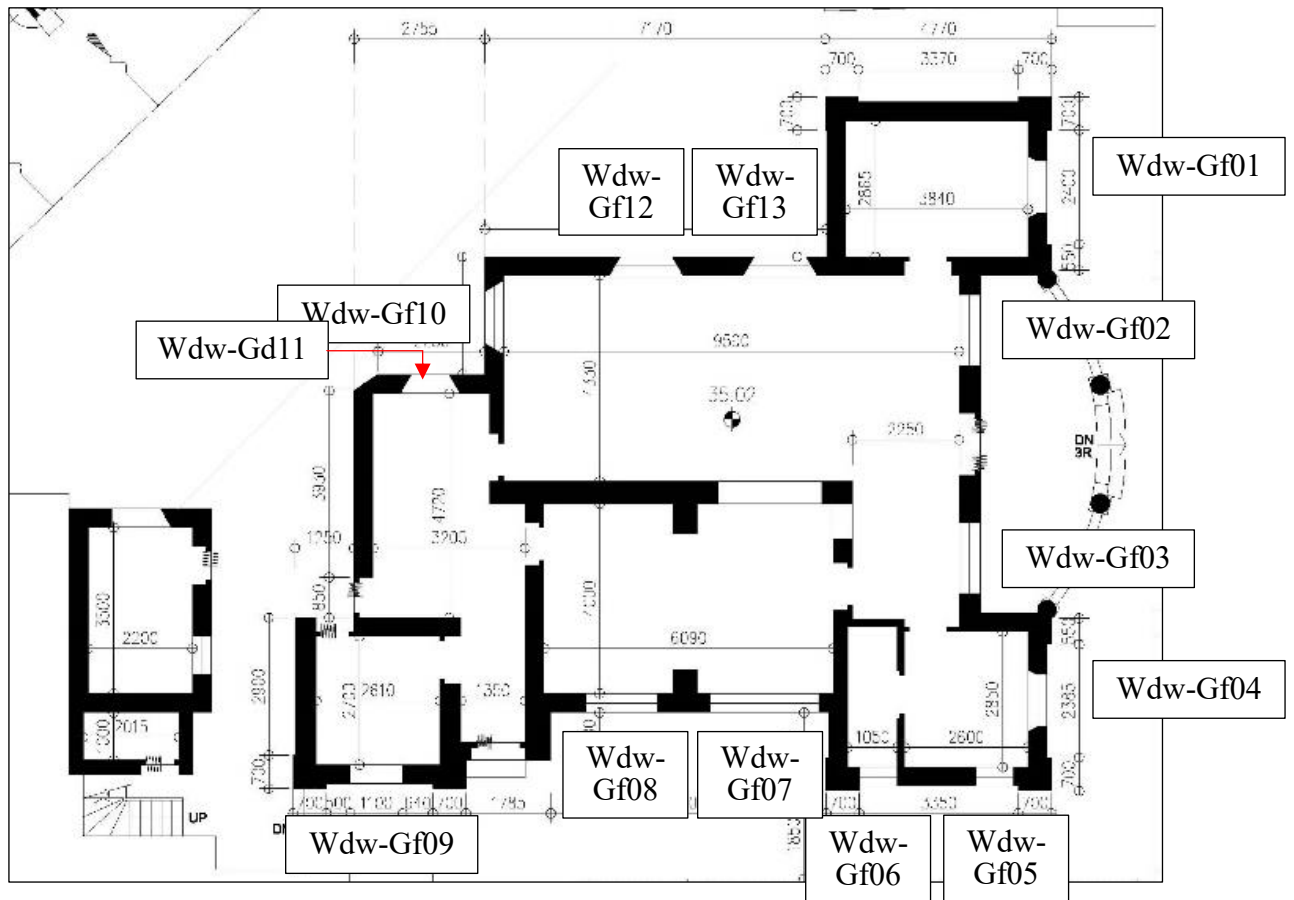
Appendix 2 – Measured drawing of Nam Koo Terrace



Drawing App2-08 – elevation along Ship Street

**Conservation Management Plan for Nam Koo Terrace at
no. 55 Ship Street, Wanchai, Hong Kong**

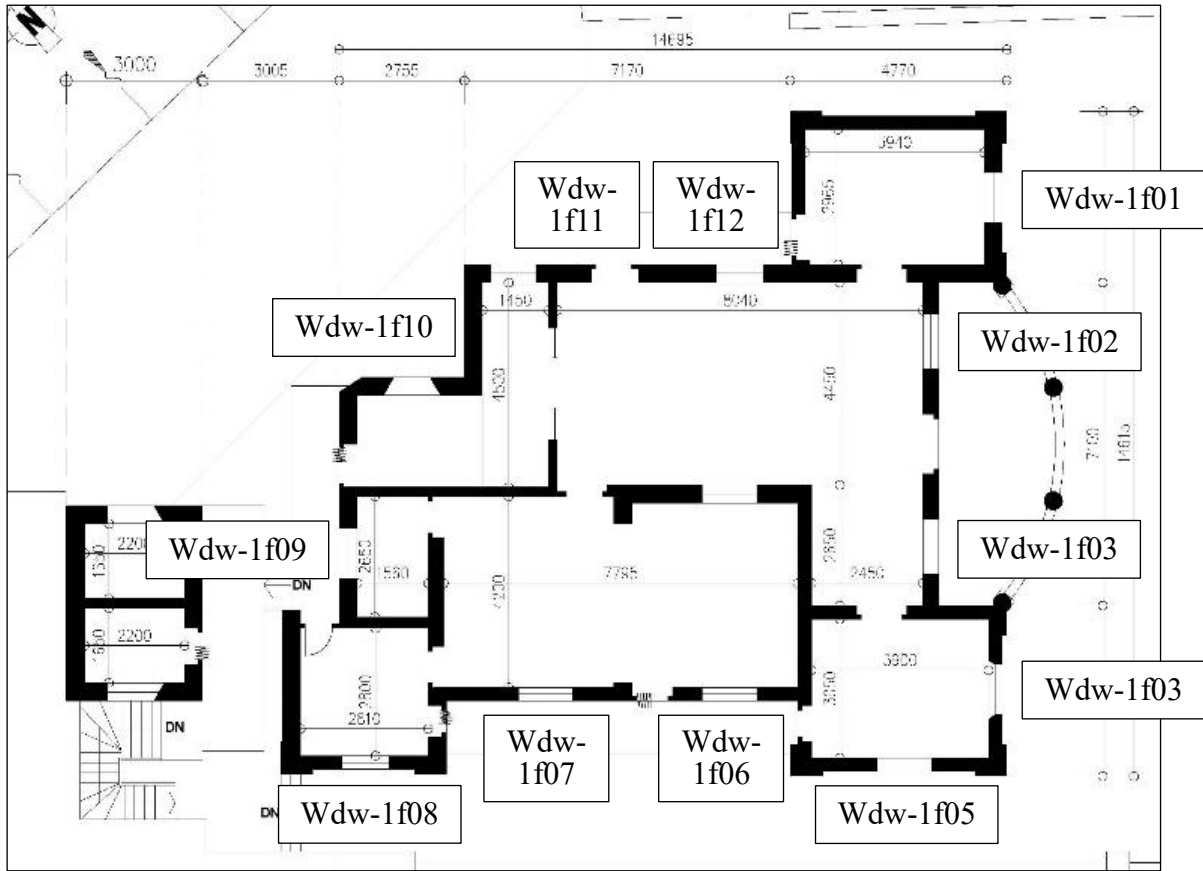
Appendix 3 – Photo Record of the Windows in Main Building



Drawing App3-01 – Ground floor plan, showing the window marks
of Main Building

**Conservation Management Plan for Nam Koo Terrace at
no. 55 Ship Street, Wanchai, Hong Kong**

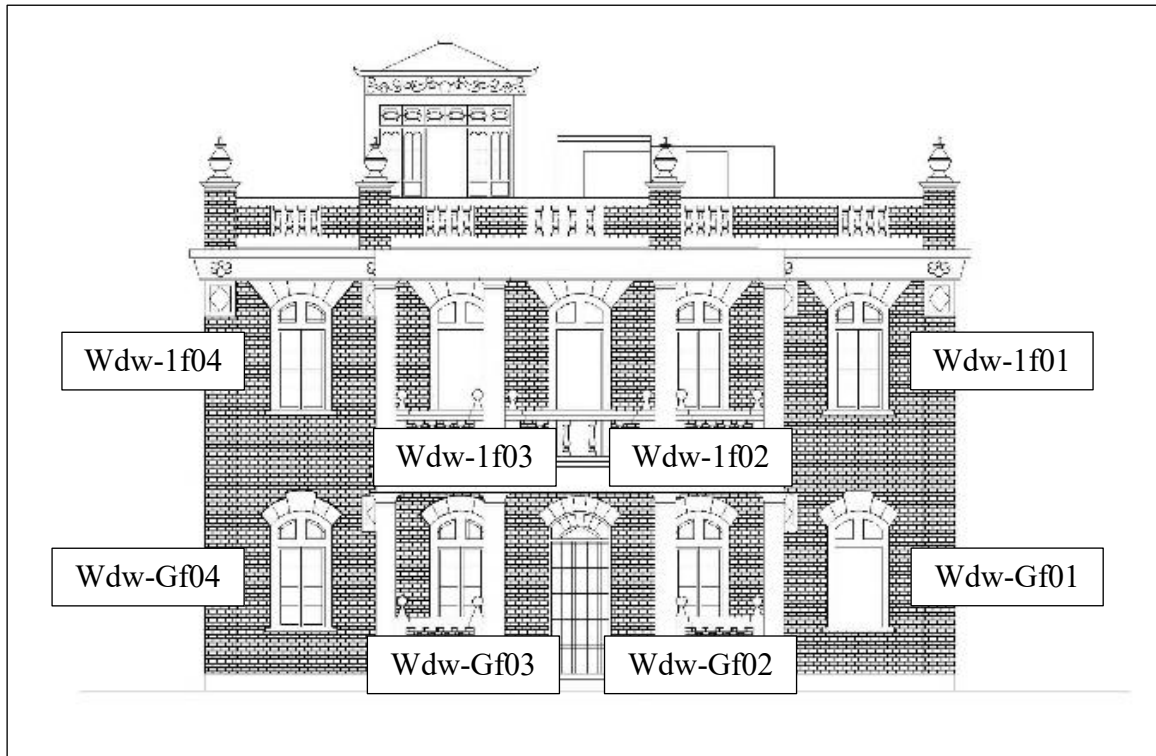
Appendix 3 – Photo Record of the Windows in Main Building



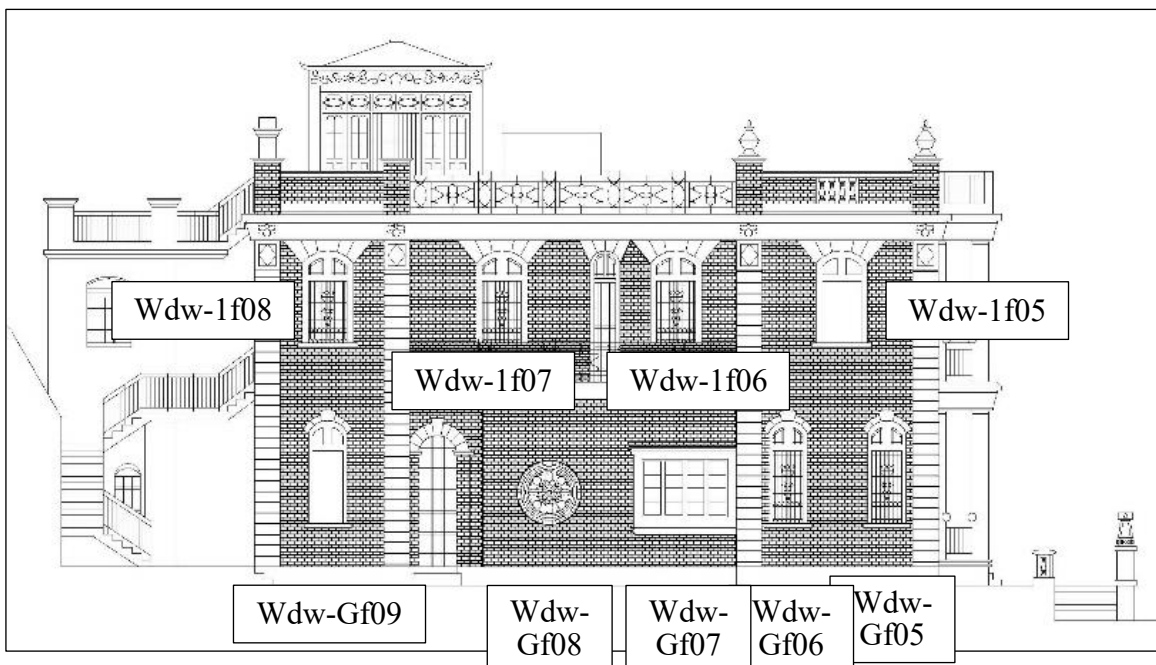
Drawing App3-02 – First floor plan, showing the window marks
of Main Building

**Conservation Management Plan for Nam Koo Terrace at
no. 55 Ship Street, Wanchai, Hong Kong**

Appendix 3 – Photo Record of the Windows in Main Building



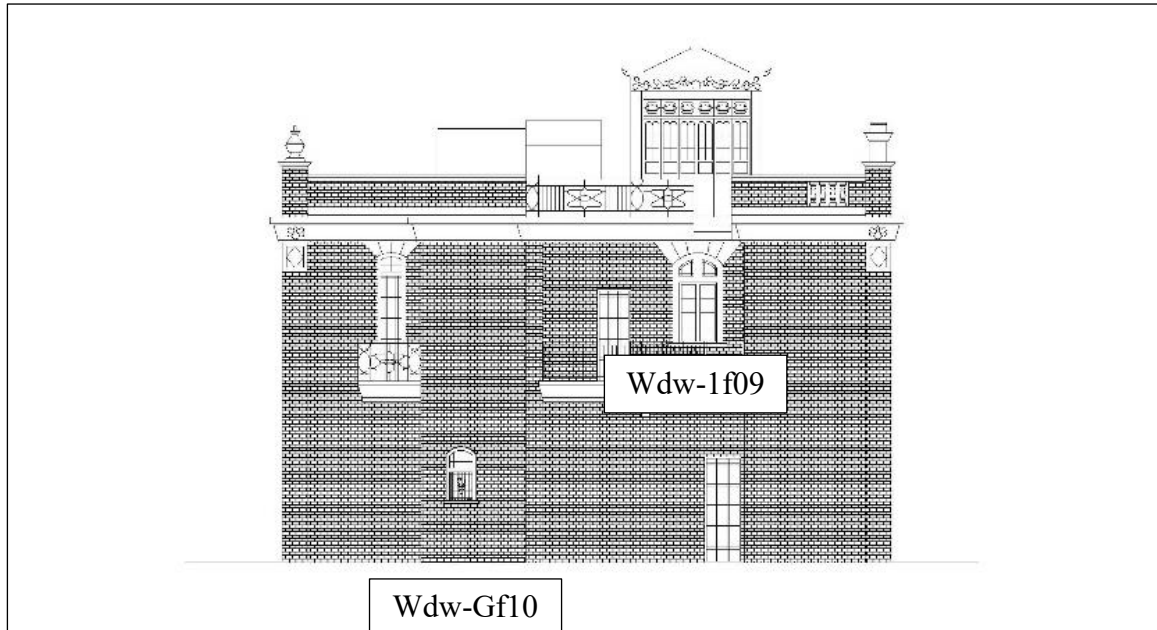
Drawing App3-03 – North-east elevation (front elevation)
of Main Building, showing the window marks



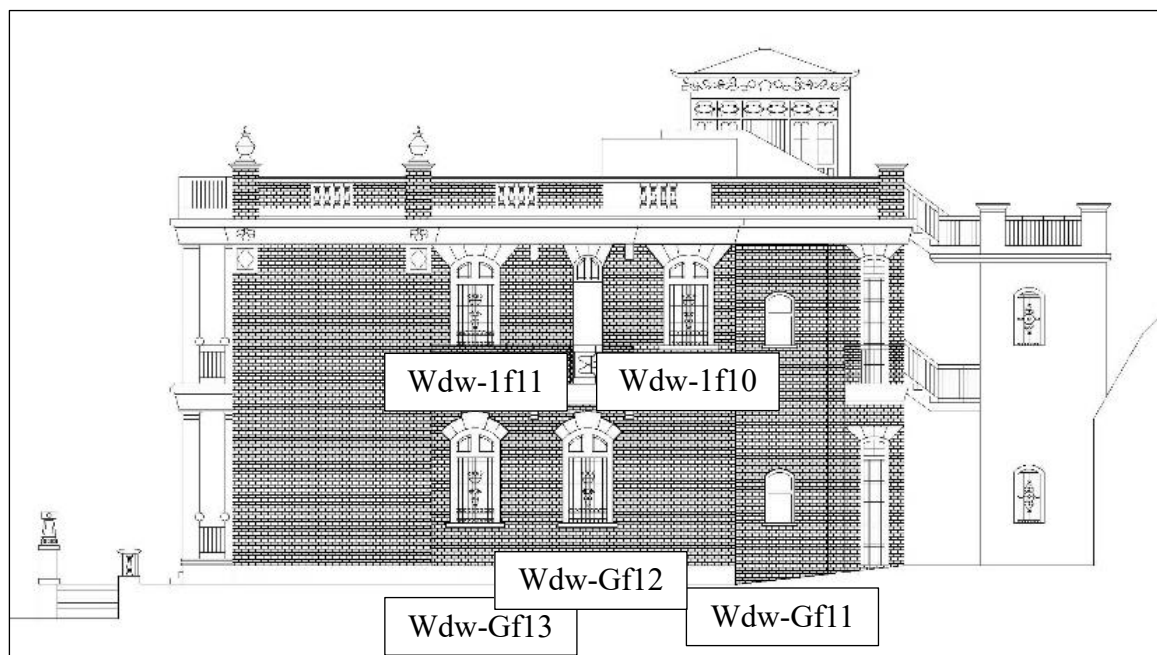
Drawing App3-04 – South-east elevation (facing Ship Street)
of Main Building, showing the window marks

**Conservation Management Plan for Nam Koo Terrace at
no. 55 Ship Street, Wanchai, Hong Kong**

Appendix 3 – Photo Record of the Windows in Main Building



Drawing App3-05 – South-west elevation (rear elevation)
of Main Building, showing the window marks



Drawing App3-06 – North-west elevation (facing Admiralty side)
of Main Building, showing the window marks

**Conservation Management Plan for Nam Koo Terrace at
no. 55 Ship Street, Wanchai, Hong Kong**

Appendix 3 – Photo Record of the Windows in Main Building



Photo App3-01 – North-east elevation (front elevation), ground floor,
window Wdw-Gf01, external side, the window and window grille removed,
the window opening covered with plywood panel, (21st March, 2023)

**Conservation Management Plan for Nam Koo Terrace at
no. 55 Ship Street, Wanchai, Hong Kong**

Appendix 3 – Photo Record of the Windows in Main Building



Photo App3-02 – North-east elevation (front elevation), ground floor,
window Wdw-Gf02 inside recess entrance porch, external side,
covered with plywood panel, (21st March, 2023)

**Conservation Management Plan for Nam Koo Terrace at
no. 55 Ship Street, Wanchai, Hong Kong**

Appendix 3 – Photo Record of the Windows in Main Building



Photo App3-03 – North-east elevation (front elevation), ground floor,
window Wdw-Gf03 inside recess entrance porch, external side,
covered with plywood panel, (21st March, 2023)

**Conservation Management Plan for Nam Koo Terrace at
no. 55 Ship Street, Wanchai, Hong Kong**

Appendix 3 – Photo Record of the Windows in Main Building



Photo App3-04 – North-east elevation (front elevation), ground floor,
window Wdw-Gf04, external side, covered with plywood panel,
(21st March, 2023)

**Conservation Management Plan for Nam Koo Terrace at
no. 55 Ship Street, Wanchai, Hong Kong**

Appendix 3 – Photo Record of the Windows in Main Building



Photo App3-05 – North-east elevation (front elevation), first floor,
window Wdw-1f01, external side, covered with plywood panel,
(21st March, 2023)

**Conservation Management Plan for Nam Koo Terrace at
no. 55 Ship Street, Wanchai, Hong Kong**

Appendix 3 – Photo Record of the Windows in Main Building



Photo App3-06 – North-east elevation (front elevation), first floor,
window Wdw-1f02 inside verandah, external side,
(21st March, 2023)

**Conservation Management Plan for Nam Koo Terrace at
no. 55 Ship Street, Wanchai, Hong Kong**

Appendix 3 – Photo Record of the Windows in Main Building



Photo App3-07 – North-east elevation (front elevation), first floor,
window Wdw-1f03 inside verandah, external side,
covered with plywood panel, (21st March, 2023)

**Conservation Management Plan for Nam Koo Terrace at
no. 55 Ship Street, Wanchai, Hong Kong**

Appendix 3 – Photo Record of the Windows in Main Building



Photo App3-08 – North-east elevation (front elevation), first floor,
window Wdw-1f04, external side, covered with plywood,
(21st March, 2023)

**Conservation Management Plan for Nam Koo Terrace at
no. 55 Ship Street, Wanchai, Hong Kong**

Appendix 3 – Photo Record of the Windows in Main Building



Photo App3-09 – South-east elevation (facing Ship Street), ground floor,
window Wdw-f05, (21st March, 2023)

**Conservation Management Plan for Nam Koo Terrace at
no. 55 Ship Street, Wanchai, Hong Kong**

Appendix 3 – Photo Record of the Windows in Main Building



Photo App3-10 – South-east elevation (facing Ship Street), ground floor,
window Wdw-Gf06, (21st March, 2023)23)

**Conservation Management Plan for Nam Koo Terrace at
no. 55 Ship Street, Wanchai, Hong Kong**

Appendix 3 – Photo Record of the Windows in Main Building



Photo App3-11 – South-east elevation (facing Ship Street), ground floor,
window Wdw-Gf07, rectangular shape (not the typical design),
external side, covered with plywood panel, (21st March, 2023)



Photo App3-12 – South-east elevation (facing Ship Street), ground floor,
window Wdw-Gf08, circular shape (not the typical design),
external side, covered with plywood panel, (21st March, 2023)

**Conservation Management Plan for Nam Koo Terrace at
no. 55 Ship Street, Wanchai, Hong Kong**

Appendix 3 – Photo Record of the Windows in Main Building



Photo App3-13 – South-east elevation (facing Ship Street), ground floor,
window Wdw-G09, external side, covered with plywood panel,
(21st March, 2023)

**Conservation Management Plan for Nam Koo Terrace at
no. 55 Ship Street, Wanchai, Hong Kong**

Appendix 3 – Photo Record of the Windows in Main Building



Photo App3-14 – South-east elevation (facing Ship Street), first floor,
window Wdw-1f05, external side, the window and window grille removed,
(21st March, 2023)

**Conservation Management Plan for Nam Koo Terrace at
no. 55 Ship Street, Wanchai, Hong Kong**

Appendix 3 – Photo Record of the Windows in Main Building



Photo App3-15 – South-east elevation (facing Ship Street), first floor,
window Wdw-1f06 at balcony, external side, (22nd March, 2023)

**Conservation Management Plan for Nam Koo Terrace at
no. 55 Ship Street, Wanchai, Hong Kong**

Appendix 3 – Photo Record of the Windows in Main Building



Photo App3-16 – South-east elevation (facing Ship Street), first floor,
window Wdw-1f07 at balcony, external side, (22nd March, 2023)

**Conservation Management Plan for Nam Koo Terrace at
no. 55 Ship Street, Wanchai, Hong Kong**

Appendix 3 – Photo Record of the Windows in Main Building



Photo App3-17 – South-east elevation (facing Ship Street), first floor,
window Wdw-1f08, external side, (21st March, 2023)

**Conservation Management Plan for Nam Koo Terrace at
no. 55 Ship Street, Wanchai, Hong Kong**

Appendix 3 – Photo Record of the Windows in Main Building



Photo App3-18 – South-west elevation (rear elevation), ground floor,
window Wdw-Gf10, external side, (21st March, 2023)

**Conservation Management Plan for Nam Koo Terrace at
no. 55 Ship Street, Wanchai, Hong Kong**

Appendix 3 – Photo Record of the Windows in Main Building



Photo App3-19 – South-west elevation (rear elevation), first floor,
window Wdw-1f09 at balcony, external side, (22nd March, 2023)

**Conservation Management Plan for Nam Koo Terrace at
no. 55 Ship Street, Wanchai, Hong Kong**

Appendix 3 – Photo Record of the Windows in Main Building



Photo App3-20 – North-west elevation (facing Admiralty side), ground floor,
window Wdw-Gf11, external side, (21st March, 2023)

**Conservation Management Plan for Nam Koo Terrace at
no. 55 Ship Street, Wanchai, Hong Kong**

Appendix 3 – Photo Record of the Windows in Main Building



Photo App3-21 – North-west elevation (facing Admiralty side), ground floor,
window Wdw-Gf12, external side, covered with plywood panel,
(21st March, 2023)

**Conservation Management Plan for Nam Koo Terrace at
no. 55 Ship Street, Wanchai, Hong Kong**

Appendix 3 – Photo Record of the Windows in Main Building



Photo App3-22 – North-west elevation (facing Admiralty side), ground floor,
window Wdw-Gf13, external side, (21st March, 2023)

**Conservation Management Plan for Nam Koo Terrace at
no. 55 Ship Street, Wanchai, Hong Kong**

Appendix 3 – Photo Record of the Windows in Main Building



Photo App3-23 – North-west elevation (facing Admiralty side), first floor,
window Wdw-1f10, external side, the window and window grille removed,
(21st March, 2023)

**Conservation Management Plan for Nam Koo Terrace at
no. 55 Ship Street, Wanchai, Hong Kong**

Appendix 3 – Photo Record of the Windows in Main Building



Photo App3-24 – North-west elevation (facing Admiralty side), first floor,
window Wdw-1f11, external side, (21st March, 2023)

**Conservation Management Plan for Nam Koo Terrace at
no. 55 Ship Street, Wanchai, Hong Kong**

Appendix 3 – Photo Record of the Windows in Main Building



Photo App3-25 – North-west elevation (facing Admiralty side), first floor,
window Wdw-1f12 at balcony, external side, (21st March, 2023)

**Conservation Management Plan for Nam Koo Terrace at
no. 55 Ship Street, Wanchai, Hong Kong**

**Appendix 4 – Response to Antiquities and Monuments (AMO)
Comments in Approval from Buildings Department for Buildings
(Alterations and Additions), letter ref. BD22-3/3027/20(HU)
dated 14th May, 2021**

**No. 55 Ship Street, Wanchai (Nam Koo Terrace) – I.L. 2140
New position for the entrance gateway**

**Response to Antiquities and Monuments (AMO) comments in
Approval from Buildings Department for Buildings (Alterations and Additions),
letter ref. BD22-3/3027/20(HU dated) dated 14th May, 2021**

- A. The building works involved in the Buildings (Alterations and Additions) is the new position for the entrance gateway as shown on Buildings Department (BD) approved drawing no. 1634(AA1)01.
- B. AMO comments in the BD approval letter –
2. Please be informed that the proposed works is located in the close vicinity to Nam Koo Terrace at no. 55 Ship Street, which is a Grade 1 historic building. The AP/RSE ("AP/RGE"), therefore, should arrange necessary precautionary and protection measures for carrying out the relocations works to ensure the structural integrity and fabrics of Nam Koo Terrace will not be adversely affected by the proposed works. You are reminded to observe the recommended Alert/Alarm/Action monitoring criteria provided vide memo dated 28th December, 2020 during the proposed relocation works.
- Response from project team –
- (a) The working area will be restricted to about 3 m. at the internal side (main building side) of the entrance gateway, and the workers will not be allowed to go near the main building.
- (b) The works will be closely monitored by the clerks-of-works and heritage consultant.
- (c) The 3A monitoring criteria will be observed during the works.
3. It is noted that the entrance gateway of Nam Koo Terrace at Ship Street will be salvaged and relocated for future development. Please submit further detailed method statement regarding the removal and protection of the entrance gateway for AMO's comment when available. Please also submit photo records before the commencement of relocation works showing the condition of the entrance gateway, and its reinstatement after completion of works to AMO for record purpose.
- Response from project team –
- (a) The materials of the existing entrance gateway will be salvaged, and re-use in the new position if possible.
- (b) The detailed method statement regarding the removal and protection of the entrance gateway is included as appendix 1 in this response.
- (c) Photo record of the existing position for the entrance gateway, and measured drawing will be submitted to AMO before the work.

1

prepared by The Team Consultant
2nd August, 2021

Nam Koo Terrace – entrance gate
response to AMO comment in BD 20210514 approval

**Conservation Management Plan for Nam Koo Terrace at
no. 55 Ship Street, Wanchai, Hong Kong**

**Appendix 4 – Response to Antiquities and Monuments (AMO)
Comments in Approval from Buildings Department for Buildings
(Alterations and Additions), letter ref. BD22-3/3027/20(HU)
dated 14th May, 2021**

**No. 55 Ship Street, Wanchai (Nam Koo Terrace) – I.L. 2140
New position for the entrance gateway**

- (d) Photo of the entrance gateway in new position will be submitted to AMO for record upon completion of the work.
4. The debris, construction material and machinery / plants should be managed in good manner to avoid any physical damage to the graded building.
Response from project team –
The working area will be restricted to about 3 m. at the internal side (main building side) of the entrance gate, and the worker will not be allowed to go near the main building.



Photo 01 – the existing entrance gateway. (30th June, 2021)

**Conservation Management Plan for Nam Koo Terrace at
no. 55 Ship Street, Wanchai, Hong Kong**

**Appendix 4 – Response to Antiquities and Monuments (AMO)
Comments in Approval from Buildings Department for Buildings
(Alterations and Additions), letter ref. BD22-3/3027/20(HU)
dated 14th May, 2021**

**No. 55 Ship Street, Wanchai (Nam Koo Terrace) – I.L. 2140
New position for the entrance gateway**

**Appendix 1 – Detailed method statement regarding the removal and
protection of the entrance gateway**

- A. Scope of work –
1. All works for the entrance gateway in new position shall comply with the BD approvals for “Buildings (Alterations and Additions)” and “Structural (Buildings (Alterations and Additions)).
 2. The finished entrance gateway in new position shall be exactly as existing.
- B. Preparation works –
1. Prepare photo record of the existing entrance gateway with close-up views of the architectural features, use for monitoring of the work.
 2. Prepare measured drawings of the existing entrance gateway including the pair of iron gate with large scale details of the architectural features, use for monitoring of the work.
 3. The photo record and measured drawing shall also include the adjoining fence wall on both sides.
 4. The existing finishes of the entrance gateway portal is paint on rendered surface. Employ HKOLAS laboratory to collect three rendering samples and analyze the content of the rendering. The colour of the paint on the rendering should not be the original colour (faded after some many years), but still record the colour by the colour code of the Pantone system or other equivalent colour code system.
 5. The pillars of the entrance gateway portal should be of brick construction laid on mortar. Employ HKOLAS laboratory to collect two brick joint mortar samples and analyze the content of the mortar. Also record the average thickness of the joint.
 6. Protect the granite threshold of the entrance gateway by thick plywood before any work.
 7. Take down the pair of iron gate, and protect during the work.
- C. The entrance gateway in new position and structure –
1. Break up the fence wall at the new position of the of entranceway, and salvage the material, such be bricks, as such as possible for use in filling up the existing entrance gateway opening.
 2. Construct the foundation and structural frame for the entranceway.

prepared by The Team Consultant
2nd August, 2021

3

Nam Koo Terrace – entrance gate
response to AMO comment in BD 20210514 approval

**Conservation Management Plan for Nam Koo Terrace at
no. 55 Ship Street, Wanchai, Hong Kong**

**Appendix 4 – Response to Antiquities and Monuments (AMO)
Comments in Approval from Buildings Department for Buildings
(Alterations and Additions), letter ref. BD22-3/3027/20(HU)
dated 14th May, 2021**

**No. 55 Ship Street, Wanchai (Nam Koo Terrace) – I.L. 2140
New position for the entrance gateway**

- D. Salvage the exiting entrance gateway –
1. The materials of the entrance gateway will be re-used as much as possible. The columns on both sides should be of brick construction, thus the bricks should be salvaged and use in the new position if possible, but the top part, that is the arch part, cannot be re-used because it cannot be connected to the new structural frame of the entrance gateway.
 2. Also carefully take down the hooks (the pin part of the hinge) of the iron gate embedded in the pillars, clean, remove the paint and rust, for re-use in new position.
 3. Lift the granite threshold, clean for re-lay in new position.
 4. Record the whole process by photo record.
- E. The entrance gateway with new structural frame –
1. Lay the salvaged bricks surrounding the “structural pillars”. The thickness of the brick joints shall follow the existing, (the measured record as stated B5). The mix of the mortar shall follow the existing, (the analyzed result of existing mortar samples as stated in B5).
 2. Embed the salvaged hooks (the pin part of the hinge) of the iron gate in the brickwork and connected to the “structural pillars”.
 3. Form the top part supported by the structural frame with plaster, with the architectural features, such as the projecting keystone, the scroll shaped pattern decoration across the top, the motif surrounds, and cornices of different detailing and at different levels.
 4. Apply rendering to the entrance gateway. The mix of the plaster shall follow the existing, (the analyzed result of existing rendering samples as stated in B4).
 5. Apply mineral paint to the entrance gateway. The colour shall follow the existing tone.
 6. Lay the salvaged granite threshold.
 7. Record the whole process by photo record.
- F. The iron gate –
1. Remove all paint.
 2. Remove the later added metal at the front side of the gate.
 3. Remove all rust by sanding.

prepared by The Team Consultant
2nd August, 2021

4
Nam Koo Terrace – entrance gate
response to AMO comment in BD 20210514 approval

**Conservation Management Plan for Nam Koo Terrace at
no. 55 Ship Street, Wanchai, Hong Kong**

**Appendix 4 – Response to Antiquities and Monuments (AMO)
Comments in Approval from Buildings Department for Buildings
(Alterations and Additions), letter ref. BD22-3/3027/20(HU)
dated 14th May, 2021**

**No. 55 Ship Street, Wanchai (Nam Koo Terrace) – I.L. 2140
New position for the entrance gateway**

4. Check the condition of the members, especially the fixing lugs (the ring part of the hinge).
5. Replace the corroded parts. The bottom part of both iron gate leaves are heavily corroded, thus the entire bottom part may need to be replaced.
6. After repair, apply water based enamel paint to the iron gate.
7. Record the whole process by photo record.
- G. Other artefacts to be salvaged and re-install in the entrance gateway in new position
- (a) Artefact no. 1 – the two spherical shape with moulding base decorative features on the top shown in the photo below



Photo 02 – the two spherical shape with moulding base decorative features

1. The spherical shape with moulding base decorative feature should be a plastered feature.
2. Carefully saw-cut at the base of the spherical shape with moulding base decorative feature (decorative feature).
3. Clean the decorative feature and repair the surface if necessary with mortar. The mix of the mortar shall follow the mix of the rendering of entrance gateway,

prepared by The Team Consultant
2nd August, 2021

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Nam Koo Terrace – entrance gate
response to AMO comment in BD 20210514 approval

**Conservation Management Plan for Nam Koo Terrace at
no. 55 Ship Street, Wanchai, Hong Kong**

**Appendix 4 – Response to Antiquities and Monuments (AMO)
Comments in Approval from Buildings Department for Buildings
(Alterations and Additions), letter ref. BD22-3/3027/20(HU)
dated 14th May, 2021**

**No. 55 Ship Street, Wanchai (Nam Koo Terrace) – I.L. 2140
New position for the entrance gateway**

(the analyzed result of existing rendering samples as stated in B4).

4. Install the decorative feature on top of the entrance gateway in new position. Stainless steel pin should be inserted between the top of the entrance gateway and the decorative feature.
5. Apply mineral paint to the decorative feature. The colour shall follow the colour of the entrance gateway.
6. Record the whole process by photo record.
- (b) Artefact no. 2 – address number plate shown in the photo below



Photo 02 – the address number plate

7. Take down the address number plate. It should be constructed of two – yellow colour “insert” number plate and the black colour receiving pocket fixed to the pillar.
8. Remove all paint.
9. Remove all rust by sanding.
10. After repair, apply water based enamel paint to the number plate.
11. Install the address number plate in the pillar of the entrance gateway in new

6

prepared by The Team Consultant
2nd August, 2021

Nam Koo Terrace – entrance gate
response to AMO comment in BD 20210514 approval

**Conservation Management Plan for Nam Koo Terrace at
no. 55 Ship Street, Wanchai, Hong Kong**

**Appendix 4 – Response to Antiquities and Monuments (AMO)
Comments in Approval from Buildings Department for Buildings
(Alterations and Additions), letter ref. BD22-3/3027/20(HU)
dated 14th May, 2021**

**No. 55 Ship Street, Wanchai (Nam Koo Terrace) – I.L. 2140
New position for the entrance gateway**

position with new stainless steel screws.

12. Record the whole process by photo record.

prepared by The Team Consultant
2nd August, 2021

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Nam Koo Terrace – entrance gate
response to AMO comment in BD 20210514 approval

**Conservation Management Plan for Nam Koo Terrace at
no. 55 Ship Street, Wanchai, Hong Kong**

**Appendix 5 – Photo Record Booklet of Nam Koo Terrace
(photos taken in October and November 2013)**

(172 sheets)

灣仔船街 55 號
南固臺

攝影記錄
10/11 2013

目錄

第一章	地下	003
第二章	一樓	045
第三章	附屬建築物	091
第四章	花園	103
第五章	建築物外圍	117
第六章	細節	157

1. 簡介

- 1.1. 思網絡有限公司受亞聯政經顧問有限公司委託，為灣仔船街南固臺進行攝影記錄。
- 1.2. 此項攝影記錄參考Understanding Historic Buildings: A guide to good recording practice所列規定進行。

2. 位置

- 2.1. 南固臺位於灣仔船街一眾唐樓南端，建於山坡高臺上，旁邊有樓梯通往堅尼地道。
- 2.2. 地皮面積約為7,373平方呎。

3. 記錄方法

- 3.1. 此項攝影記錄由謝柏齊先生於2012年10月31日至2012年11月18日期間分六天進行；
- 3.2. 相片以Canon 5D Mark III相機拍攝，使用的鏡頭為Canon EF 24-70mm f2.8L USM、Canon EF 70-200mm f/2.8L IS II USM、Canon EF 17-40mm f/4.0L USM及Canon TS-E 24mm f/3.5L II；
- 3.3. 相片主要記錄了：
 - 南固臺外部四個立面；
 - 地下及一樓房間的四個立面；
 - 大門前花園，包括花園全景、涼亭內外、噴水池；
 - 南固臺的建築細節，包括窗框、窗簾架、地磚及欄桿等。
- 3.4. 拍攝限制：
 - 大宅頂層因結構問題而封閉，故未能拍攝頂層的涼亭及其他；
 - 露臺及部份房間由於空間狹窄，只能循左右方向拍攝；
 - 部份大宅外圍被樹木遮掩，故未能作清晰記錄。

地下

第一輯

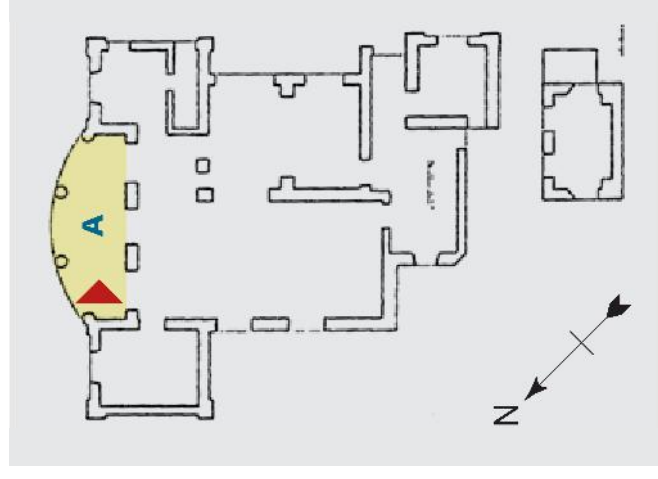
南固臺





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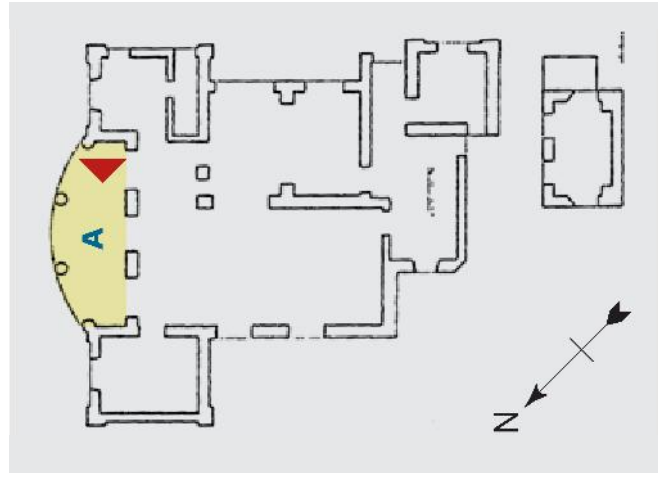
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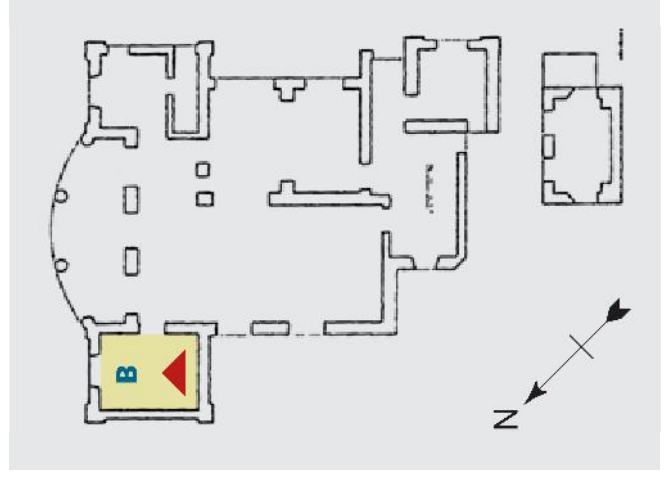


圖片：A02

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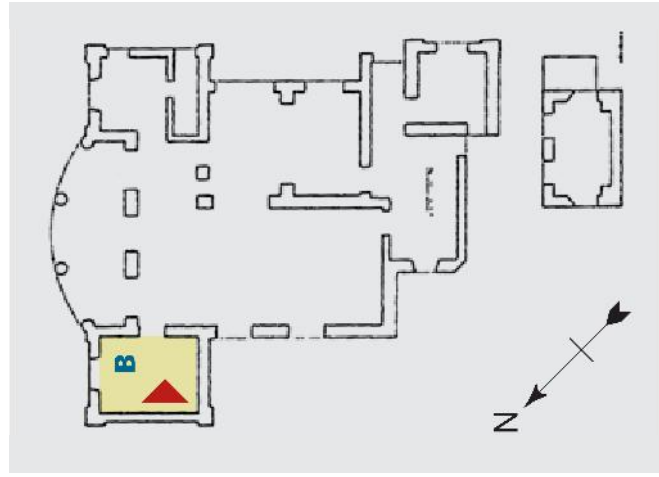


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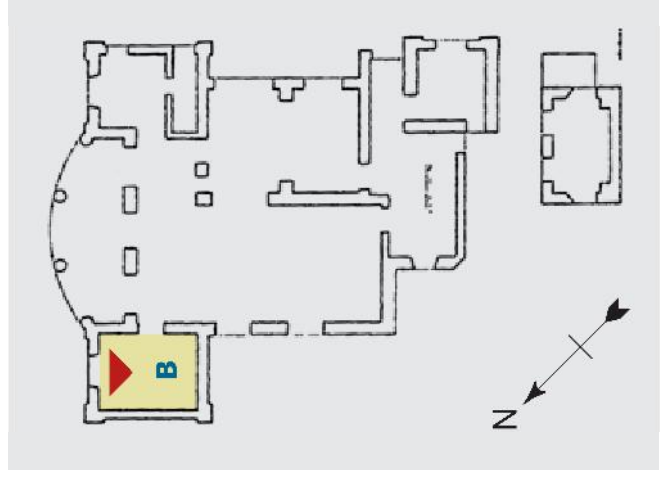


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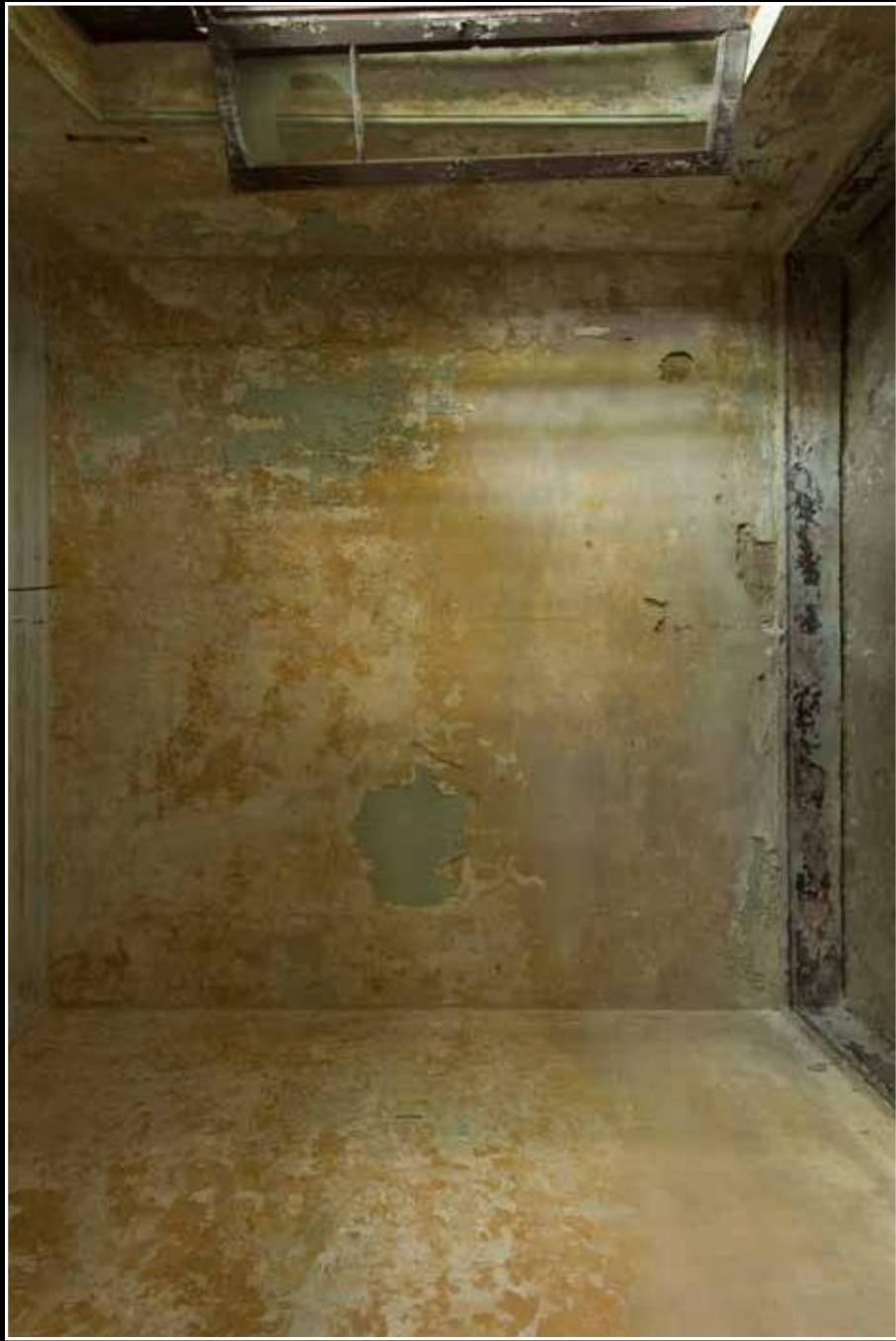
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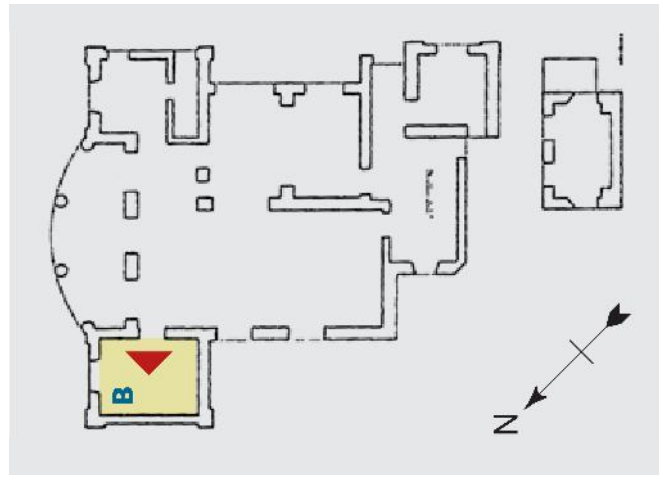


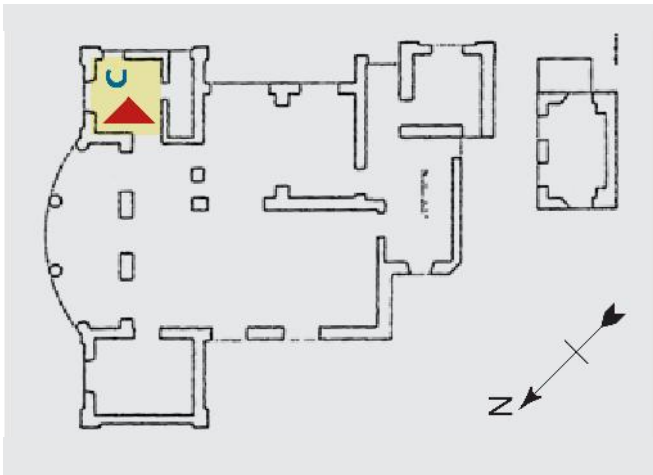
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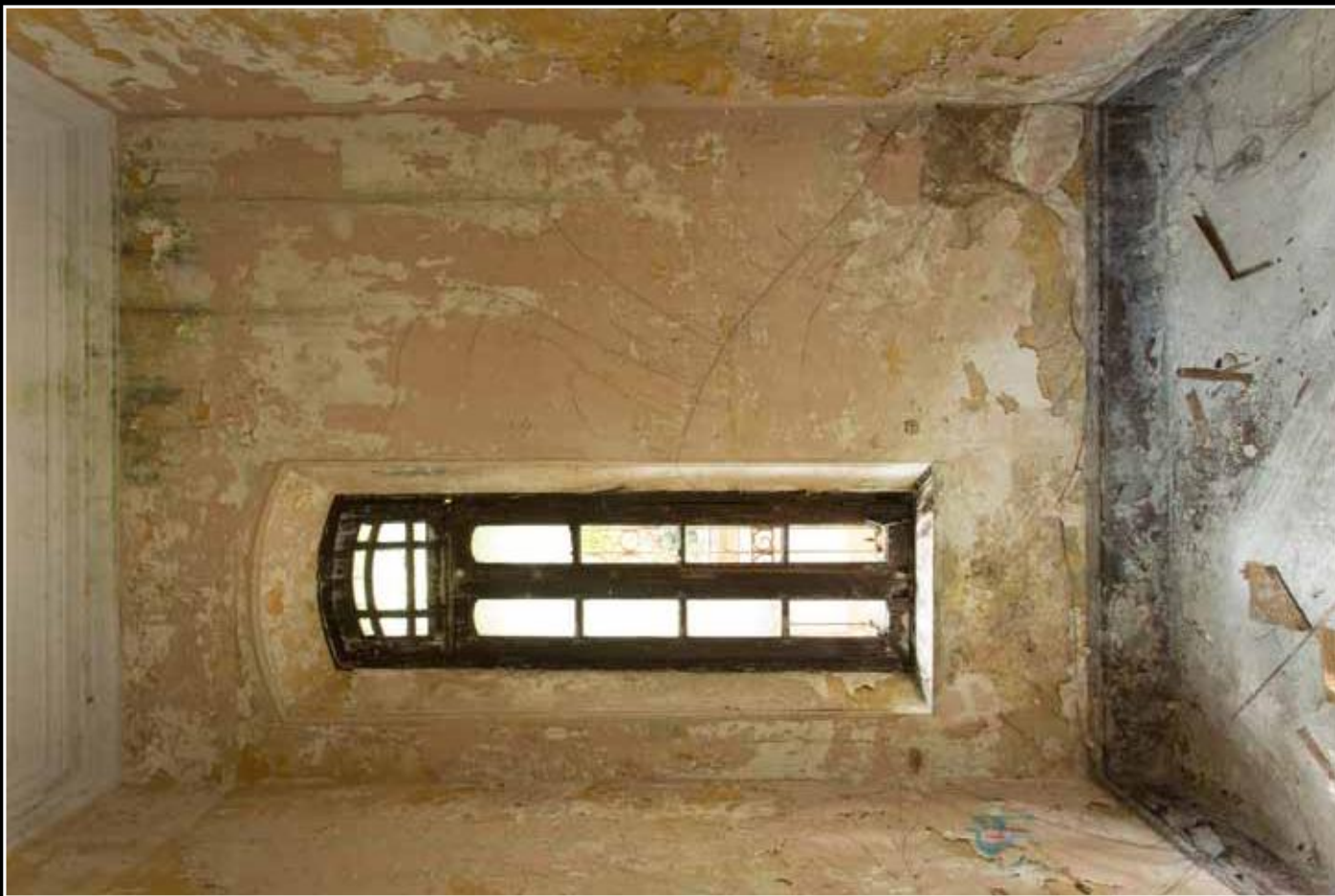
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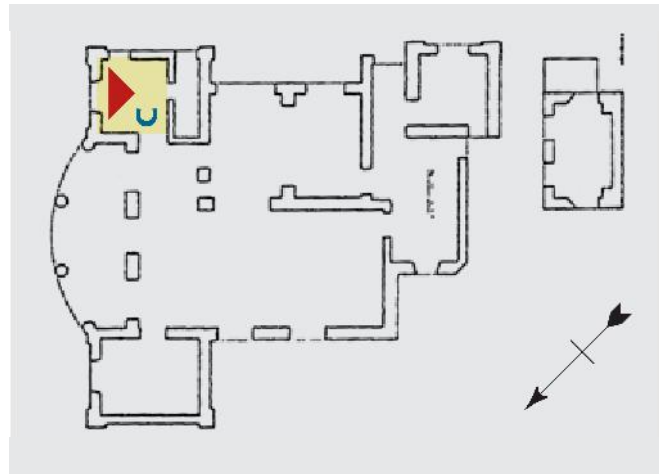


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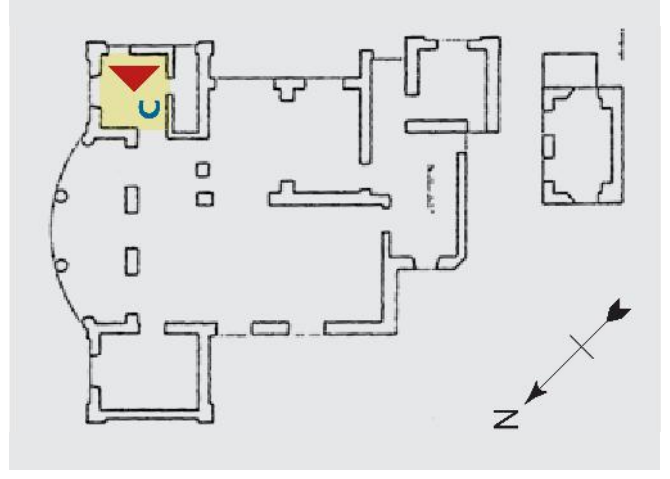


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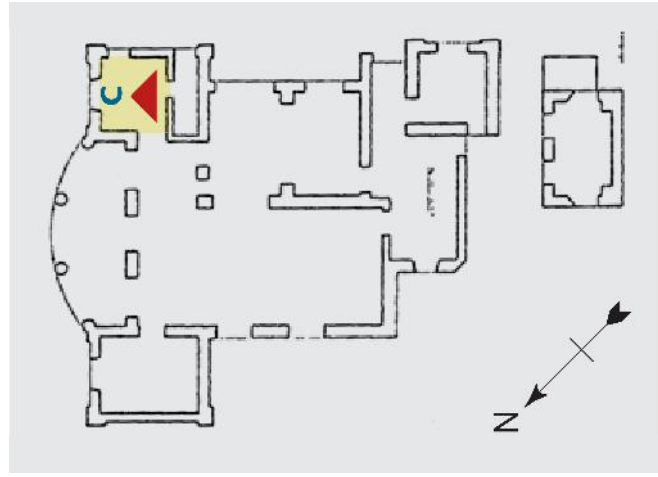


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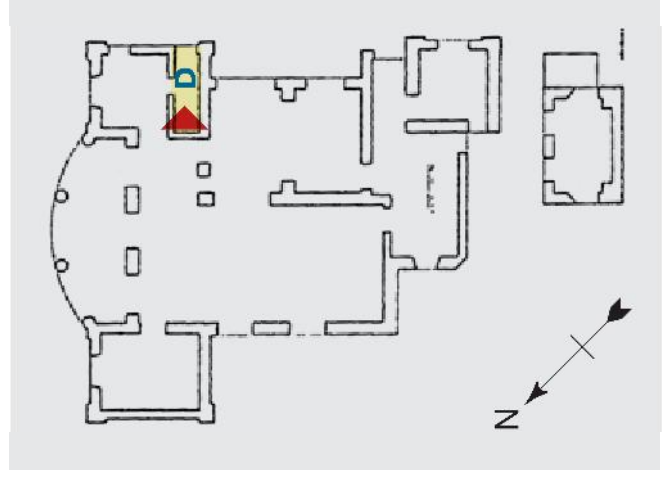


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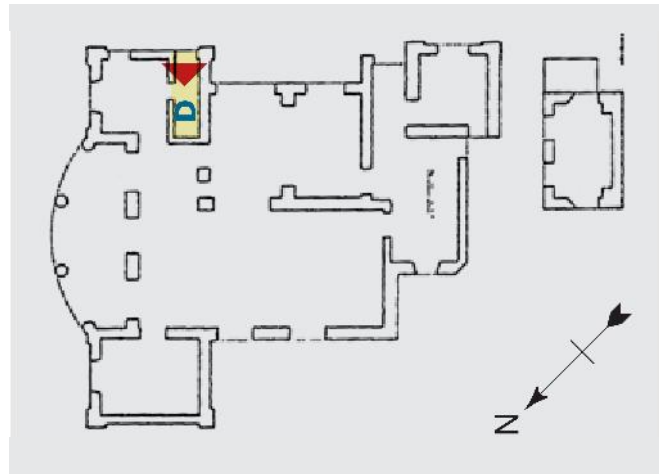


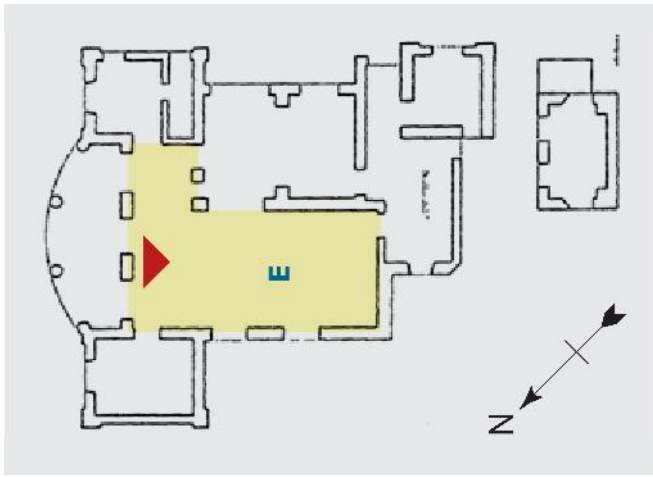
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圖片：D02

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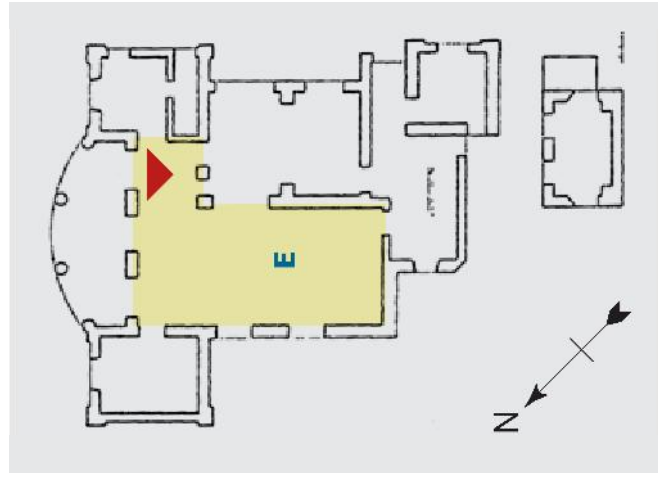


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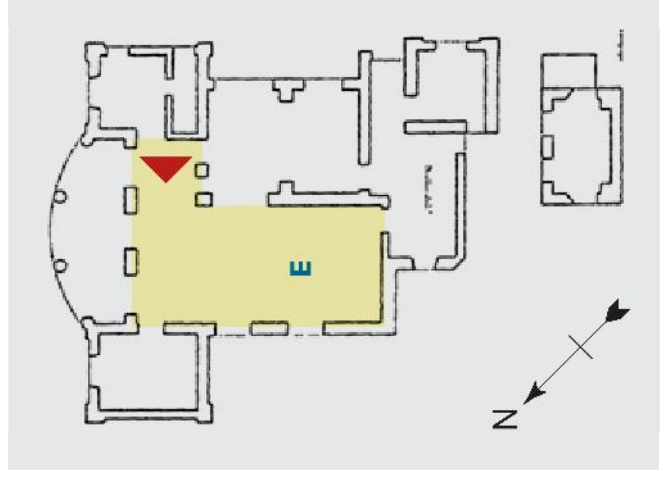


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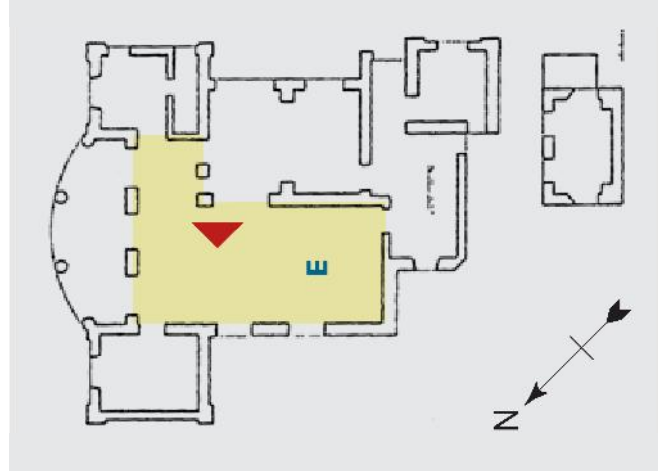


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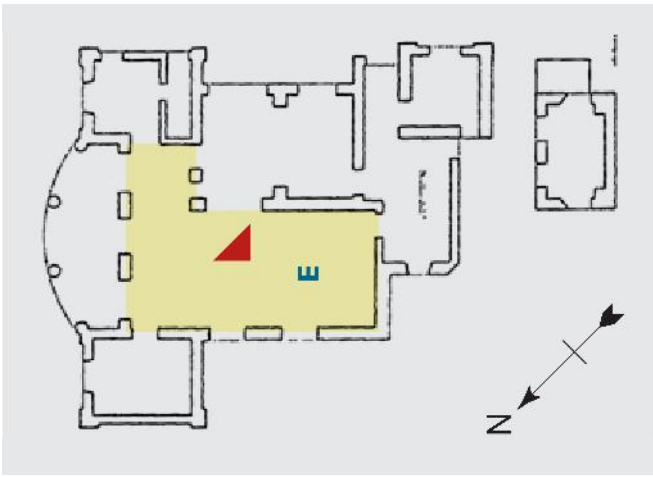


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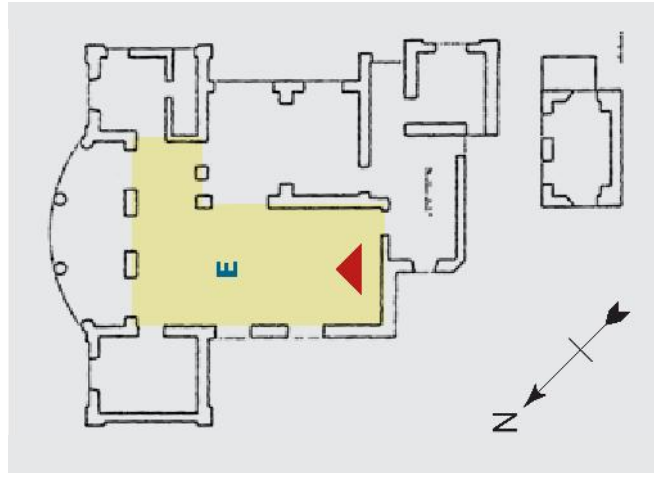


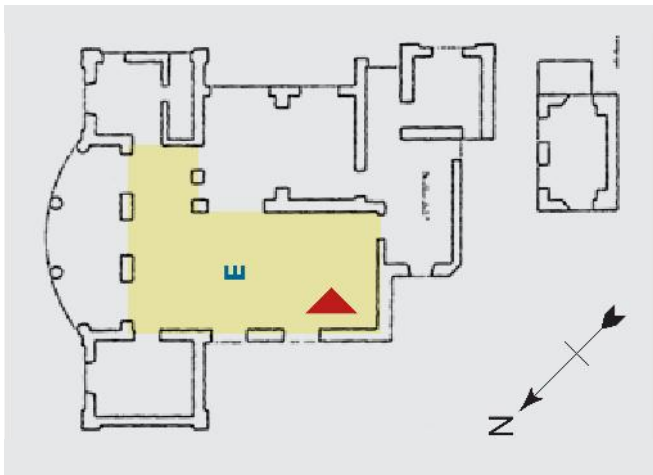
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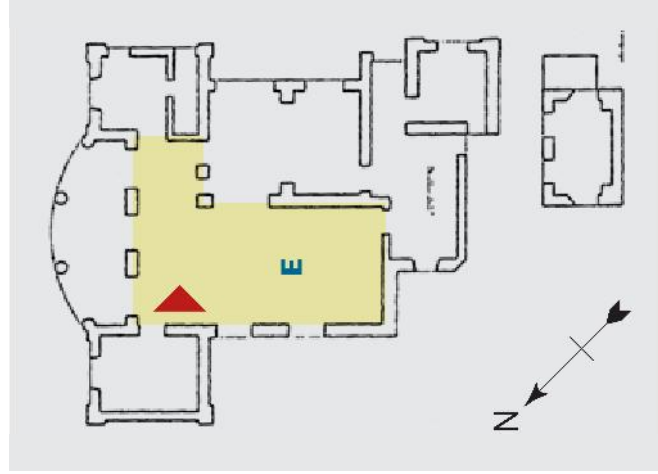


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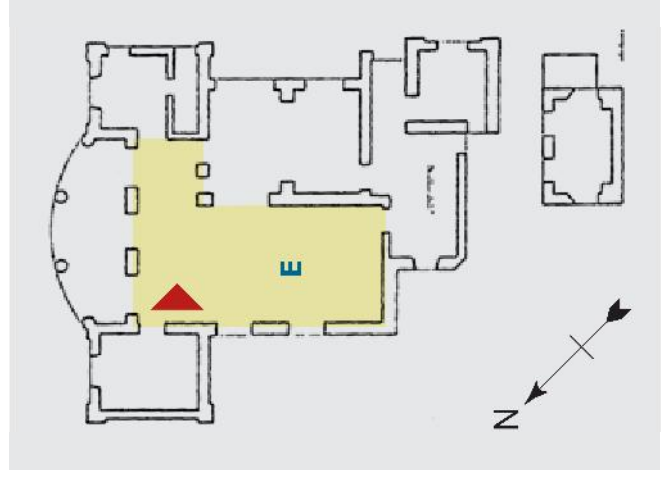
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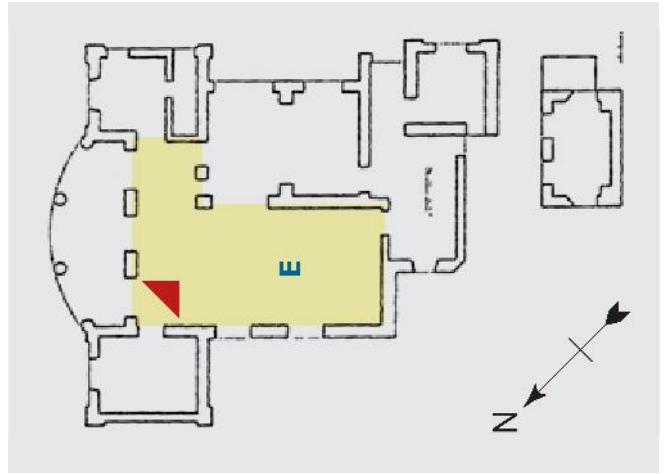


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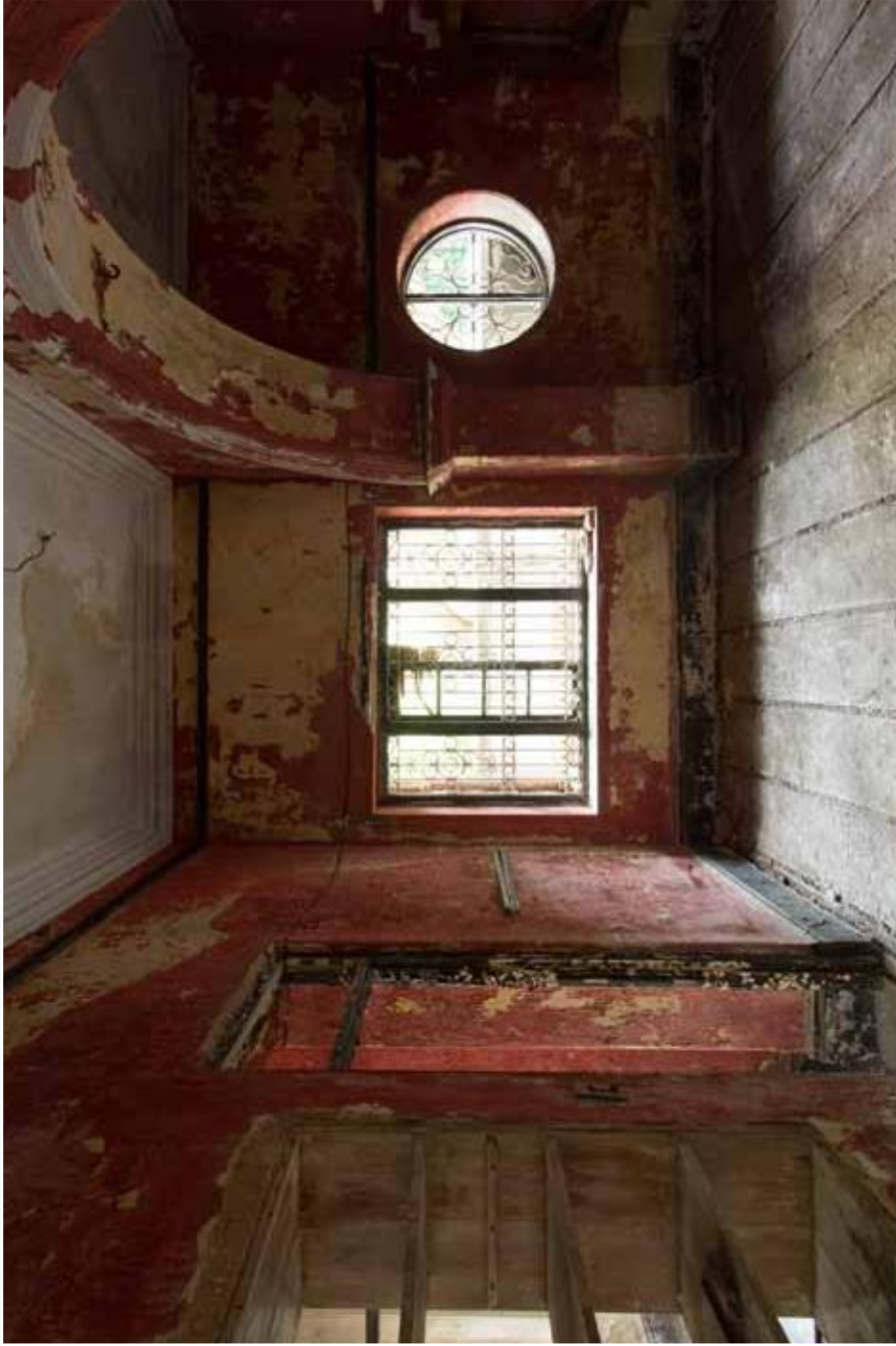
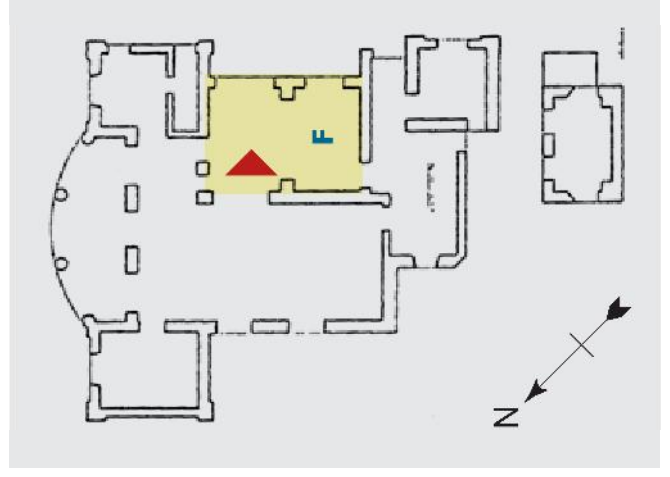


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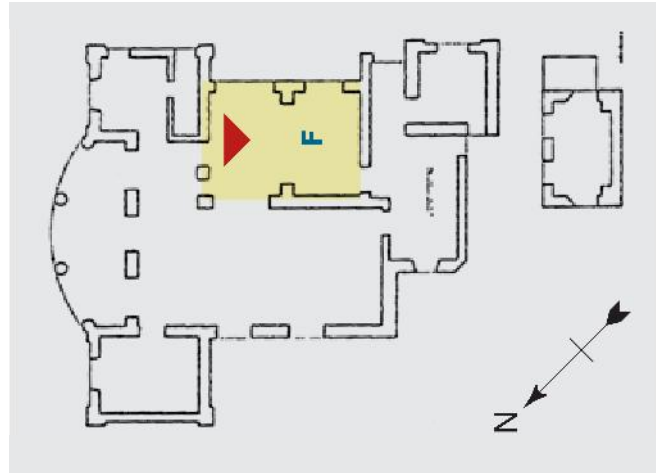


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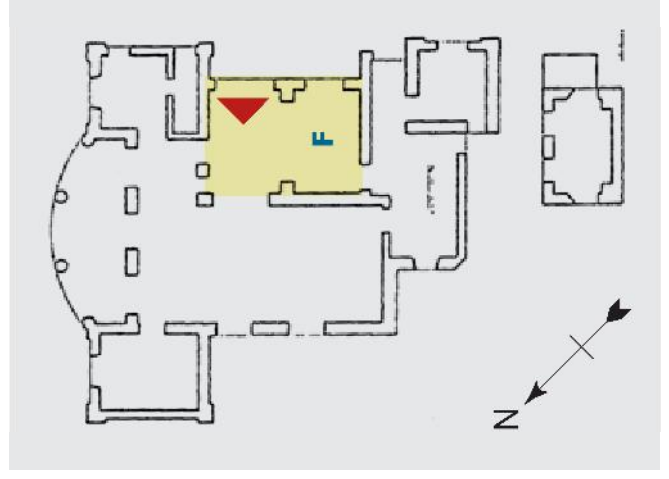


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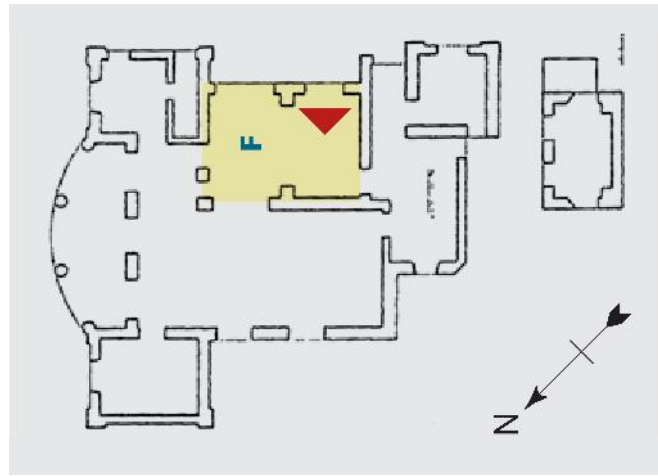


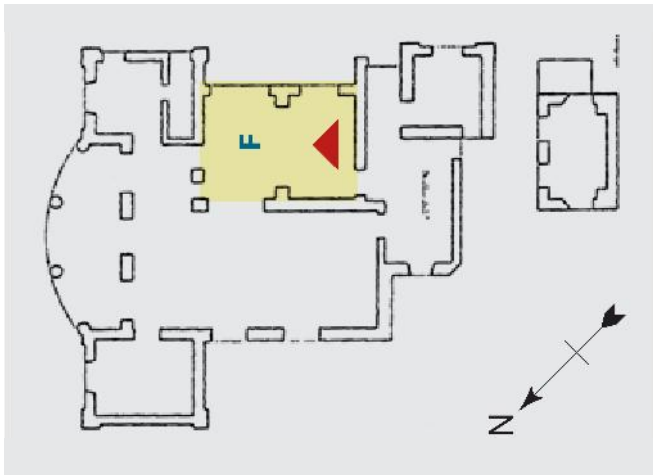
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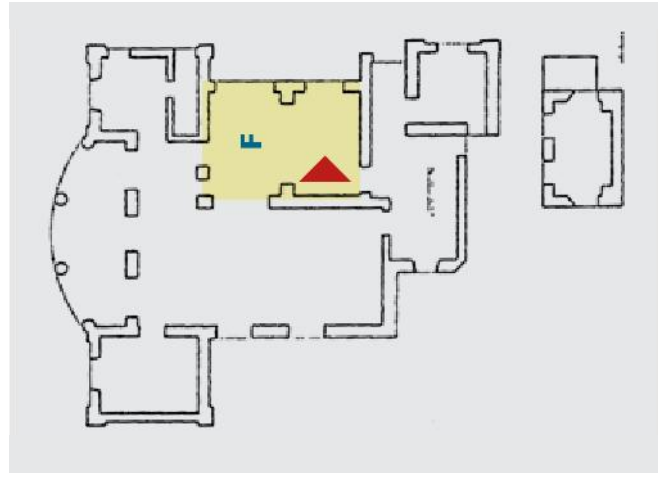


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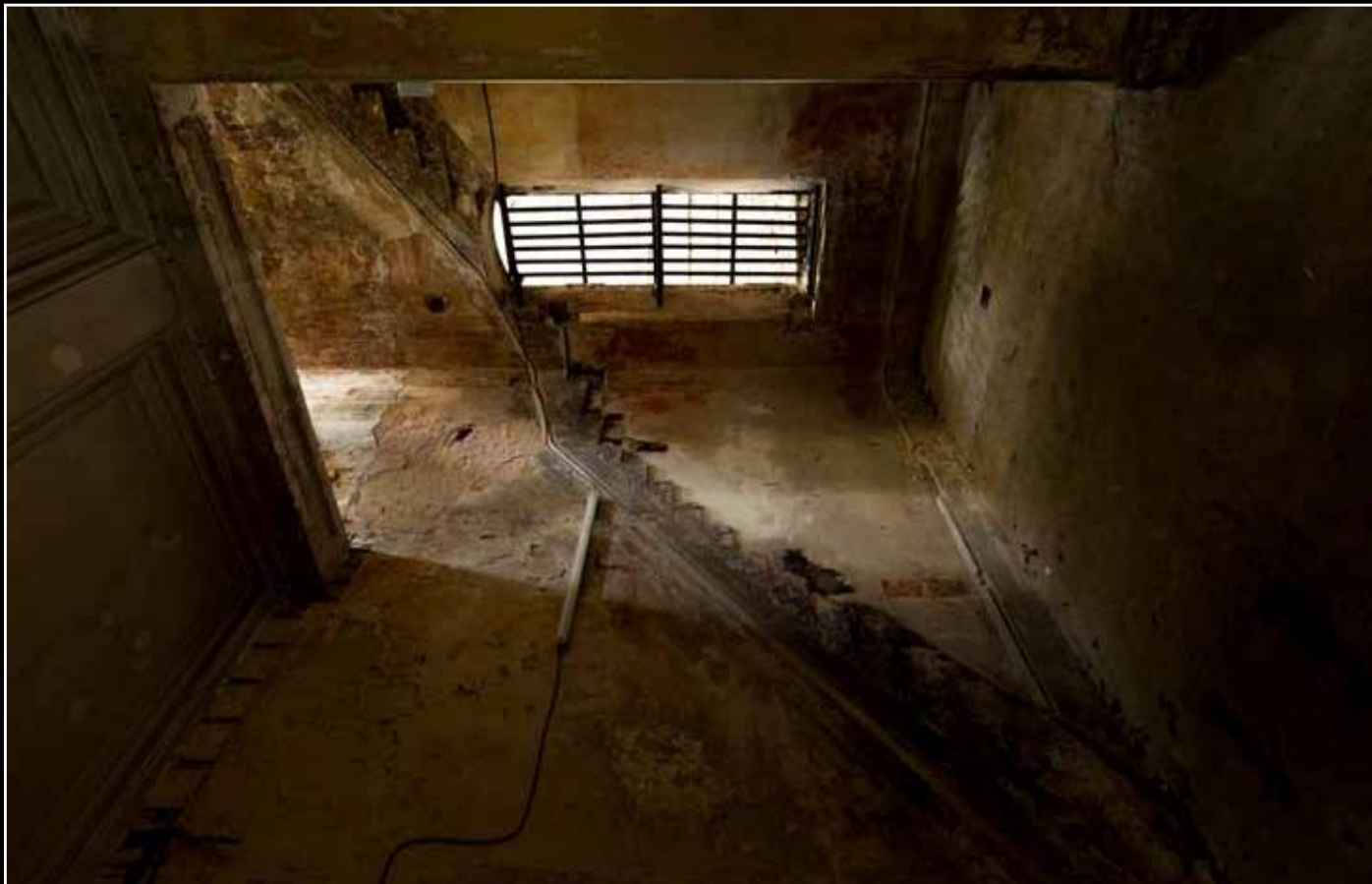
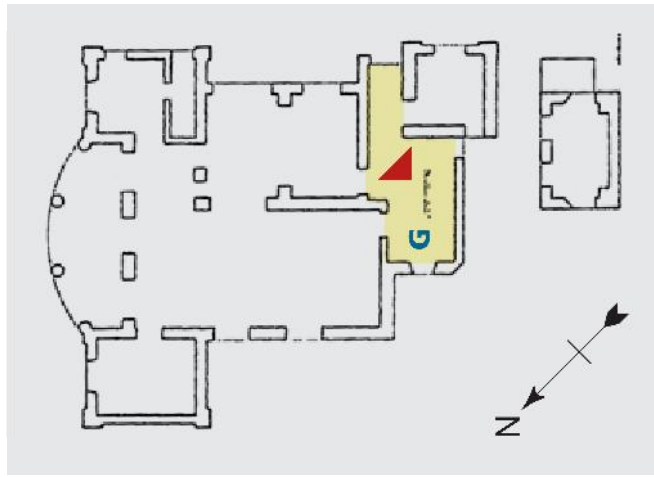
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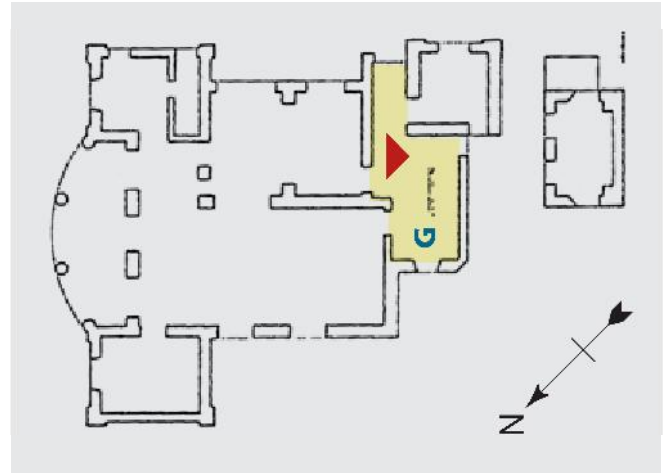


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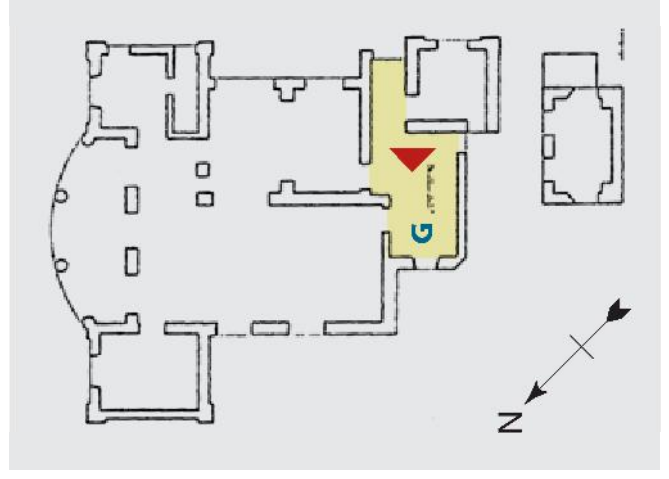


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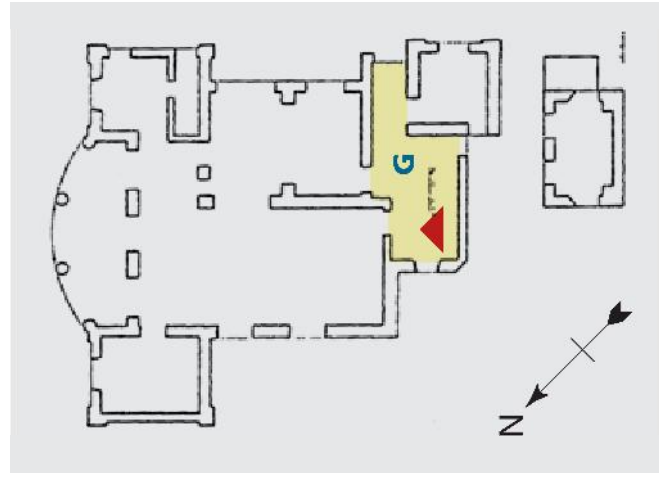


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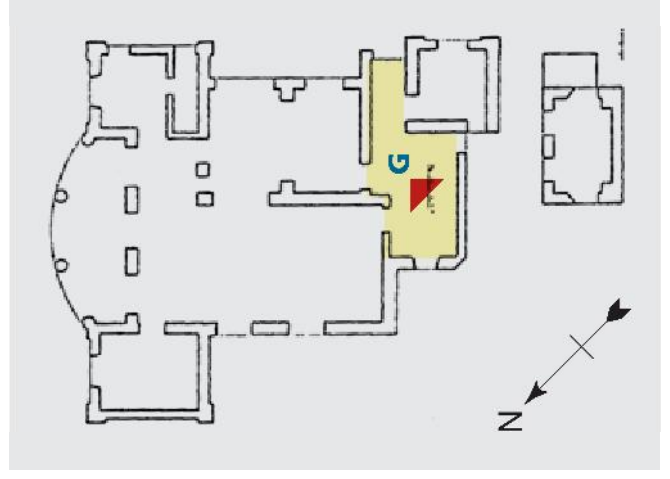


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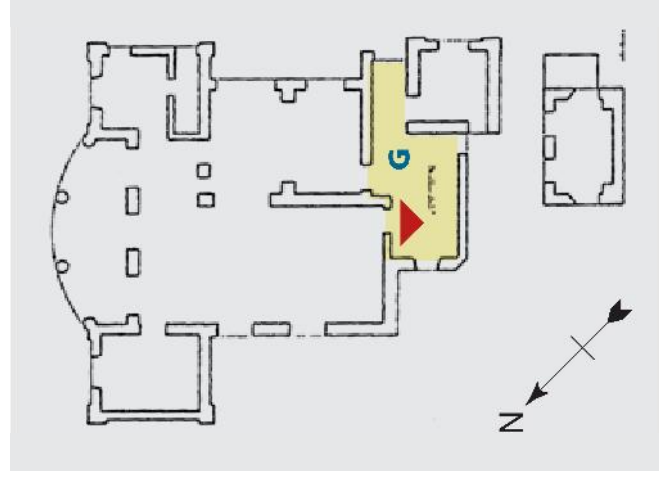
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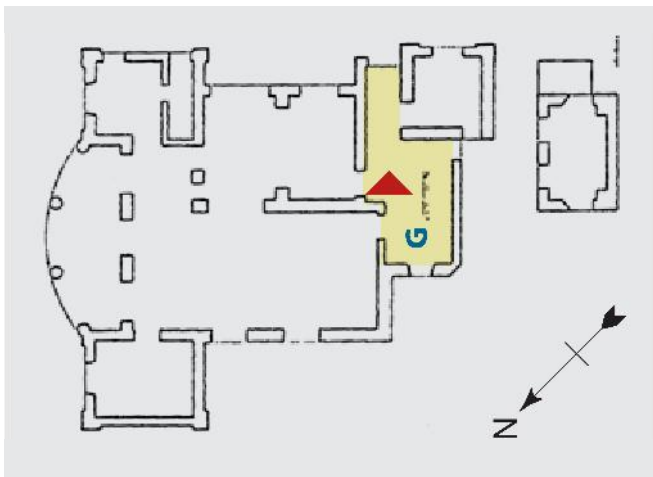
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圖片：G06



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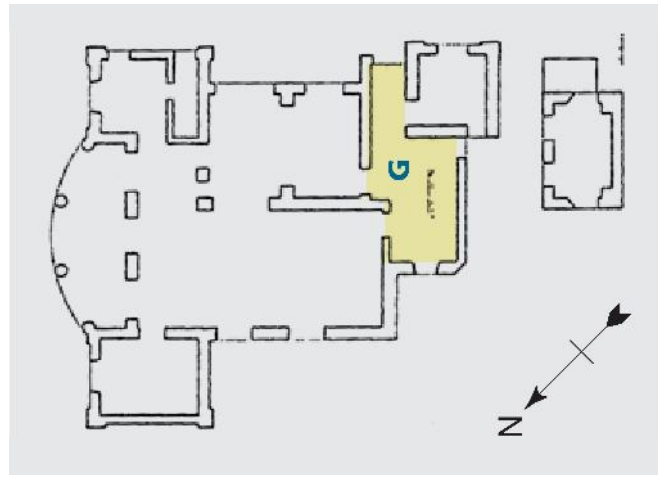


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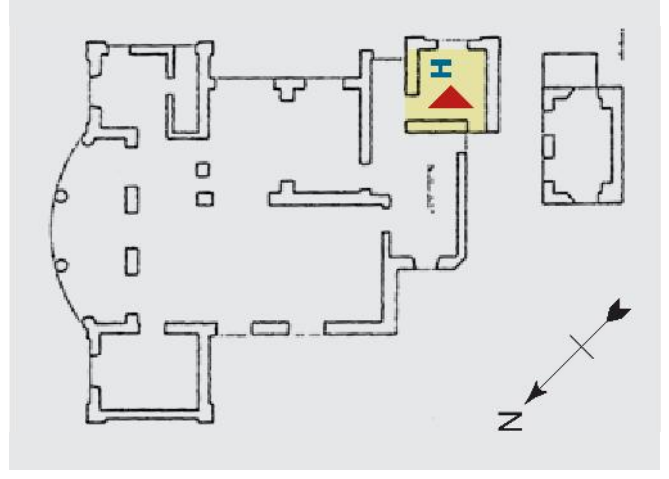


圖片：G08

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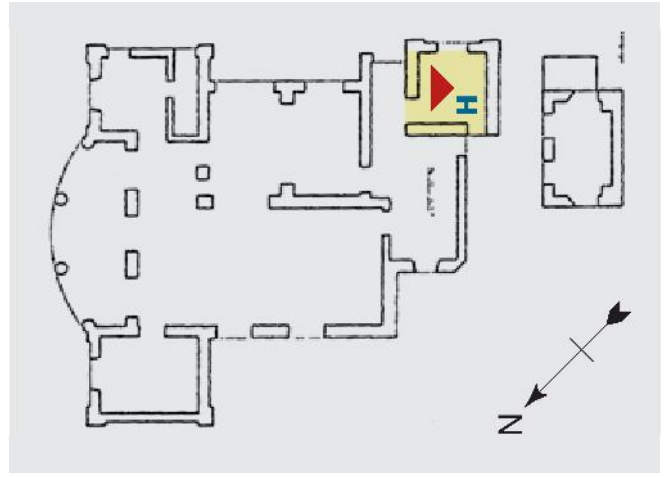


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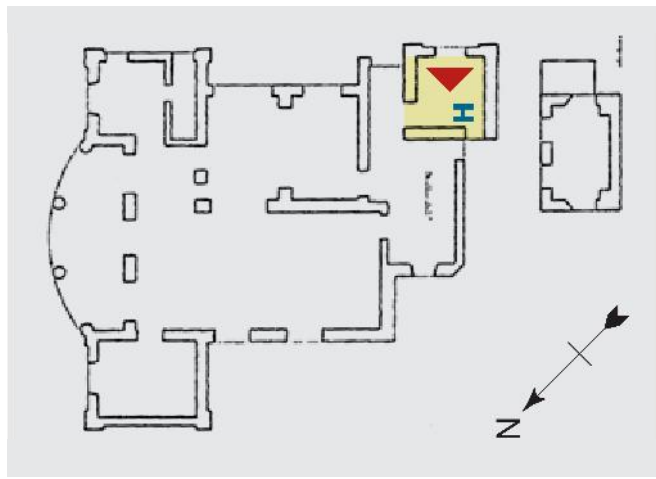


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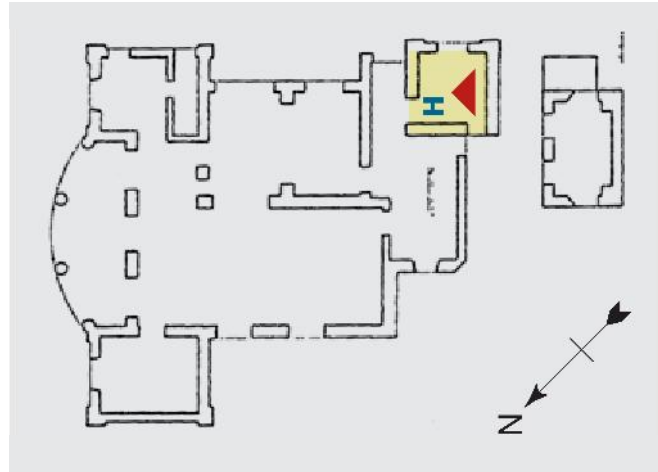


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圖片：H04

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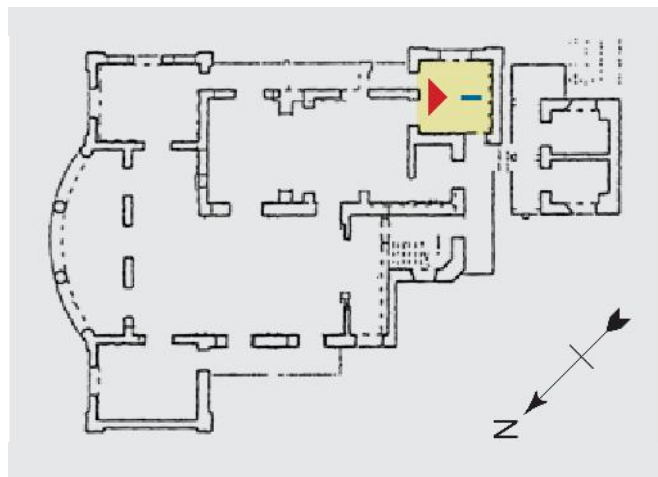


南固臺

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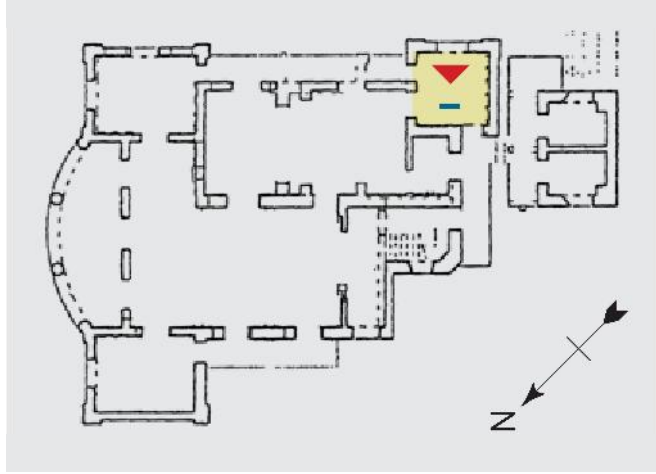




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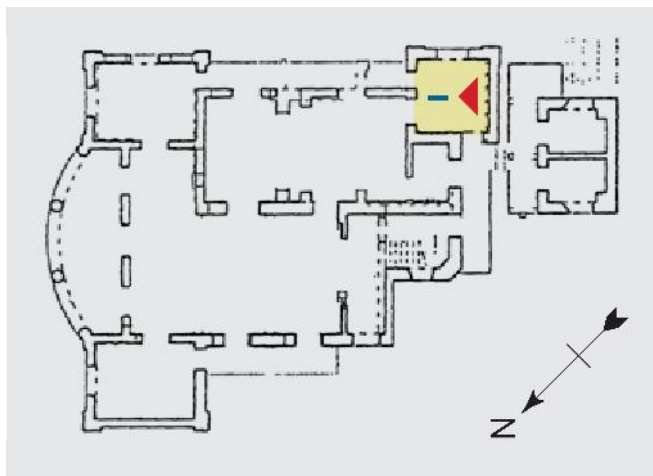
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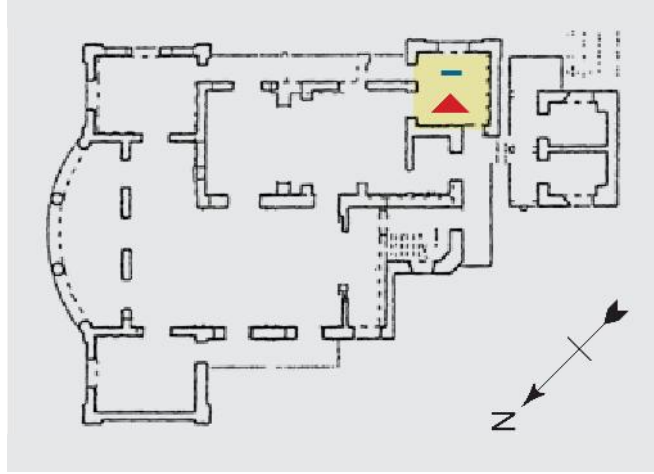




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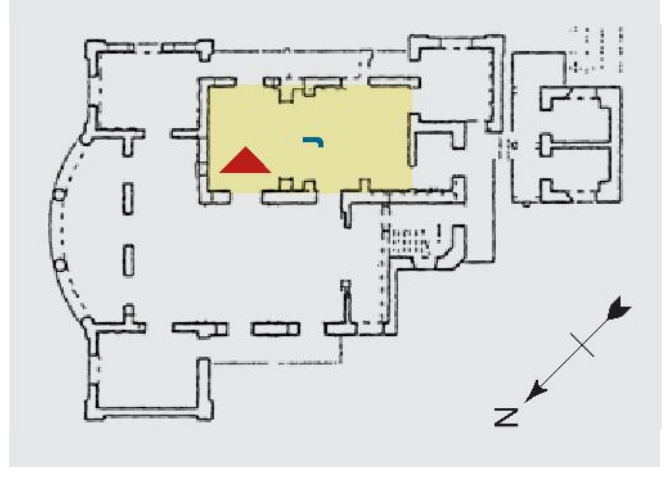


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圖片：104



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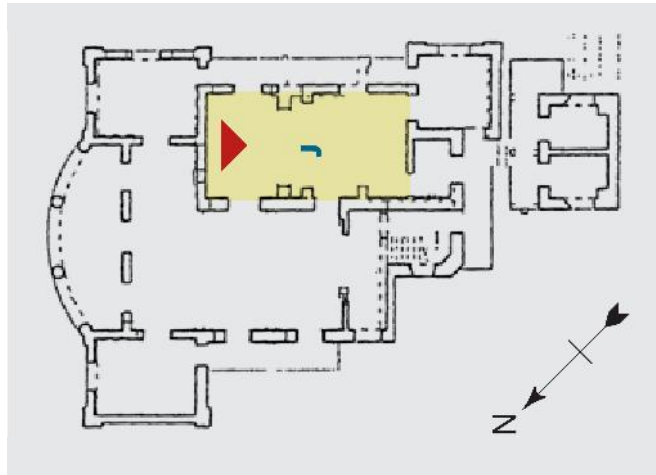


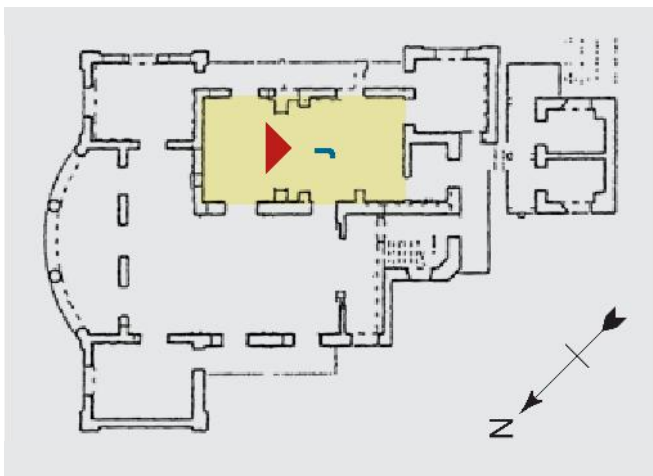
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圖片：J04

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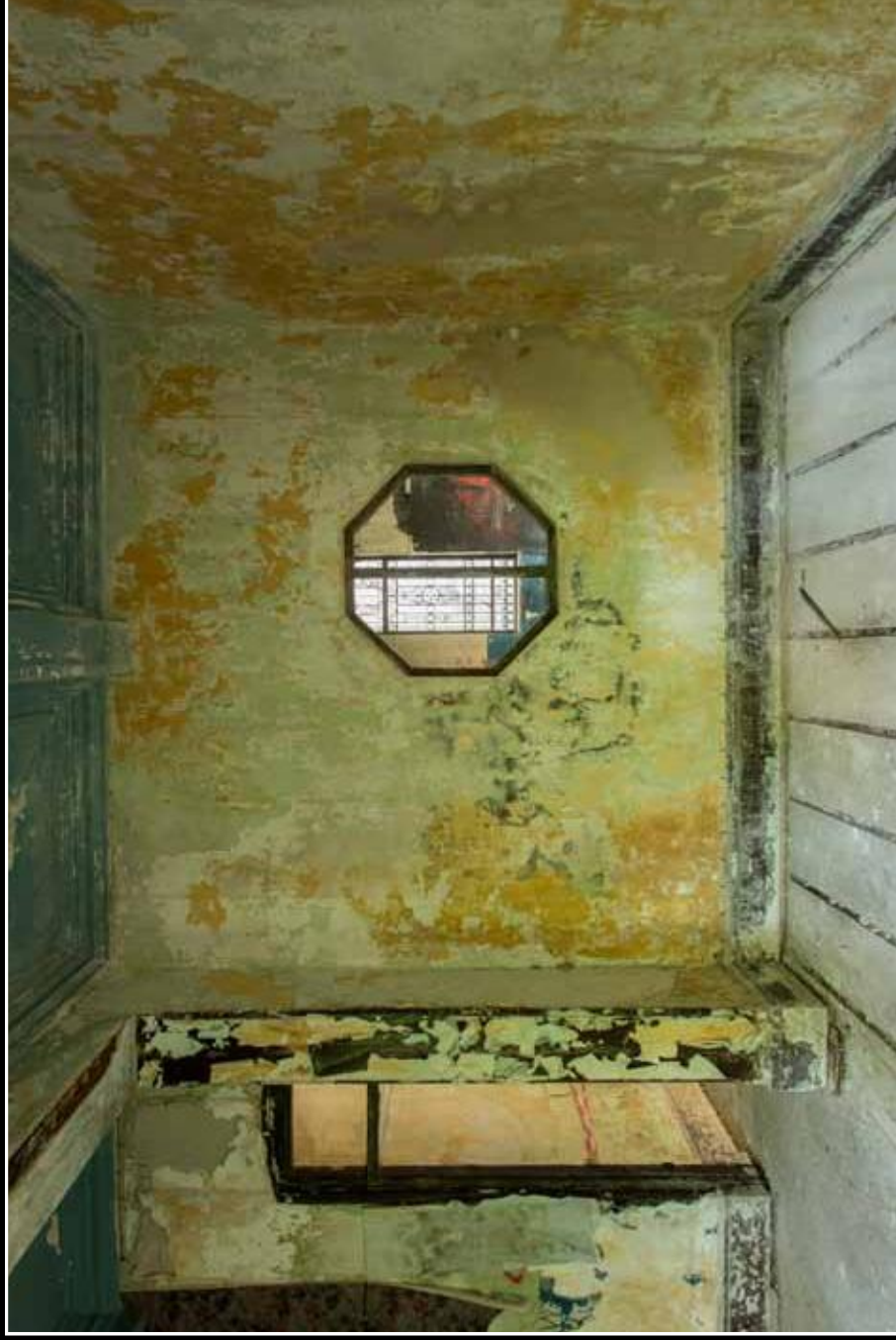
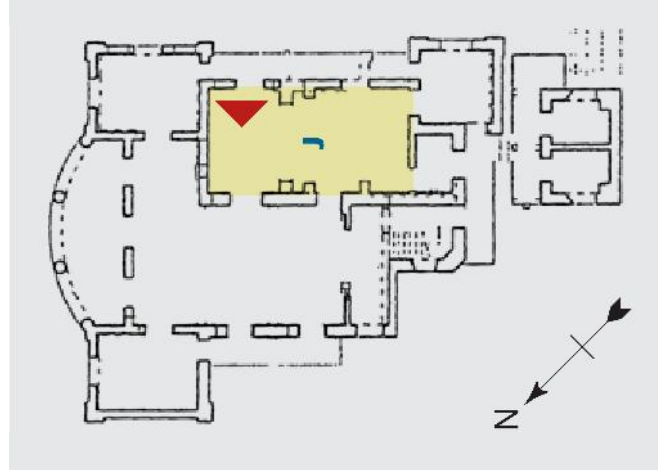


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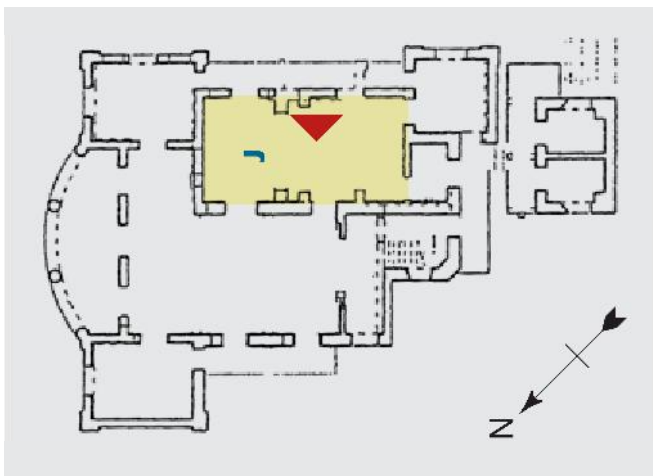


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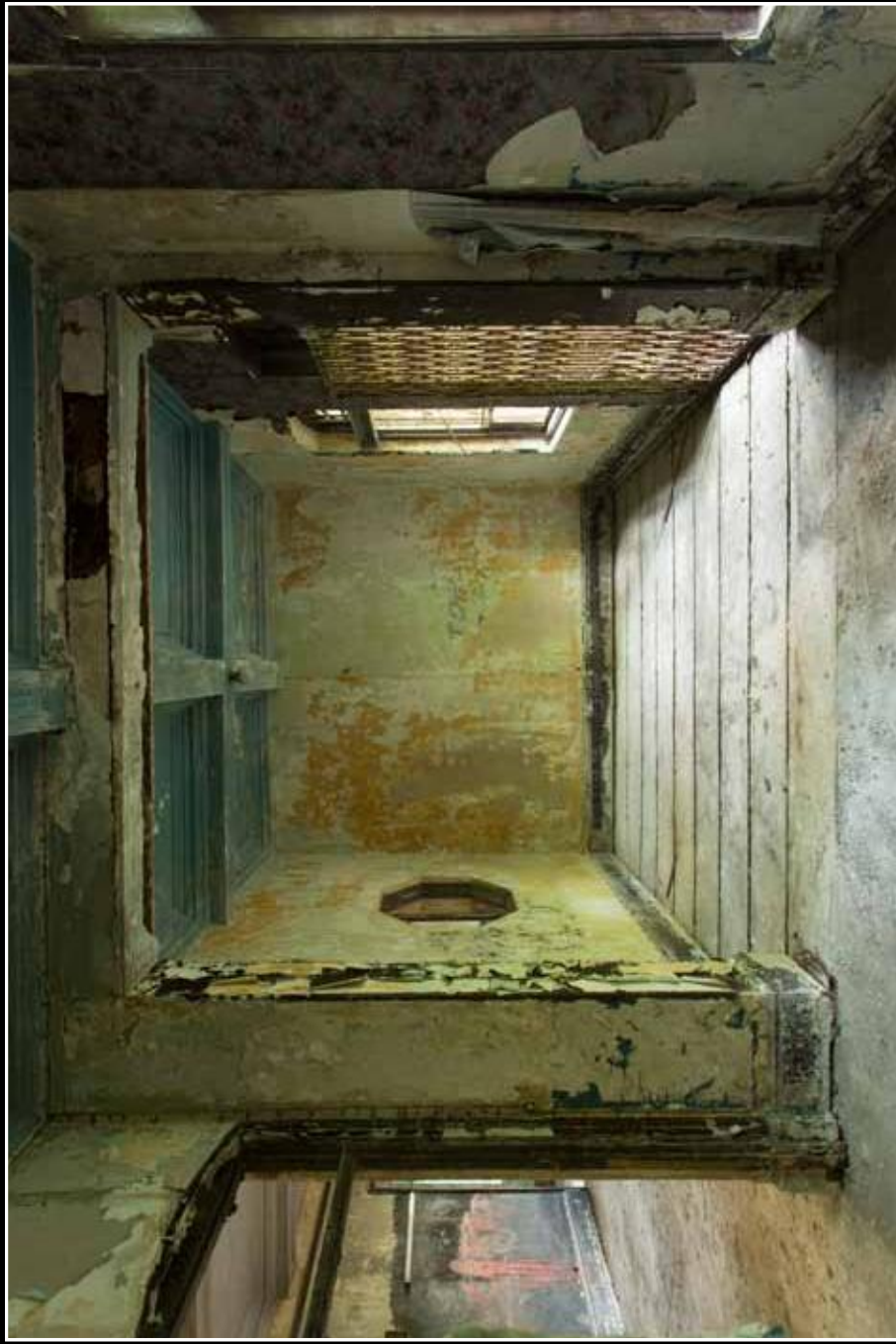
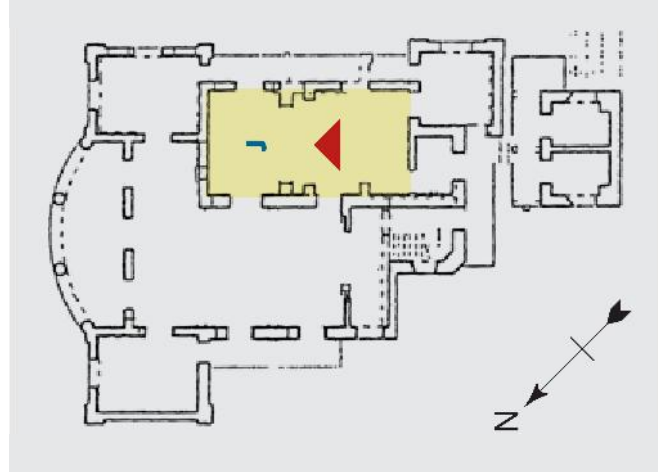


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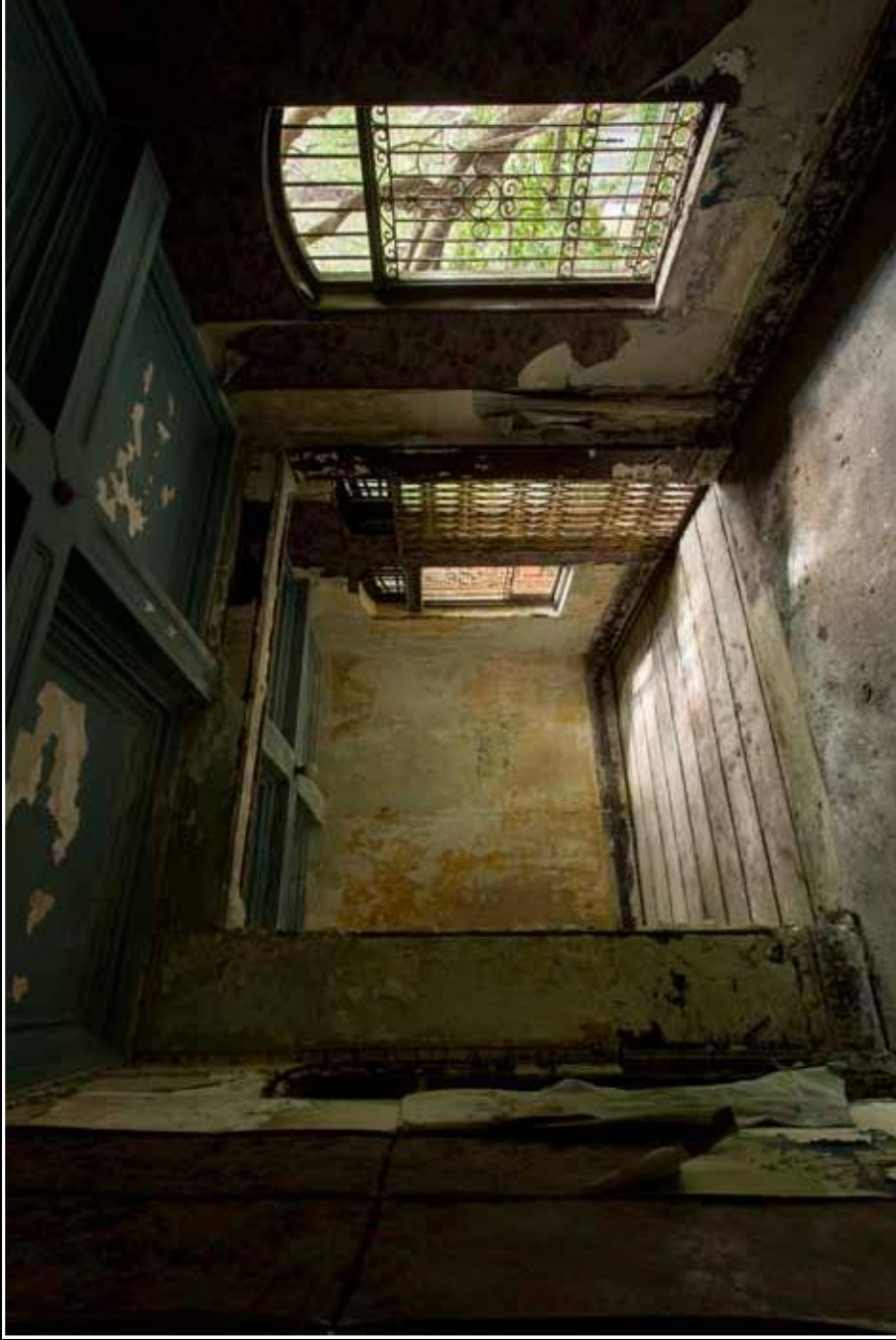
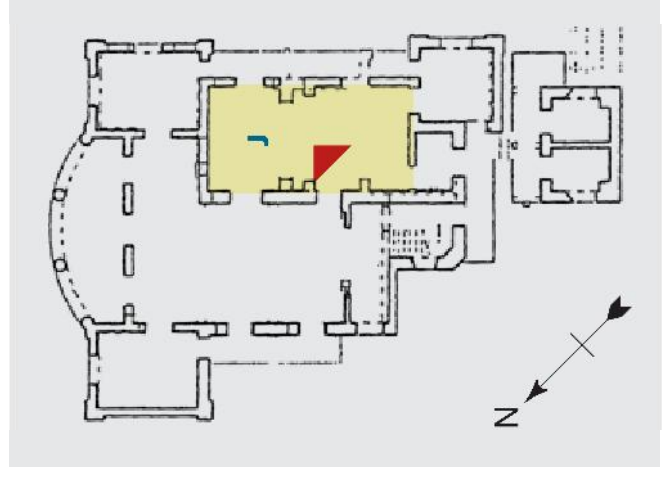
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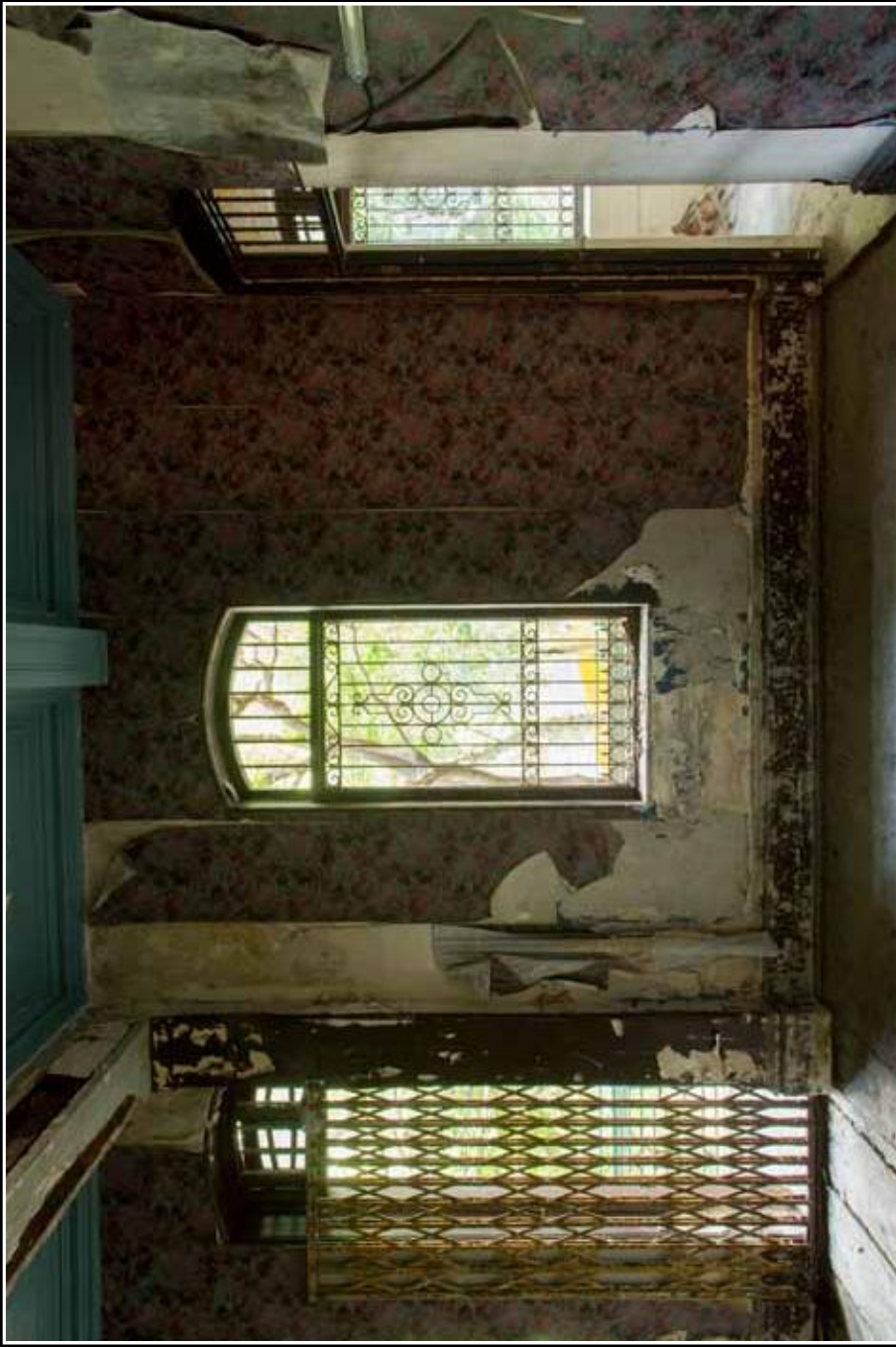
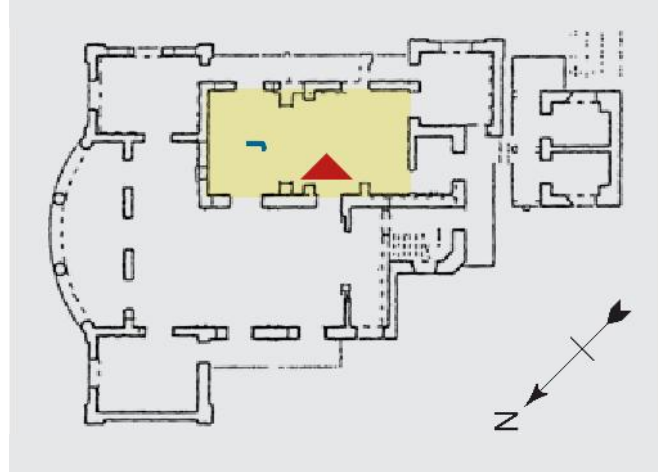
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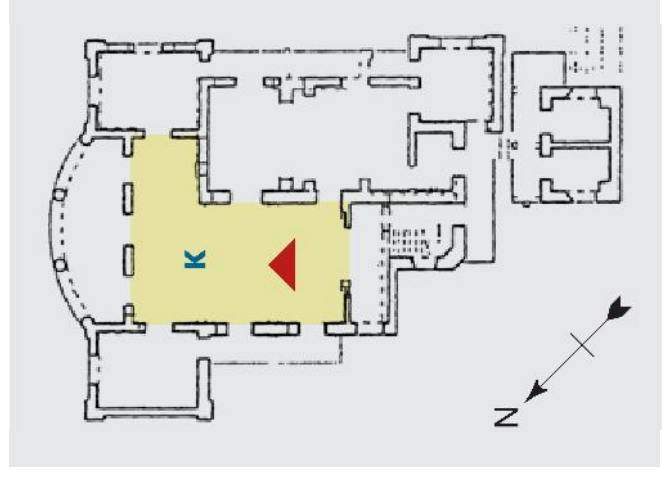


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圖片：J06

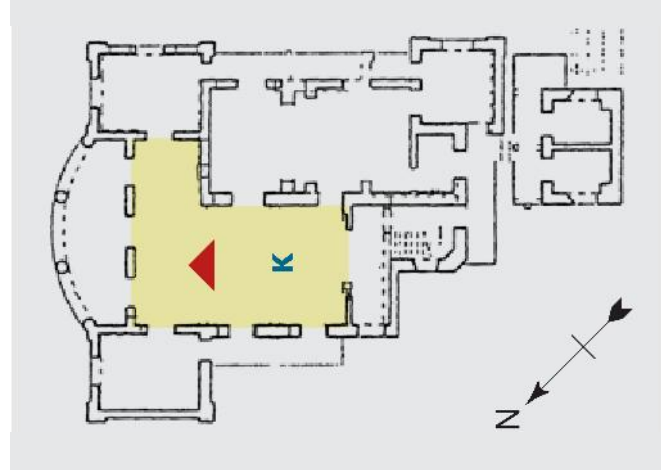


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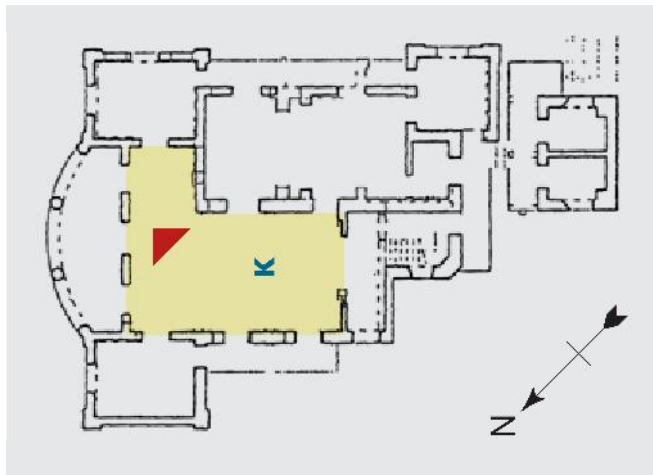


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圖片：K02

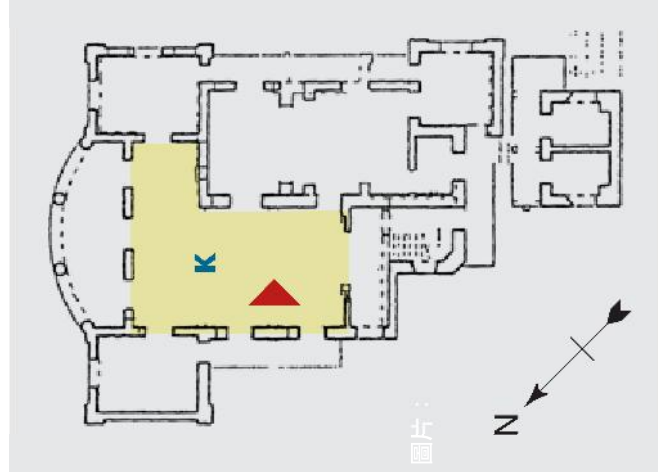


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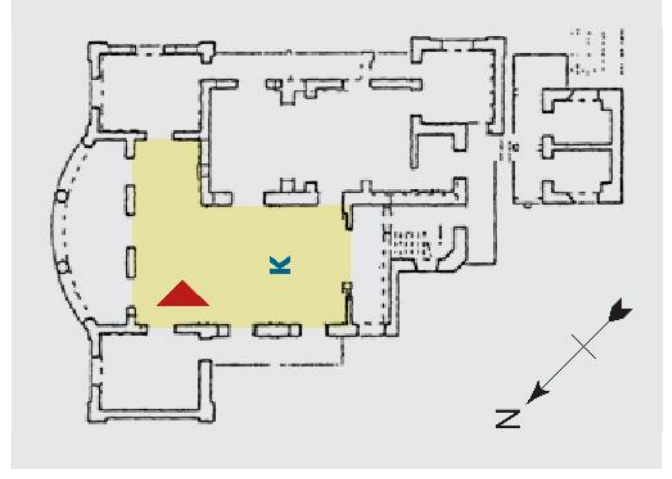
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圖片：K04

樓一

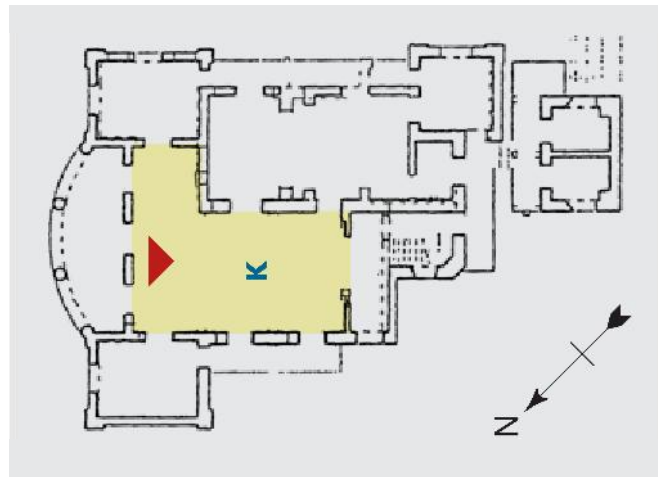


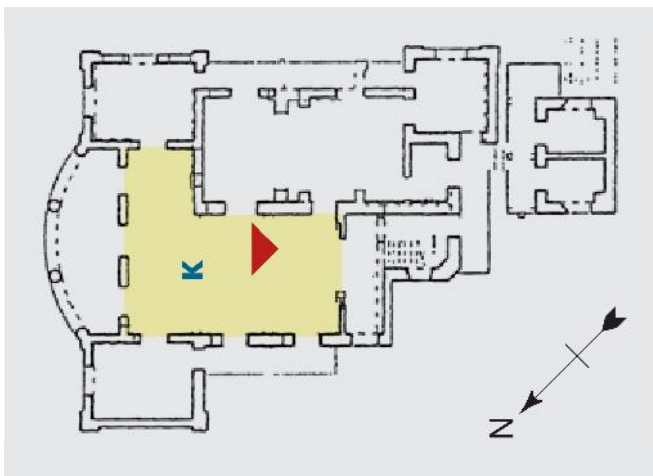
圖片：K05



圖片：K06

樓一





樓

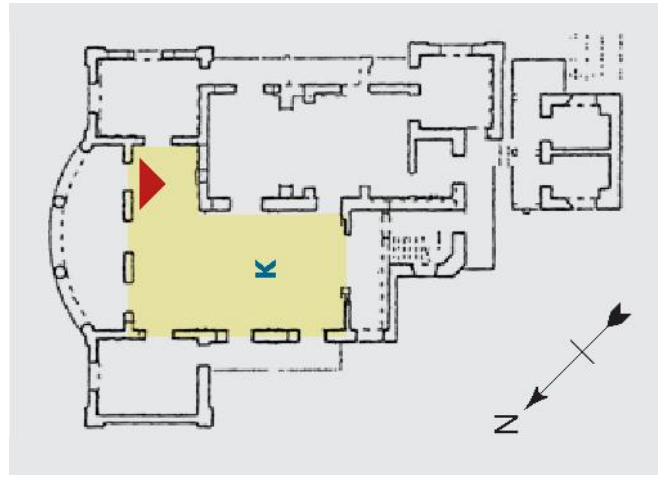


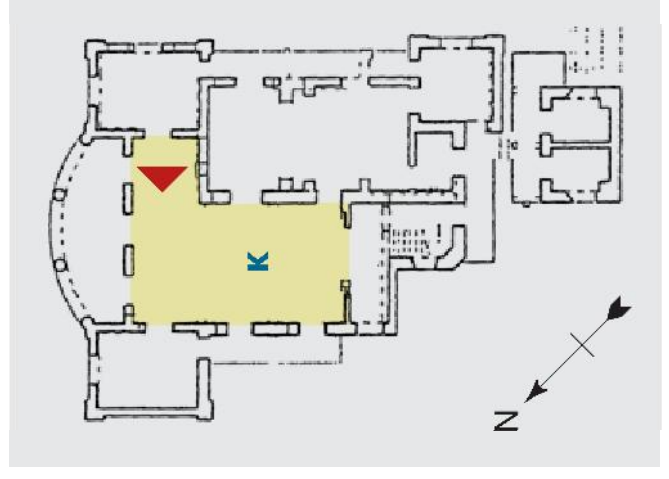
圖片：K07



圖片：K08

概一



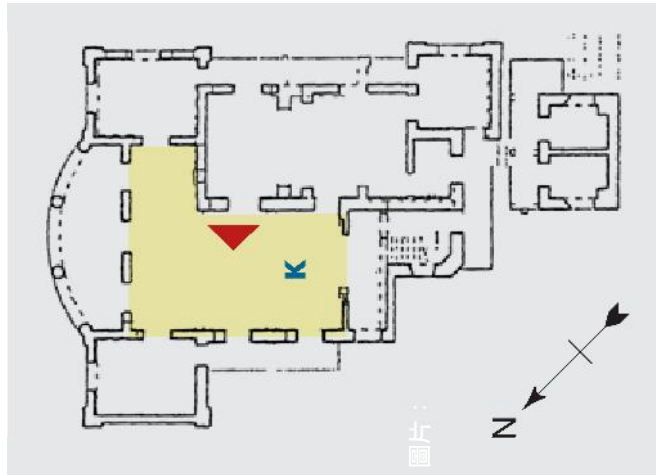


樓
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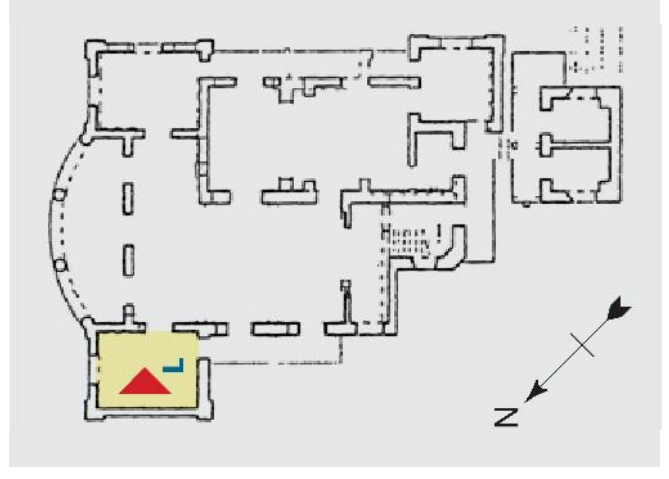


圖片：K09

樓一



圖片：K10



樓一

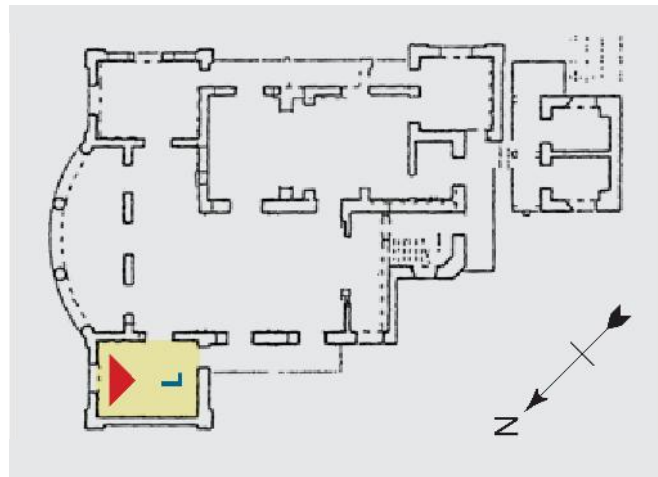


圖片：L01

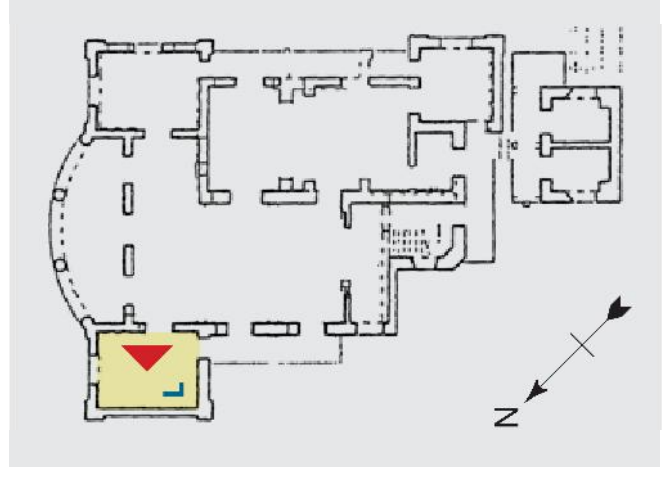


圖片：L03

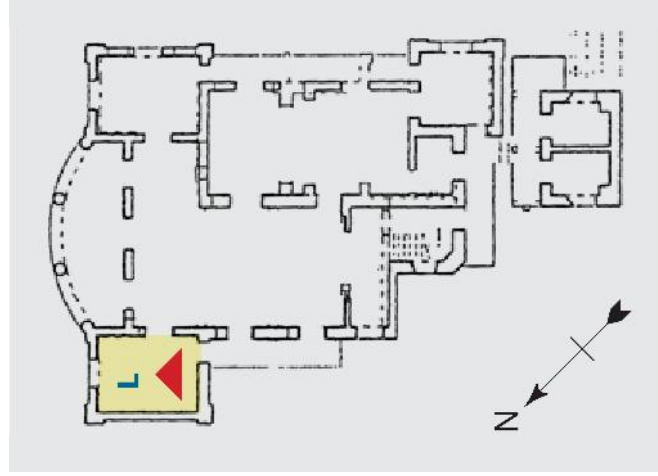
概一



樓一



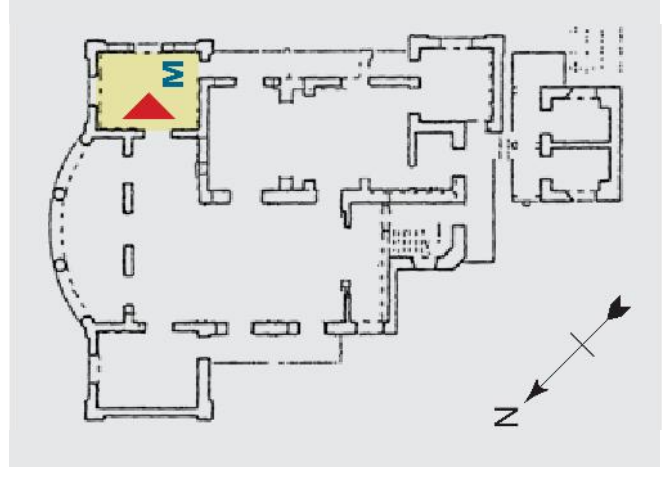
圖片：L02



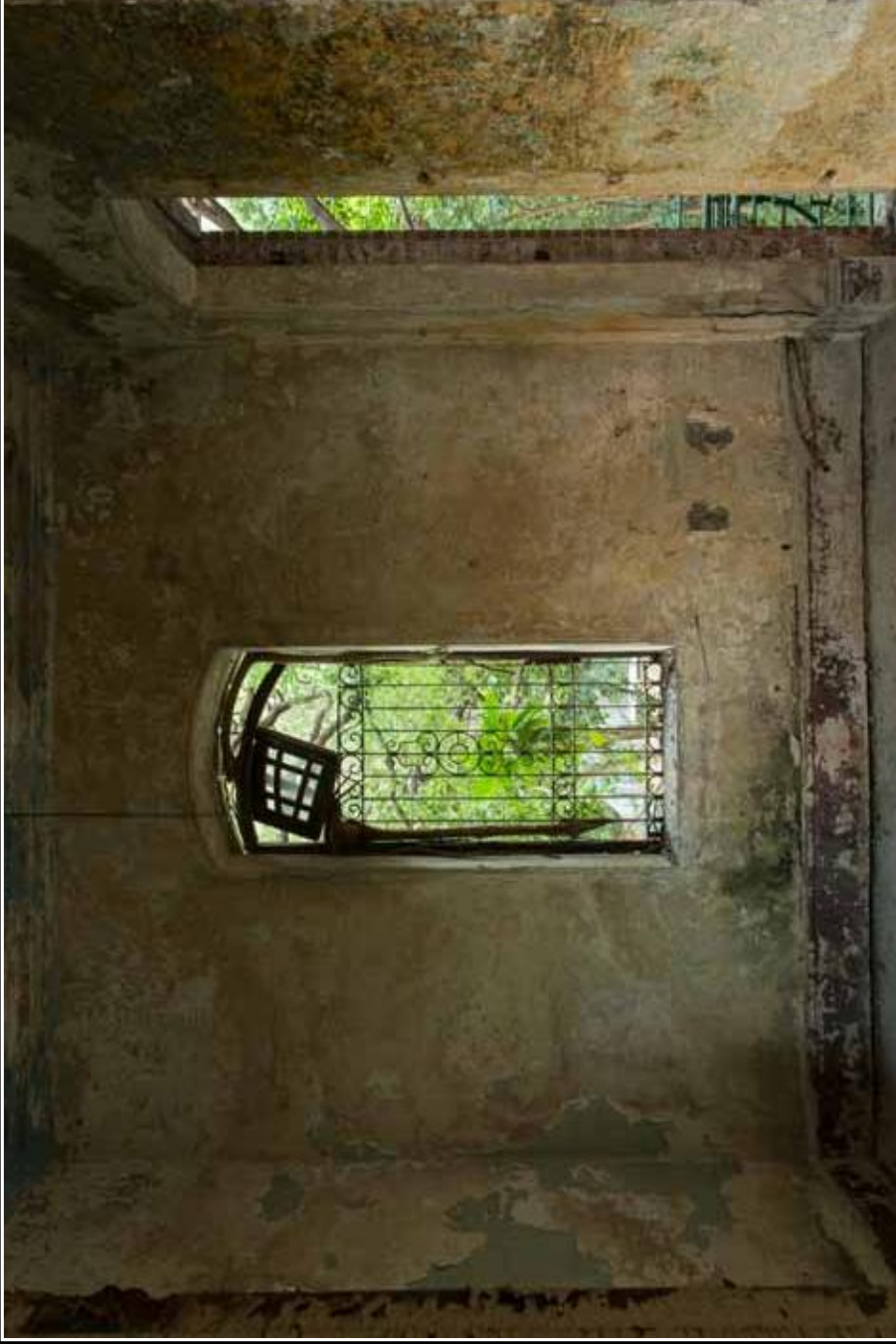
圖一



圖片：L04

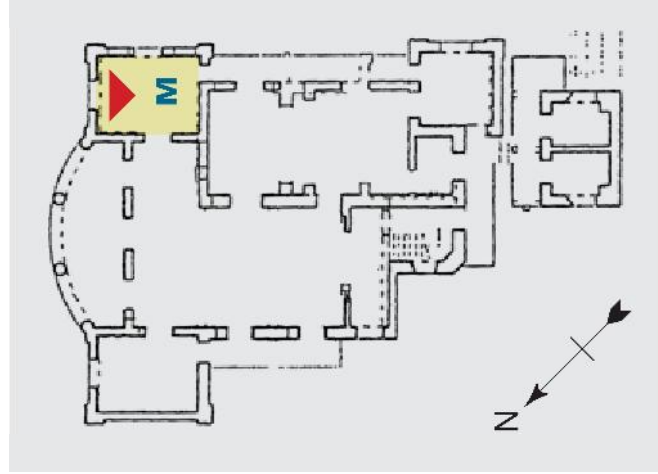


樓一



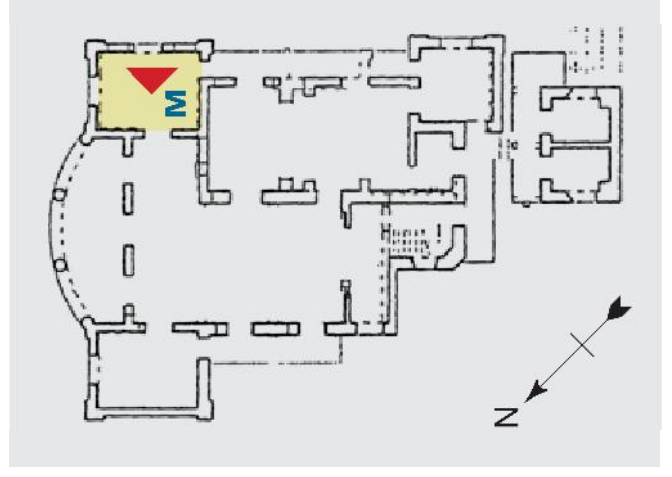
圖片：M01

樓一



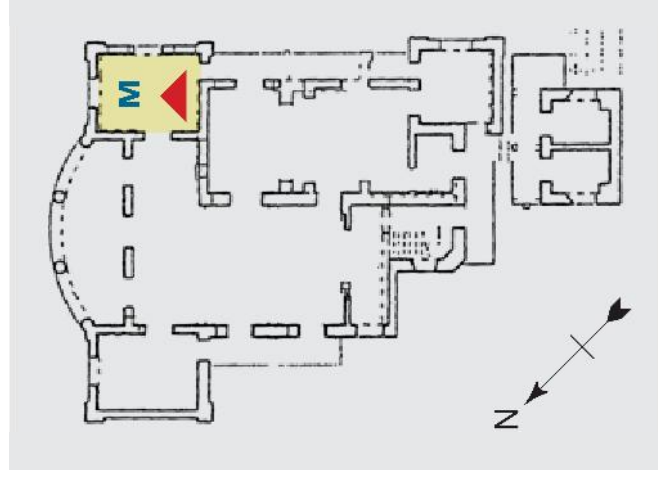
圖片：M02

樓
一

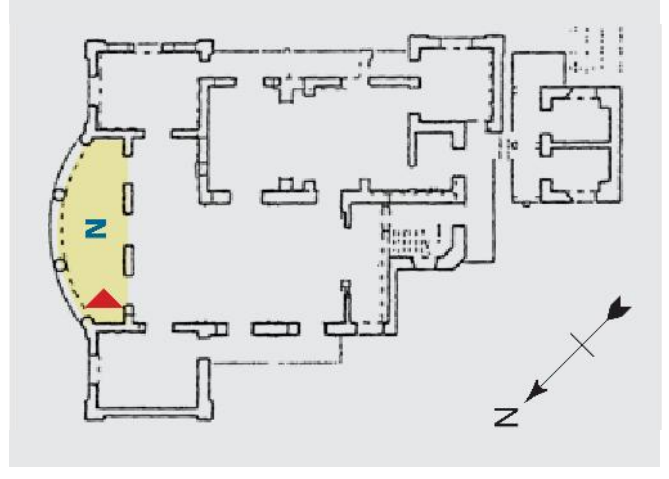


圖片：M03

樓一



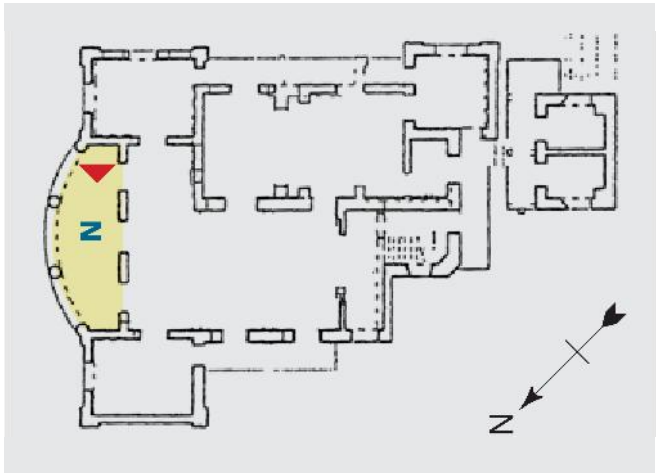
圖片：M04



樓一



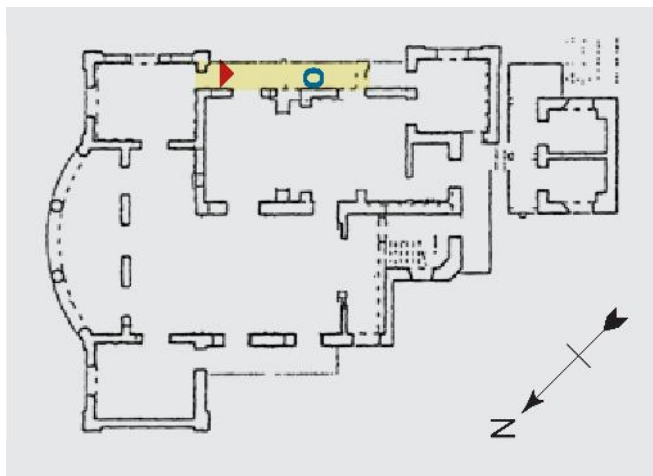
圖片：N01



圖一

圖片：N02





樓一

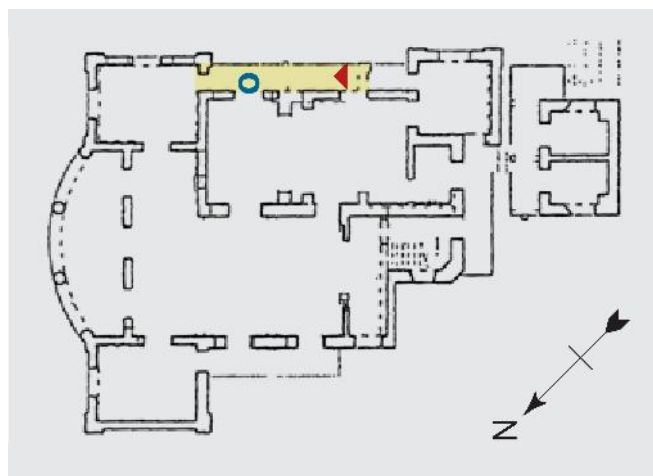


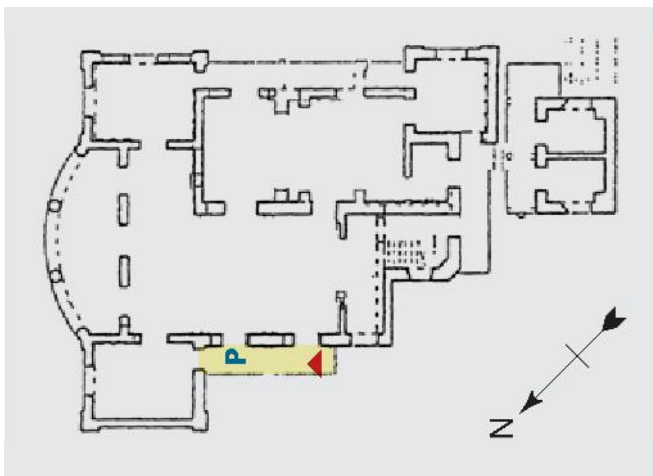
圖片：001



圖片：002

圖一





樓一

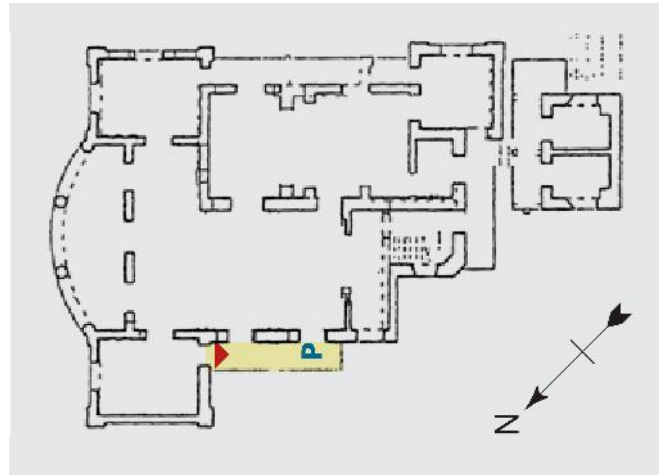


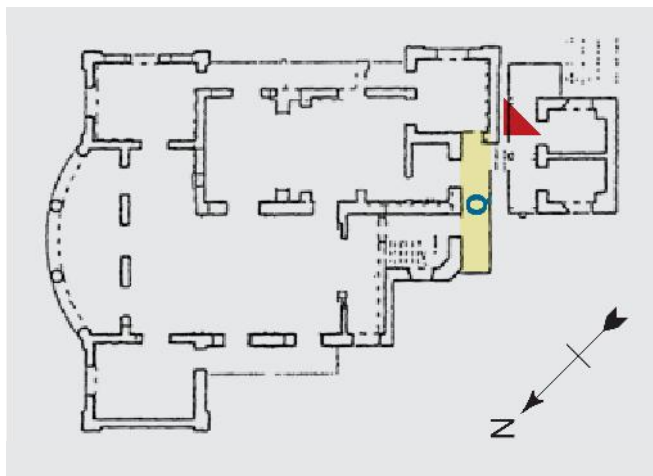
圖片：P01



圖片：P02

概一



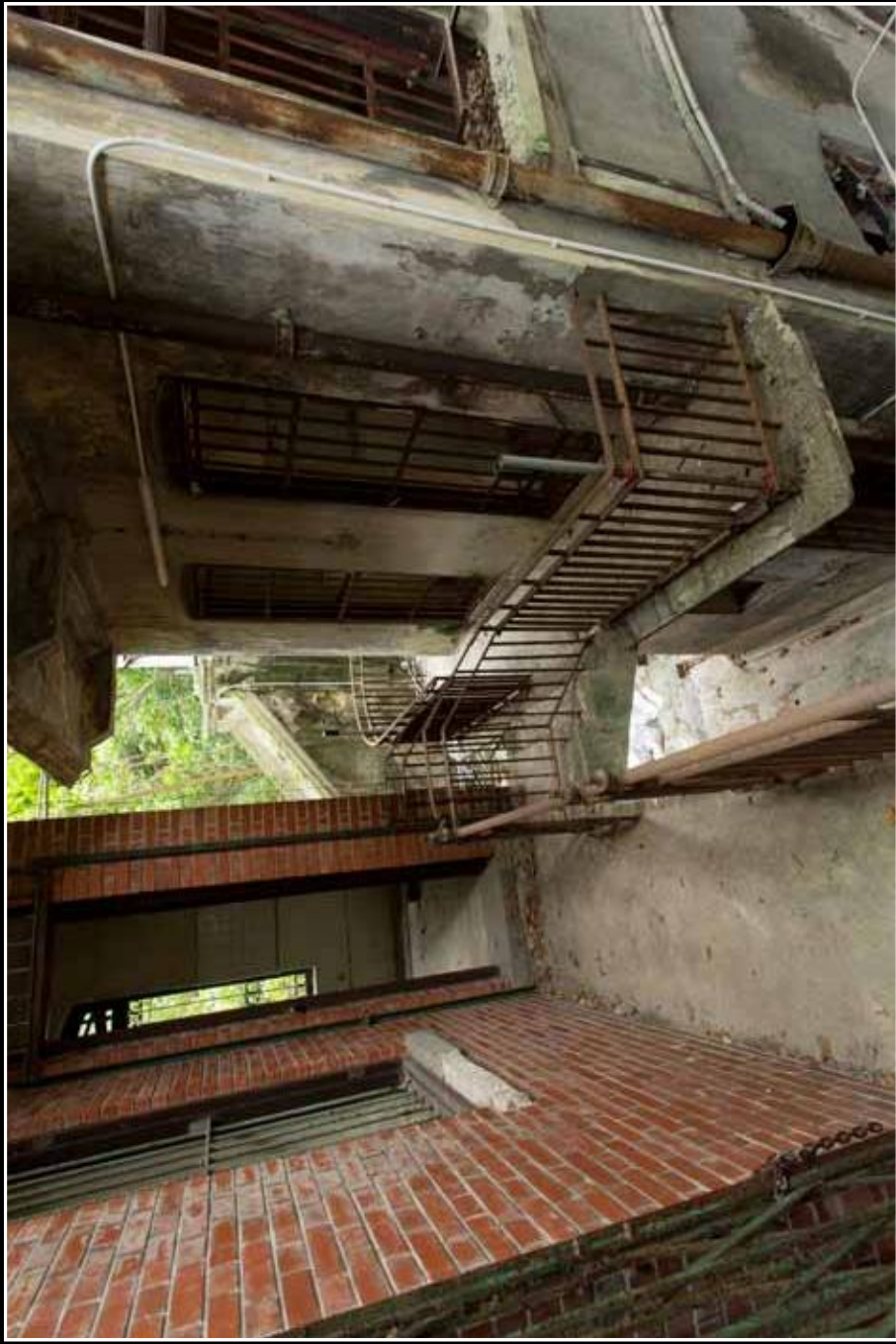
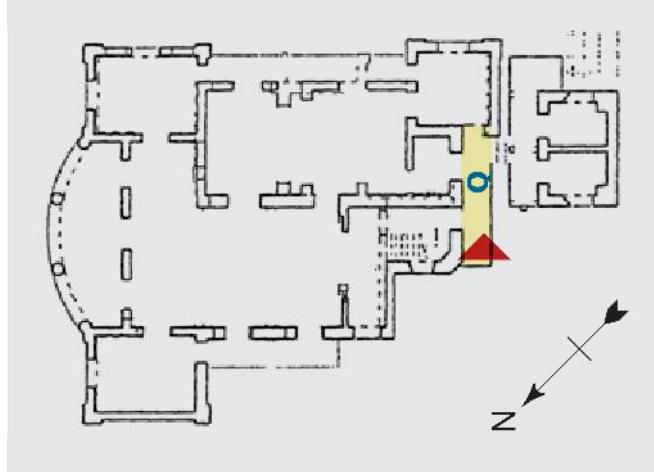


樓一

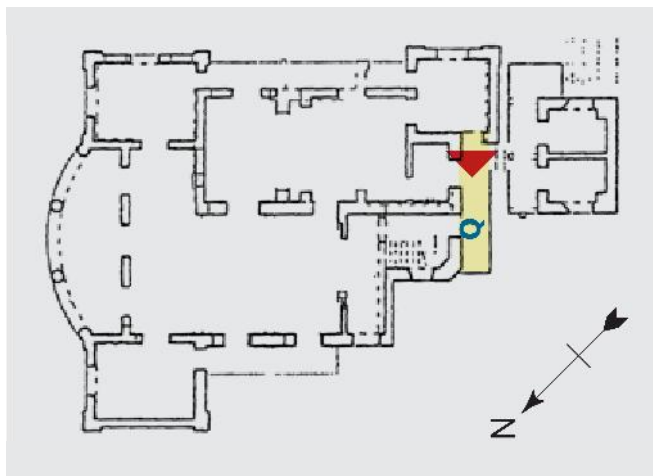


圖片：001

概一



圖片：Q02

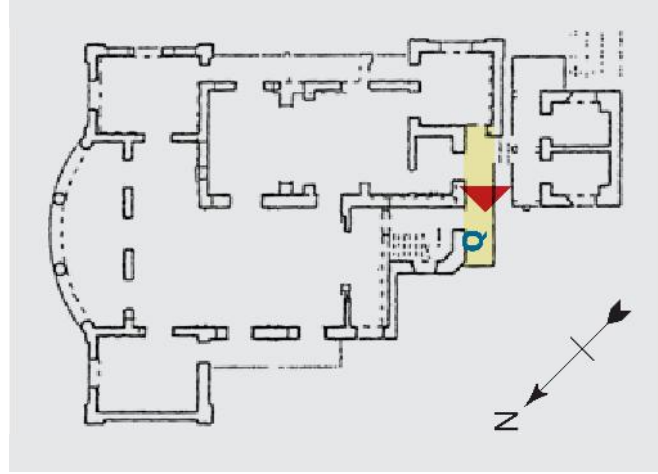


一樓

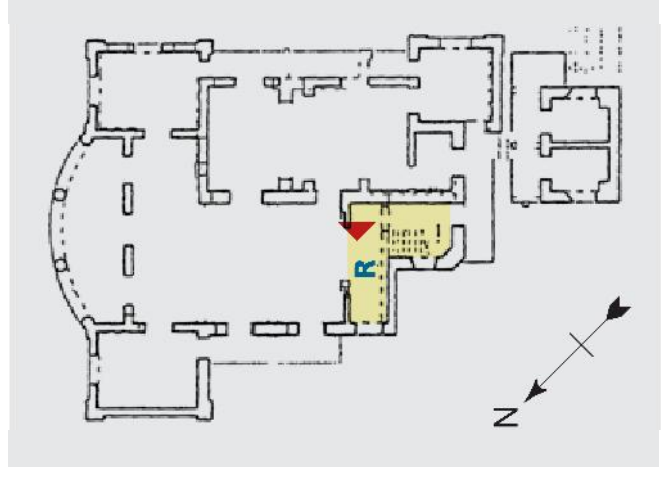


圖片：Q03

概一



圖片：R04

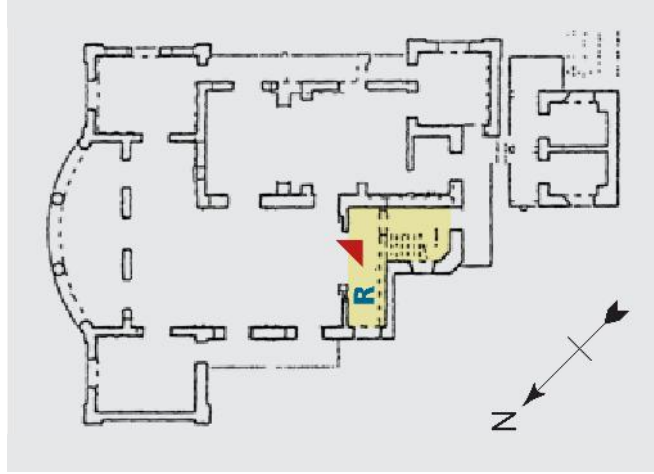


樓一

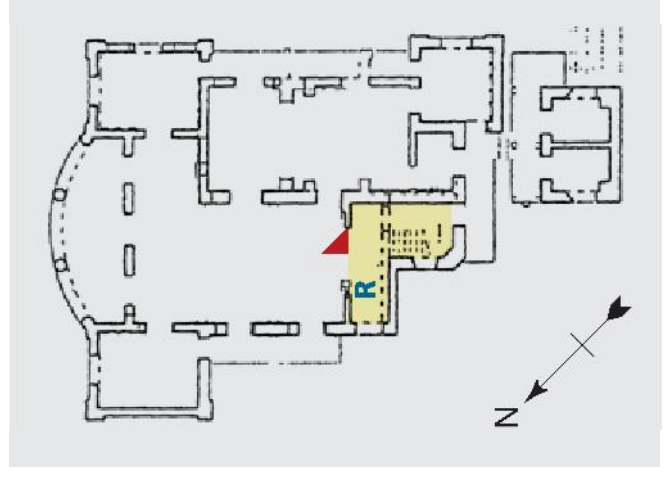


圖片：R01

樓一



圖片：R02



樓一

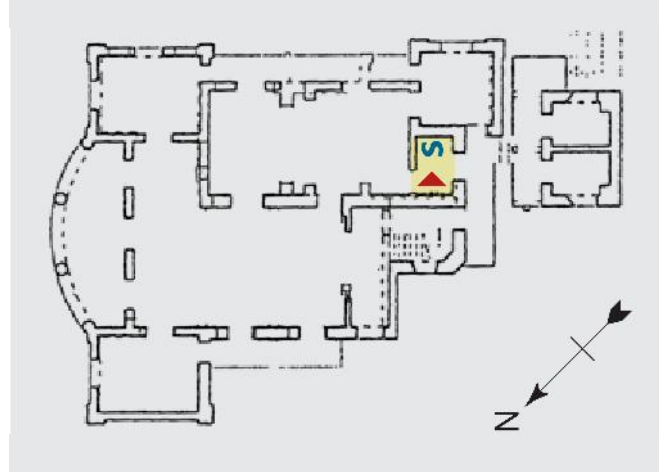


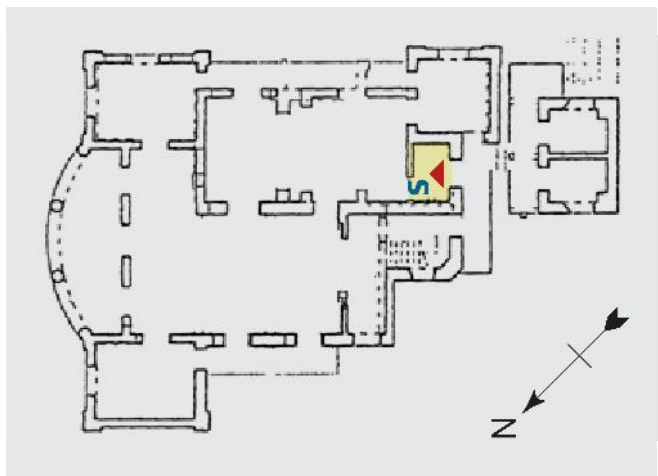
圖片：R03



圖片：S01

一樓

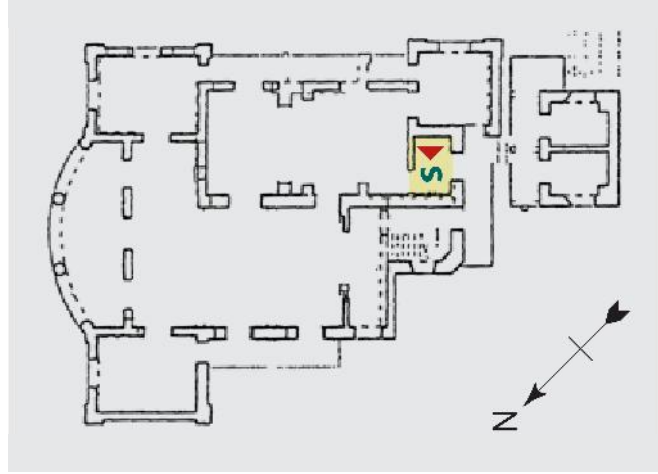




樓一



圖片：S02



一樓

圖片：S03



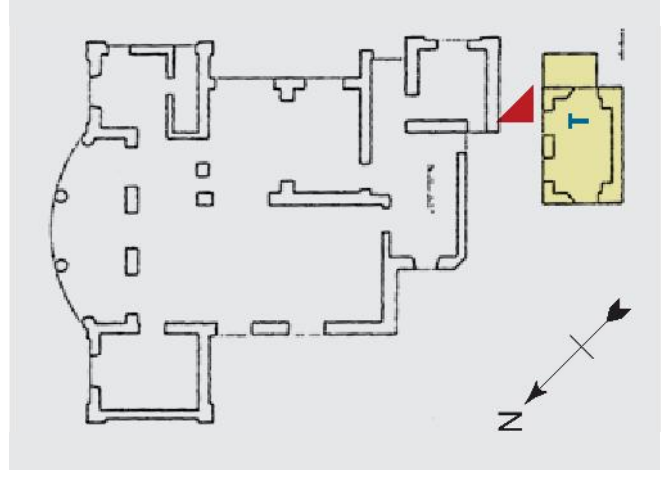
第三輯

附屬 建築物

南固臺



地下

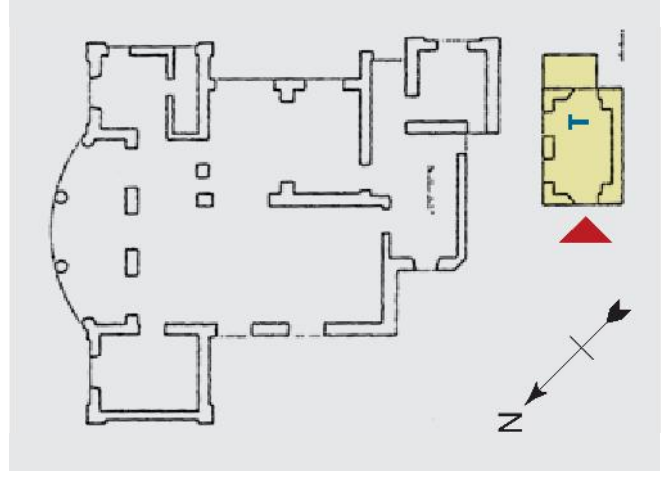


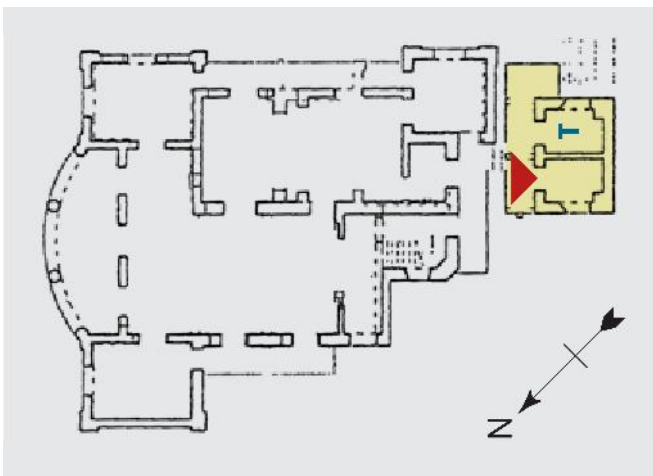
圖片：T01



圖片：T02

地下





樓一

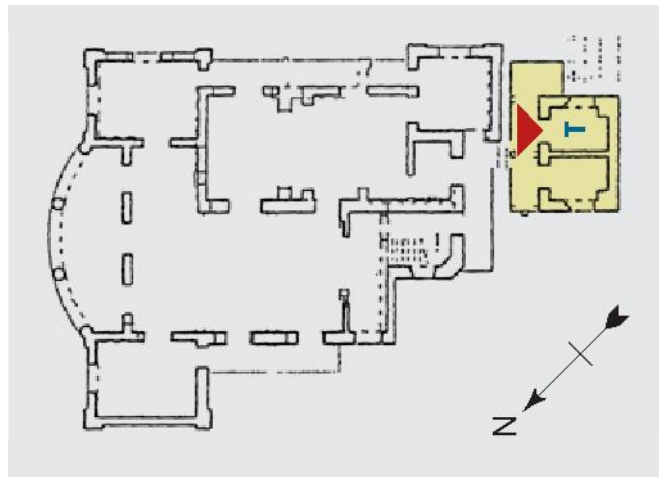


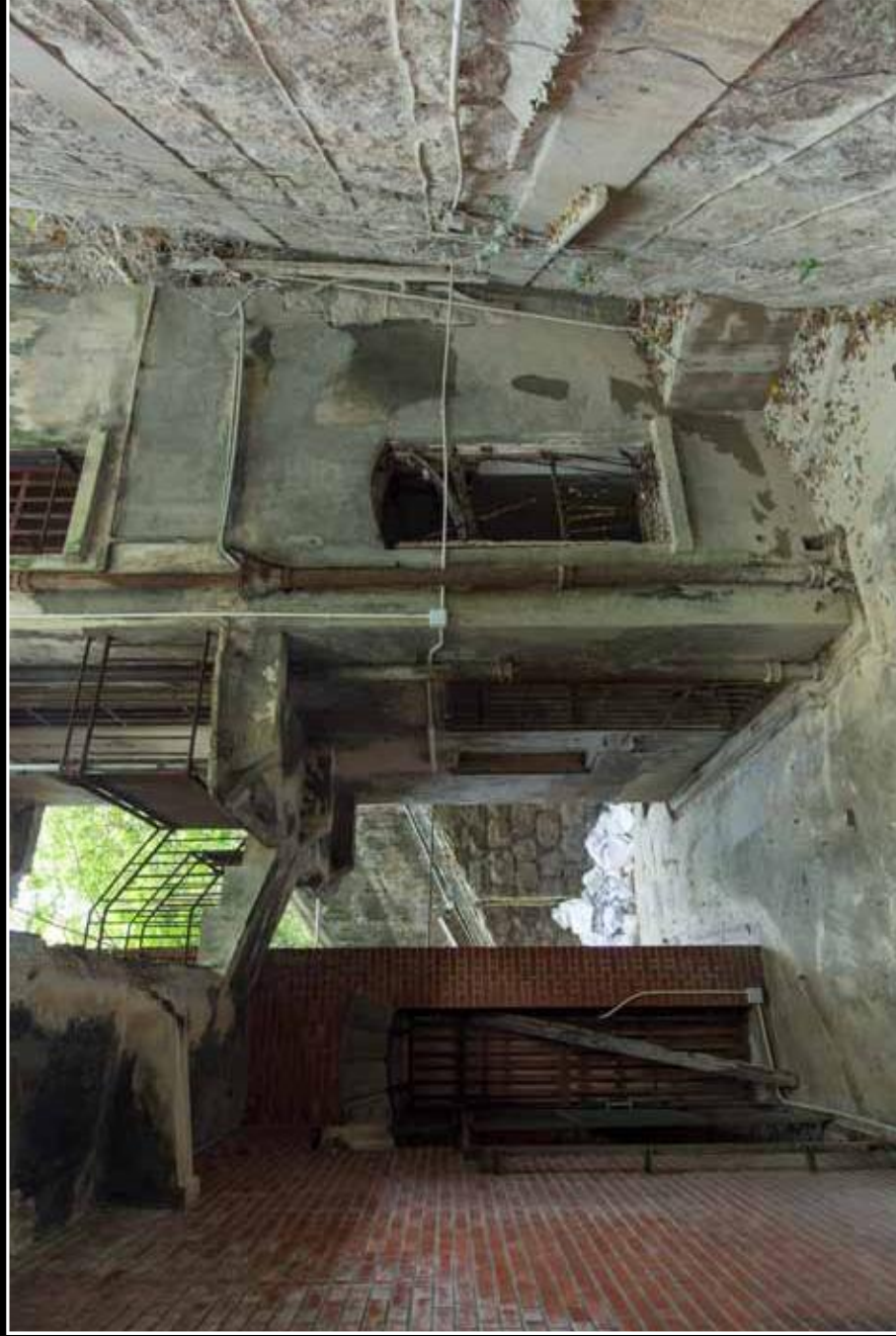
圖片：T03



圖片：T04

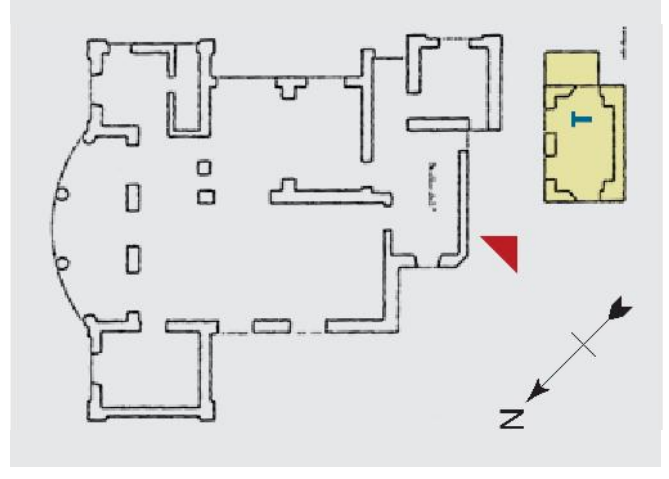
概一





圖片：T05

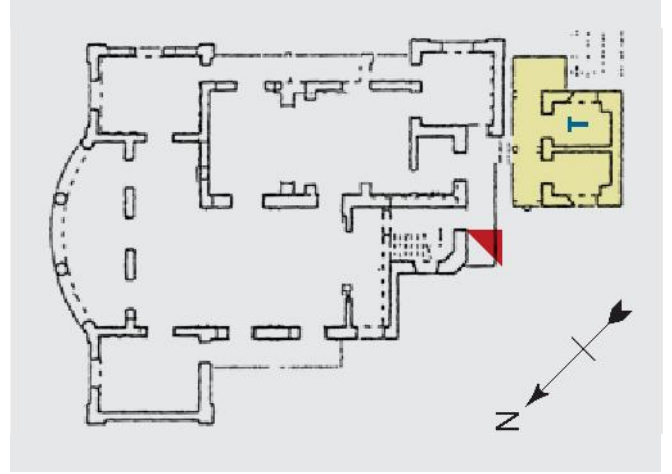
地下

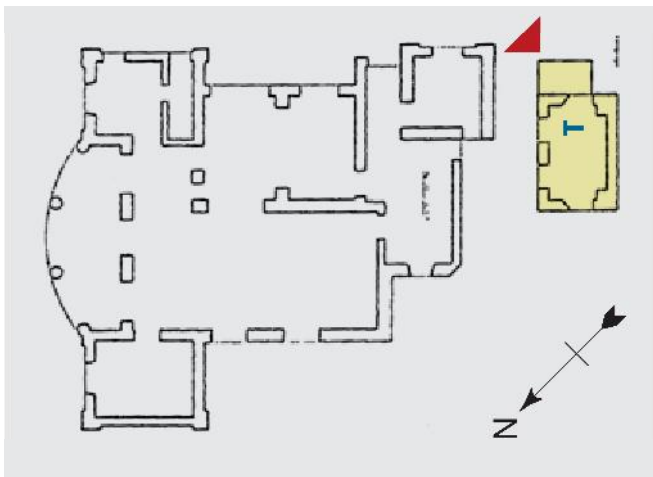




圖片：T06

概一





地下

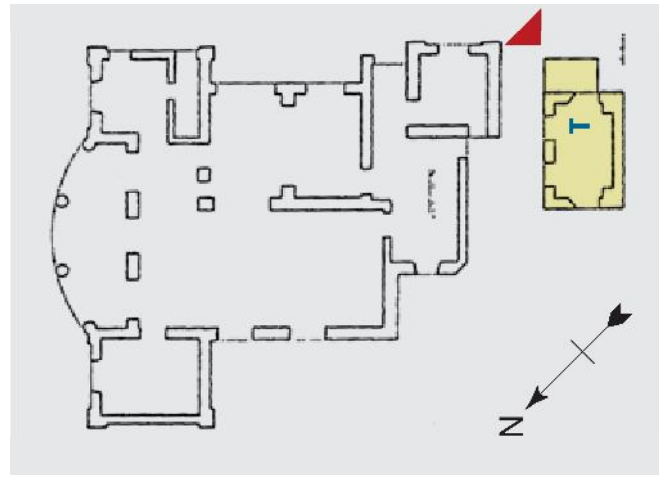


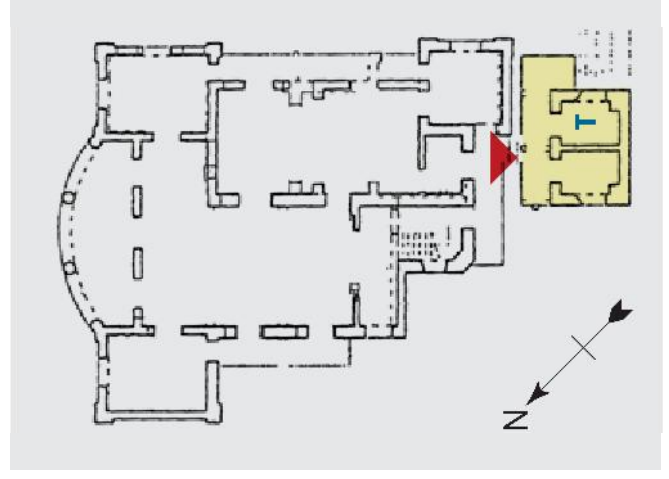
圖片：T07



圖片：T08

地下



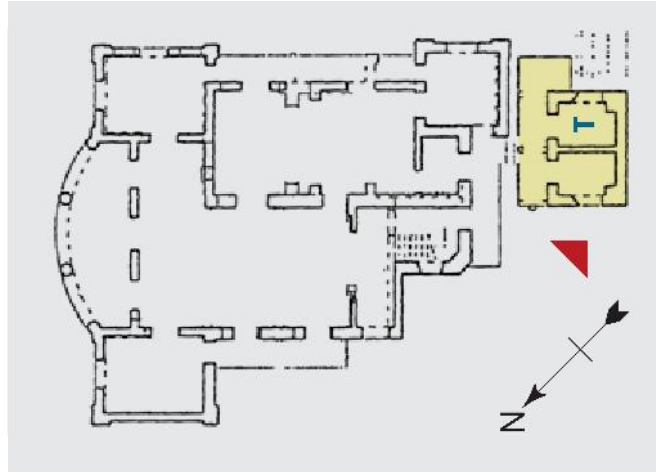


樓一



圖片：T09

概一



圖片：T10

第四章

花園

南固臺





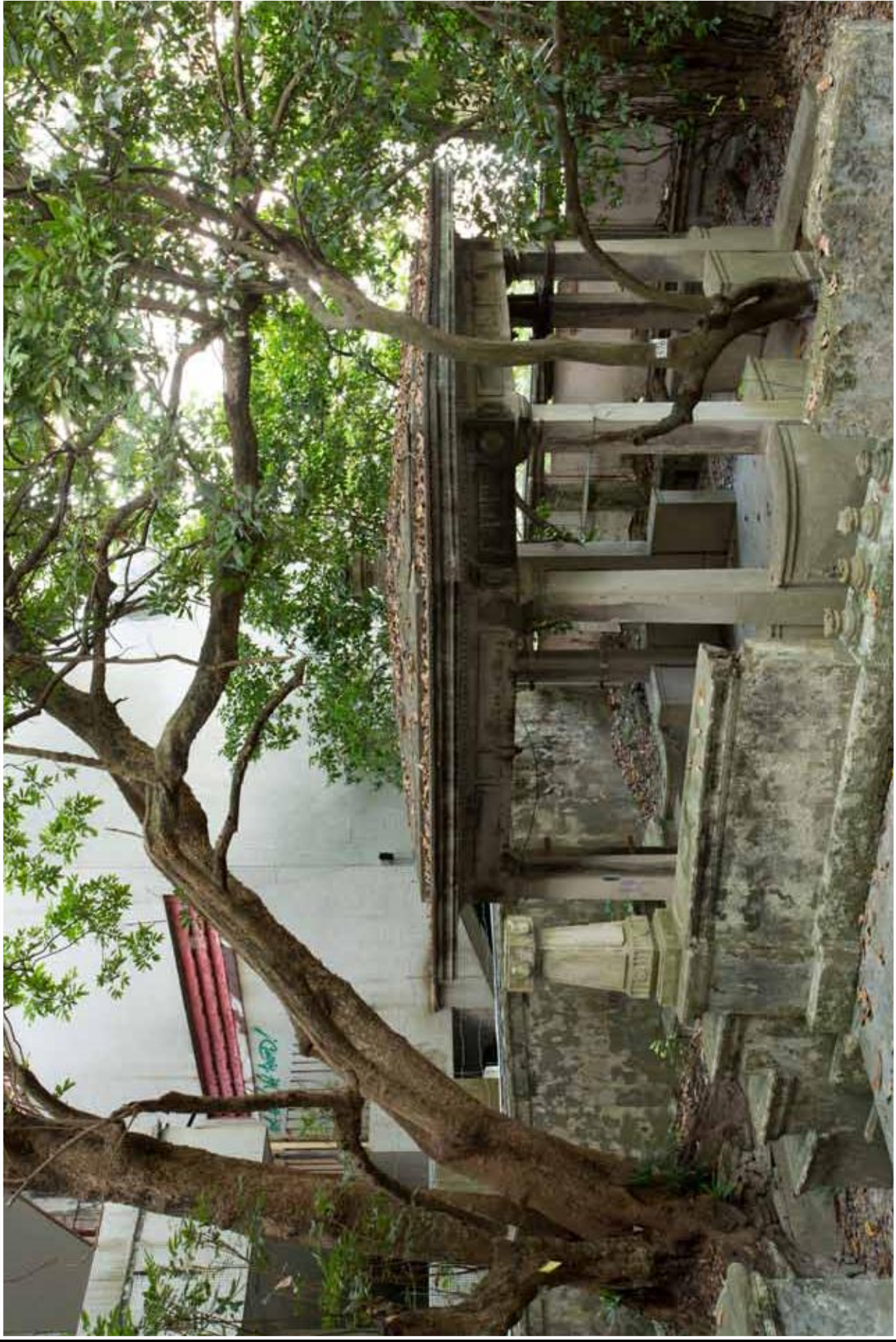
圖片：U01



圖片：U02



圖片：U03



圖片：U04



圖片：U05



圖片：U06



圖片：U07



圖片：U08



圖片：U09



圖片：U10





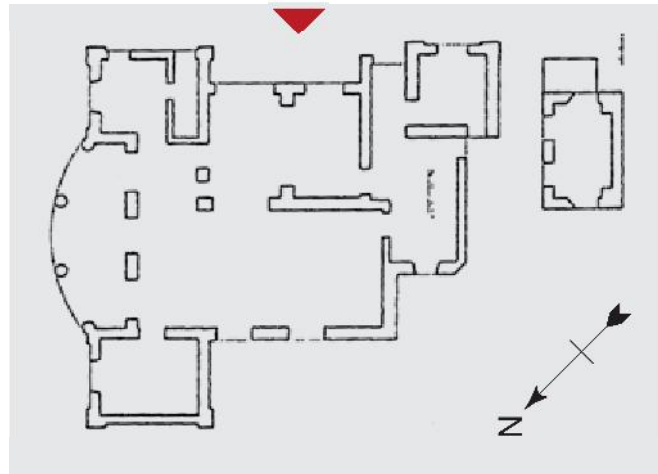
圖片：U12

外圍建築物



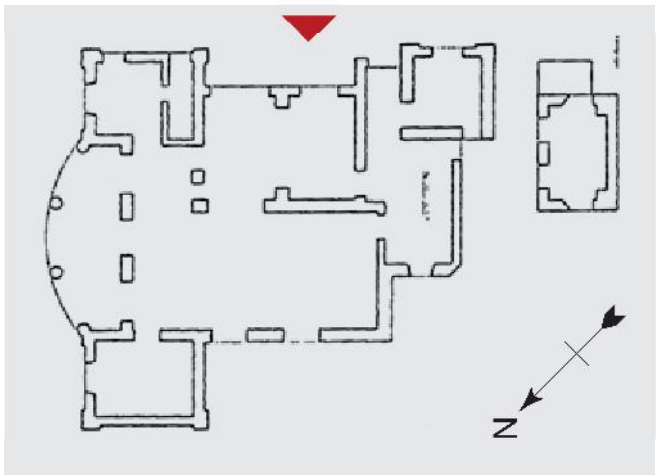


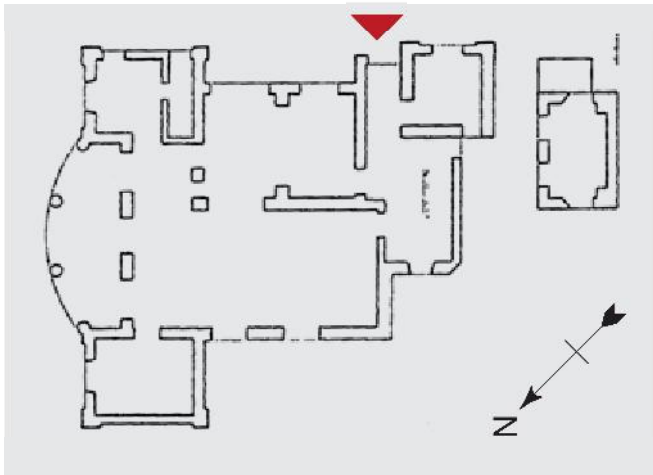
圖片：V01





圖片：V02

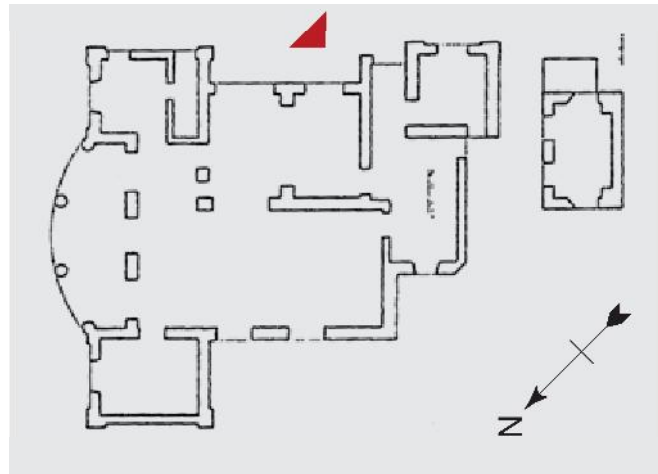


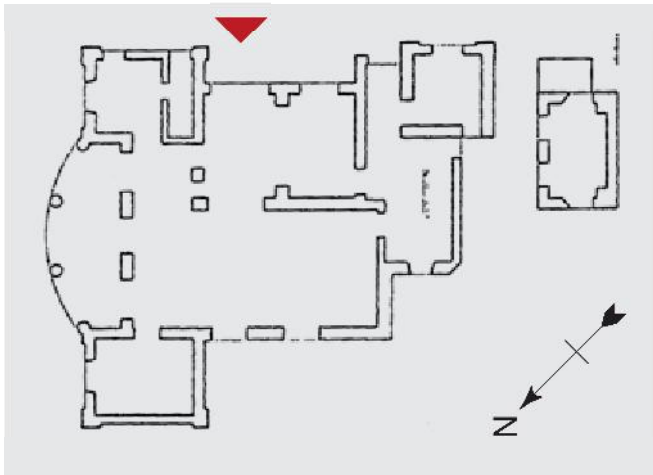


圖片：V03

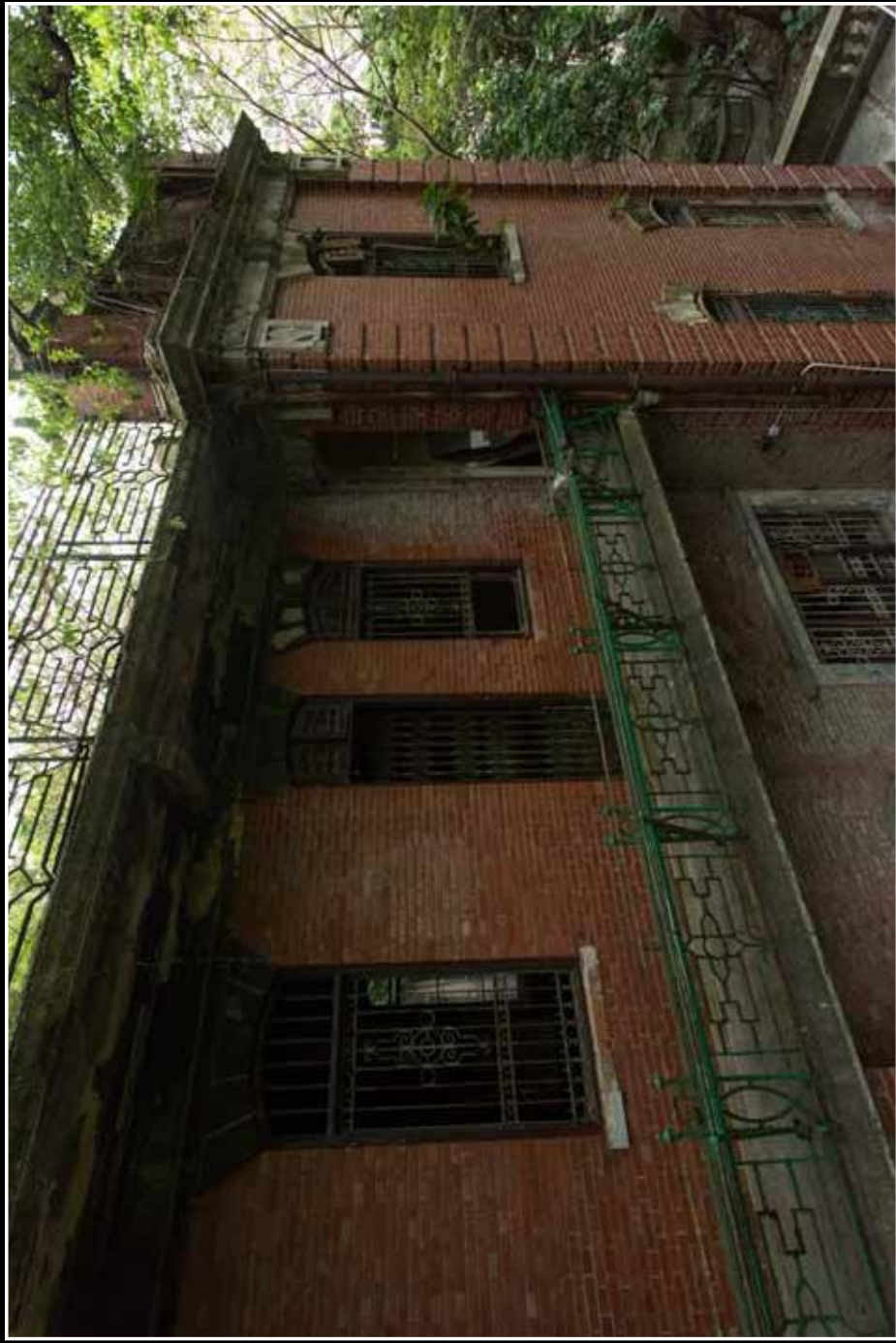


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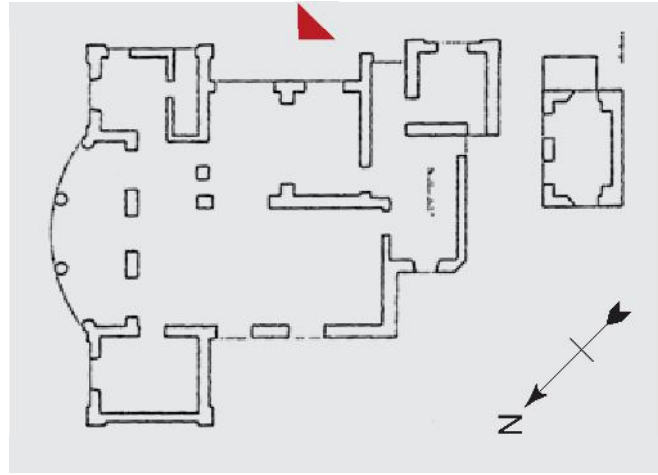


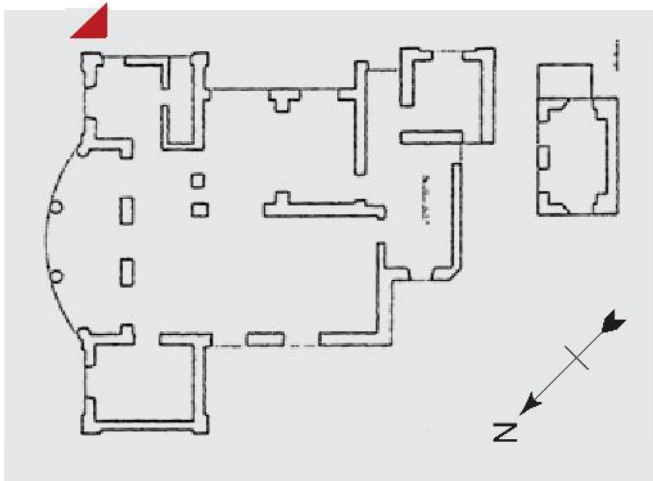


圖片：V05



圖片：V06

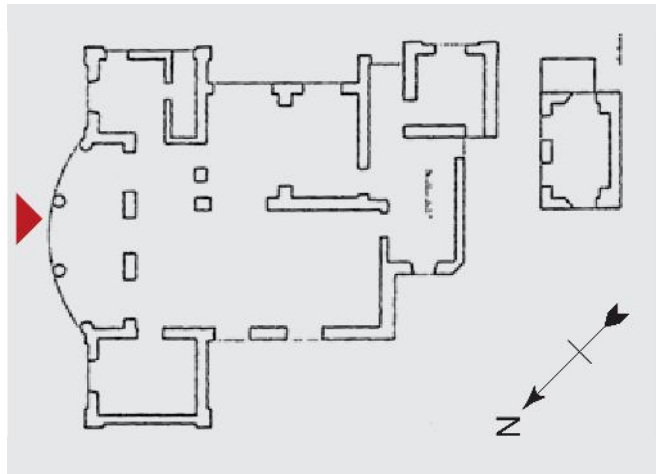


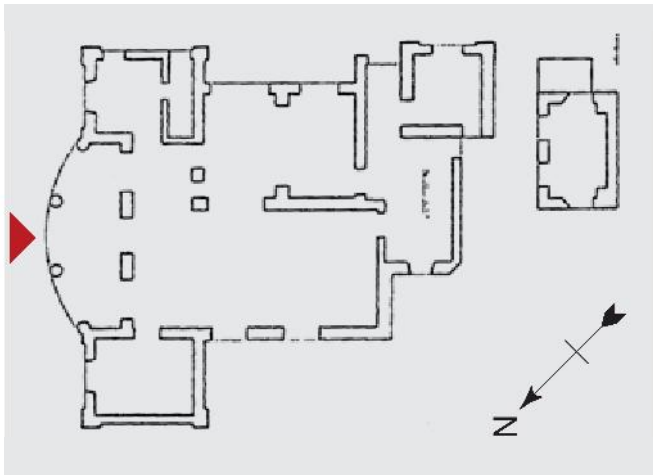


圖片：V07



圖片：V08

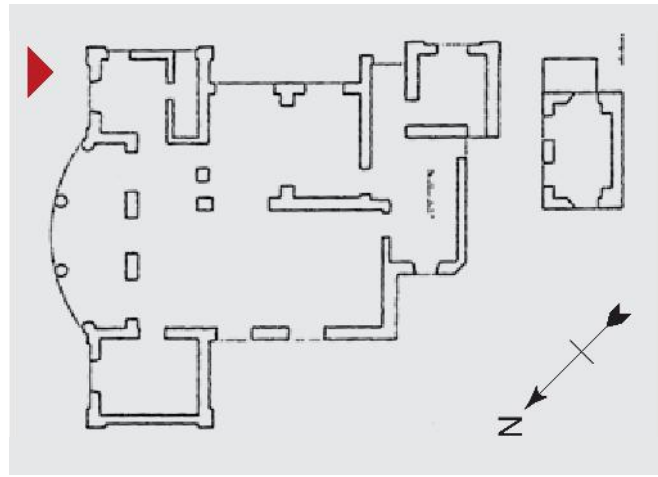


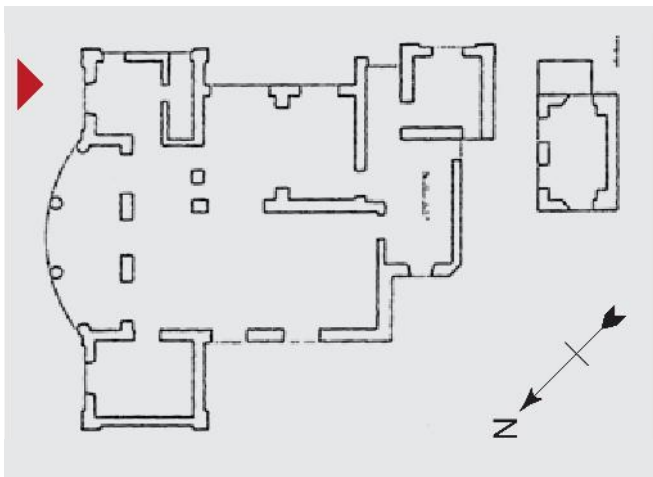


圖片：V09

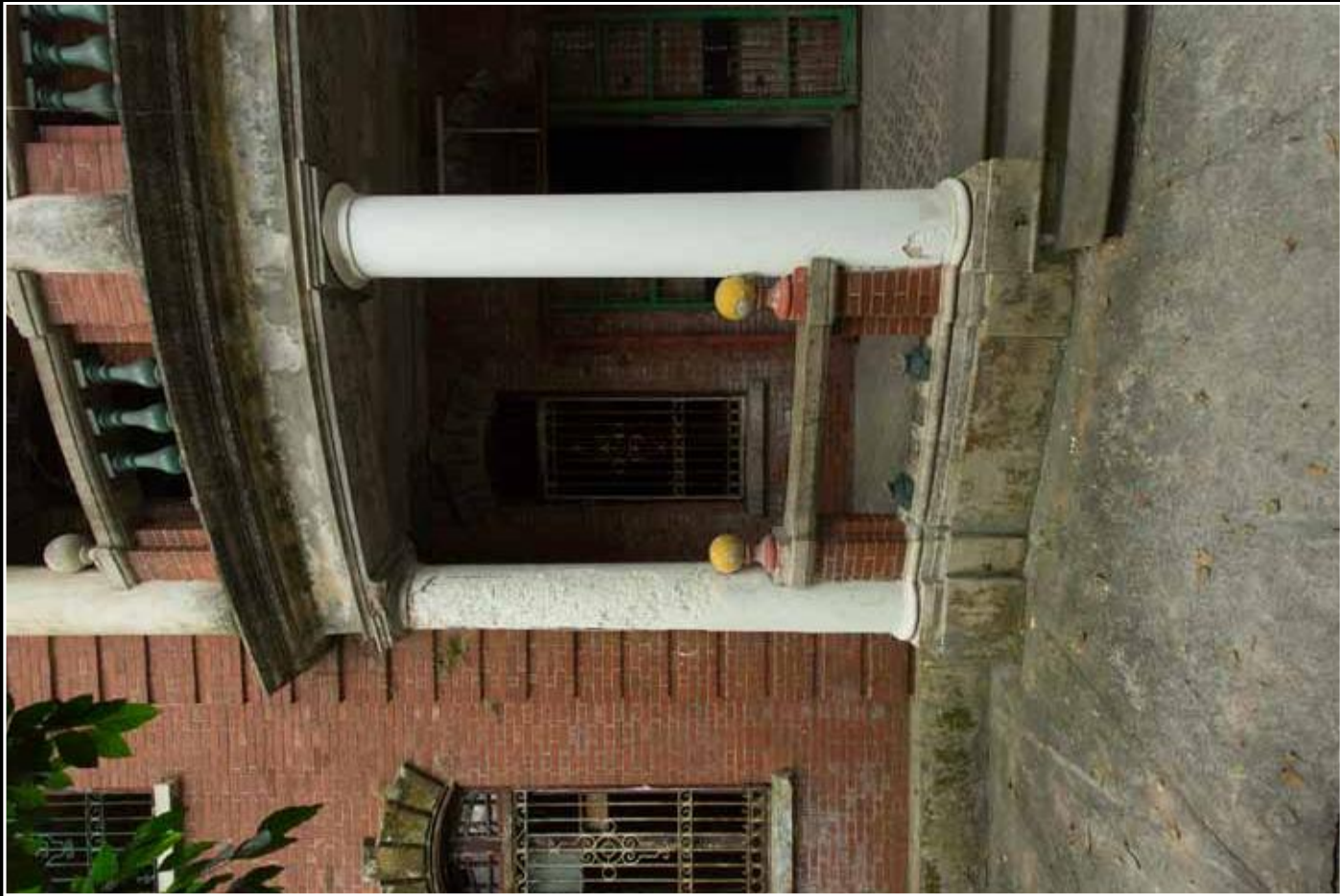


圖片：V10

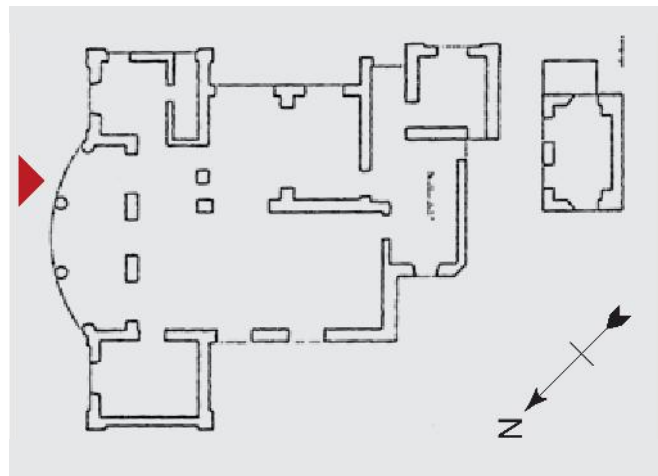


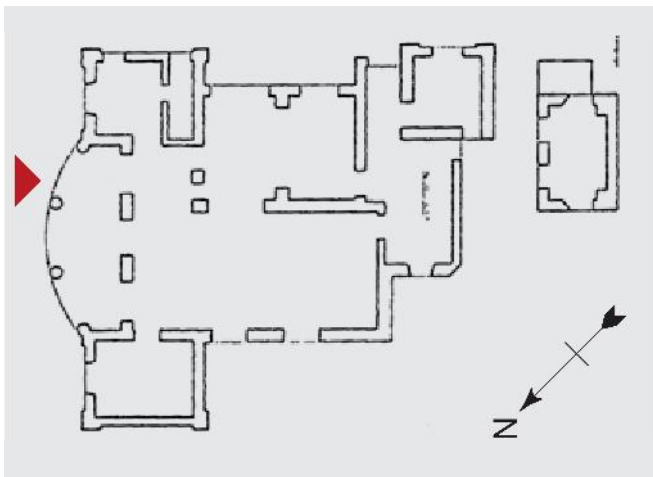


圖片：V11



圖片：V12

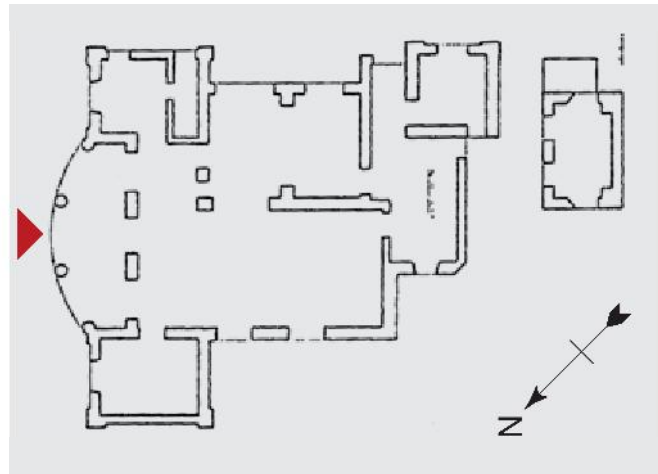


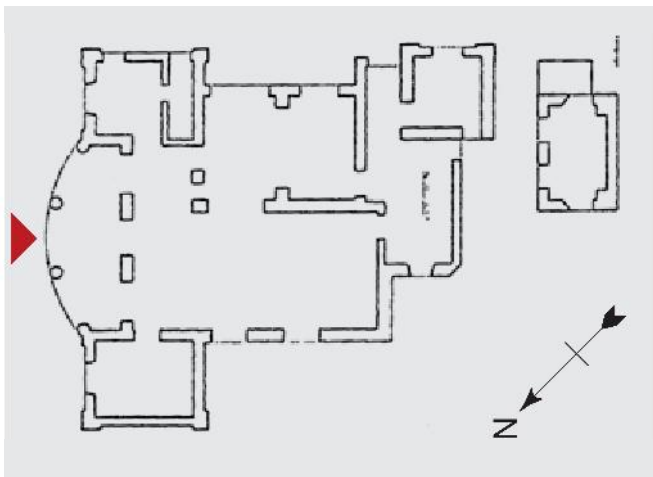


圖片：V13



圖片：V14

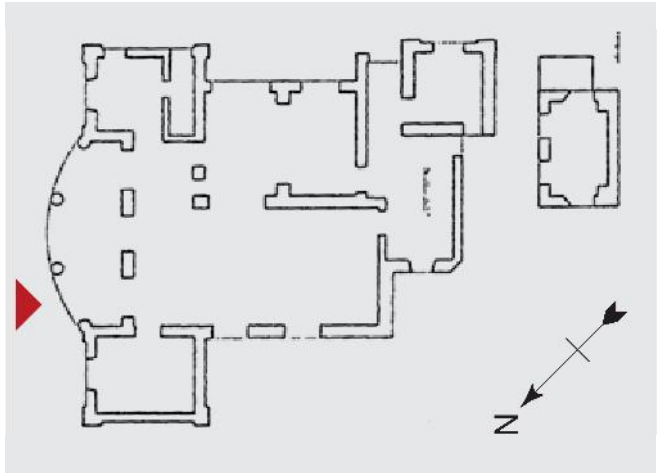


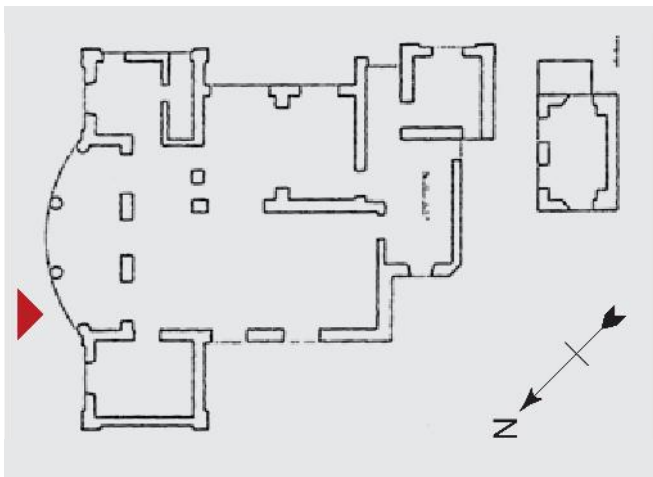


圖片：V15



圖片：V16

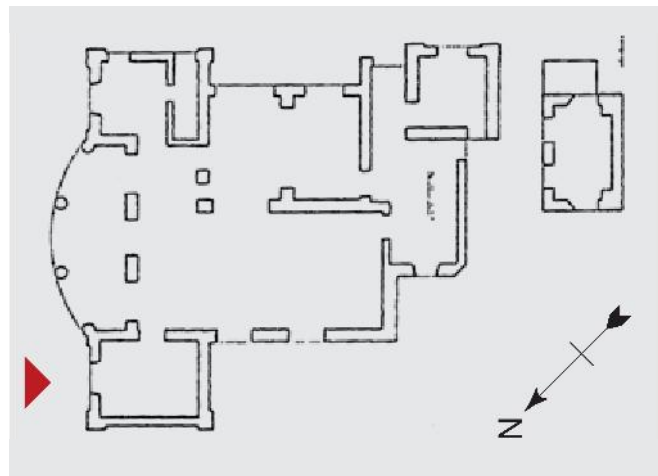




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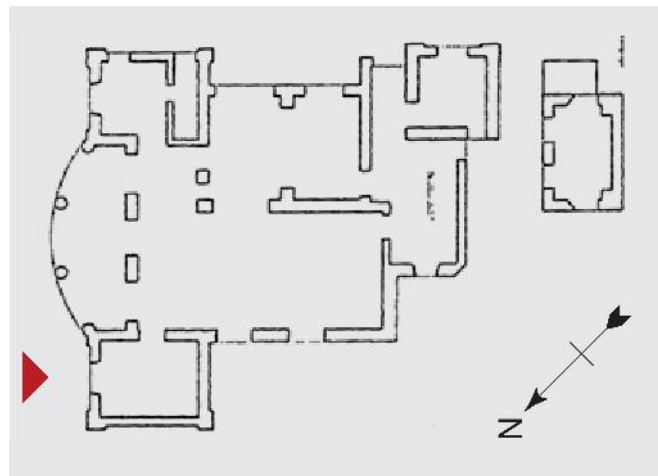


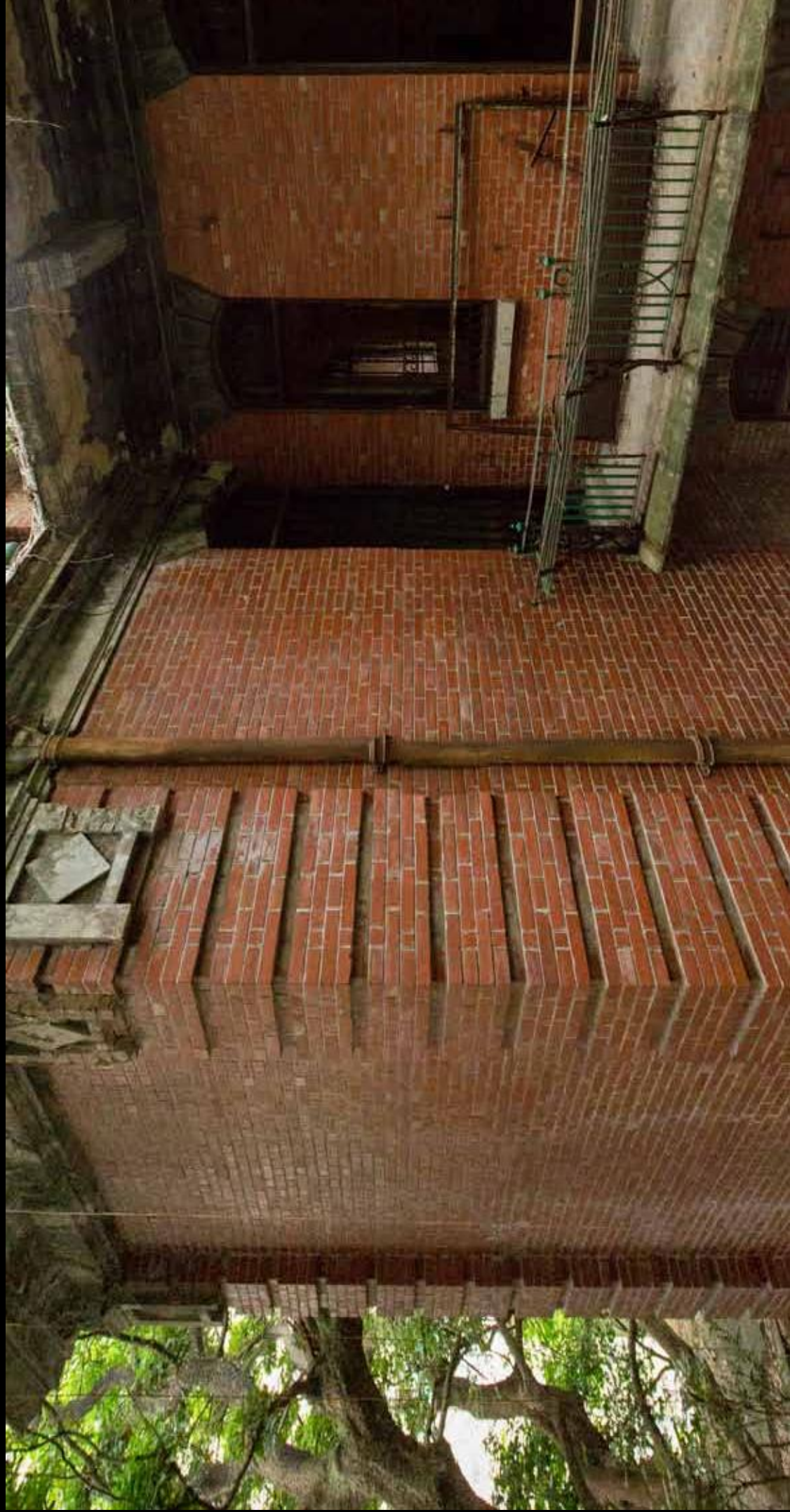
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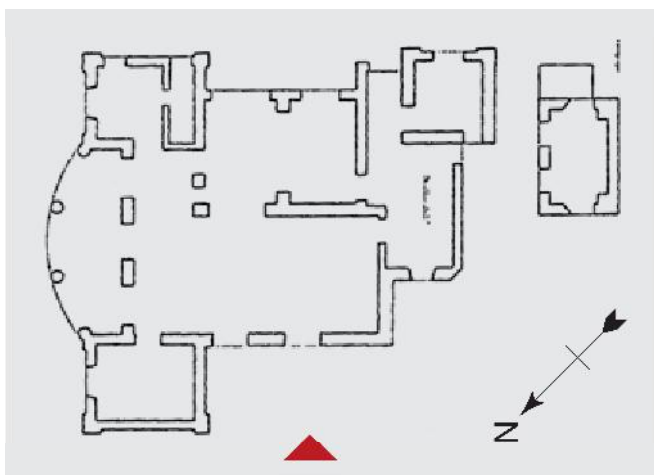


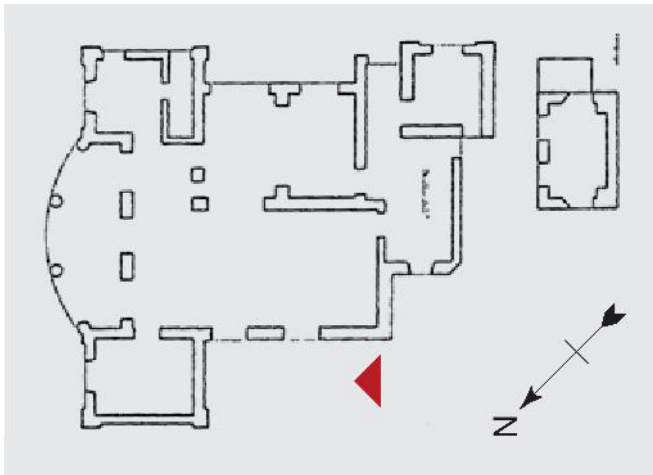
圖片：V19





圖片：V20

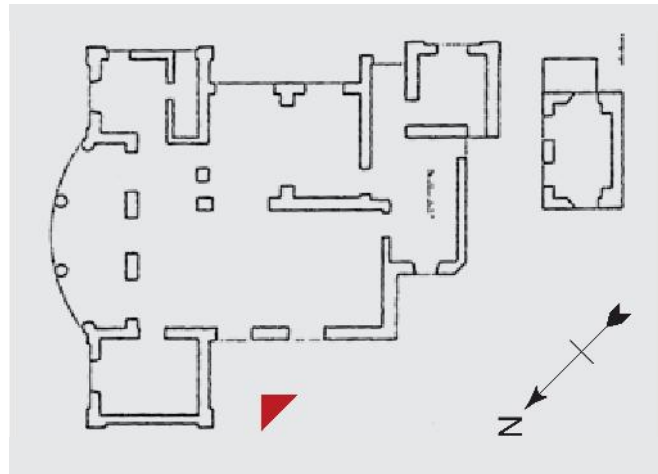


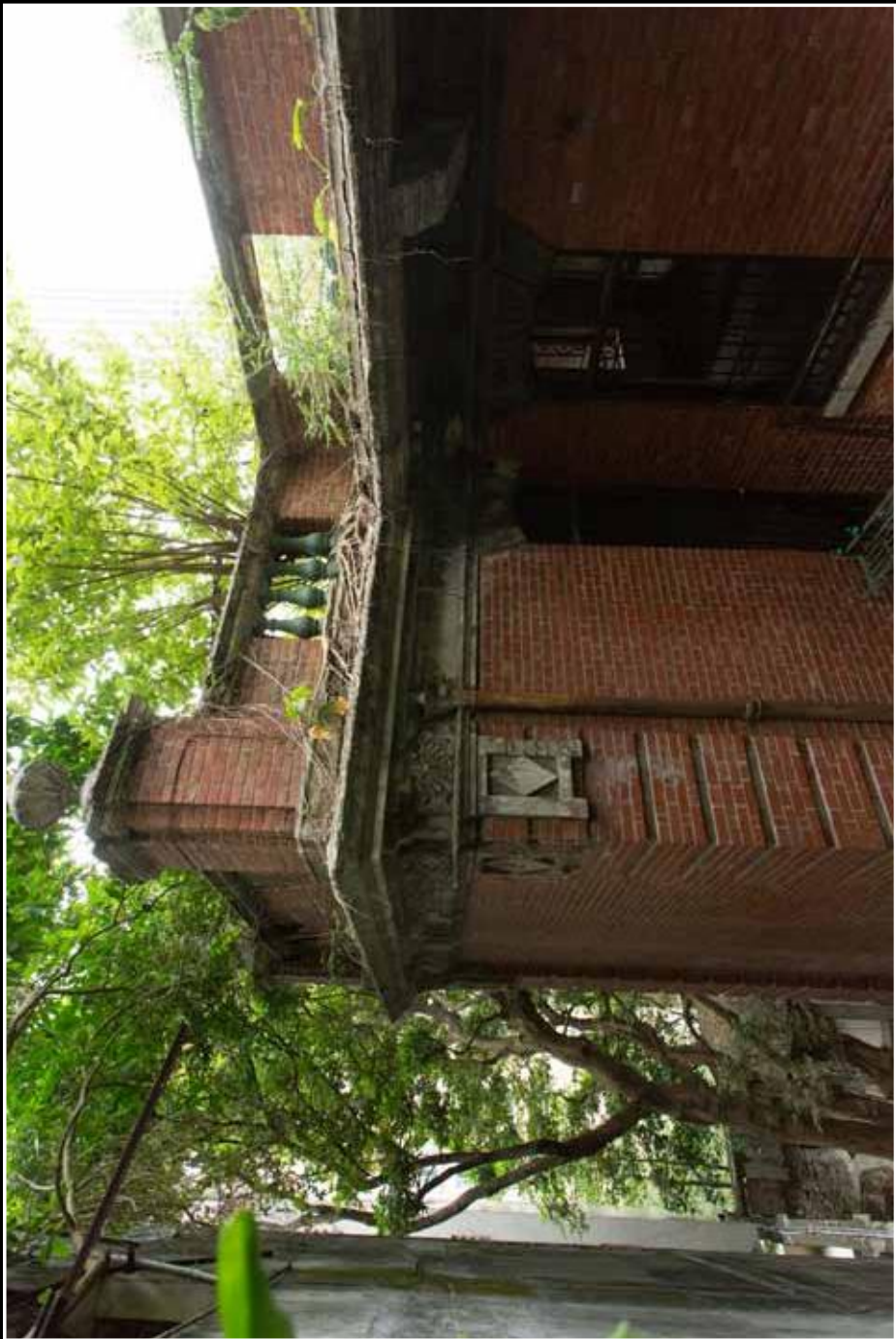
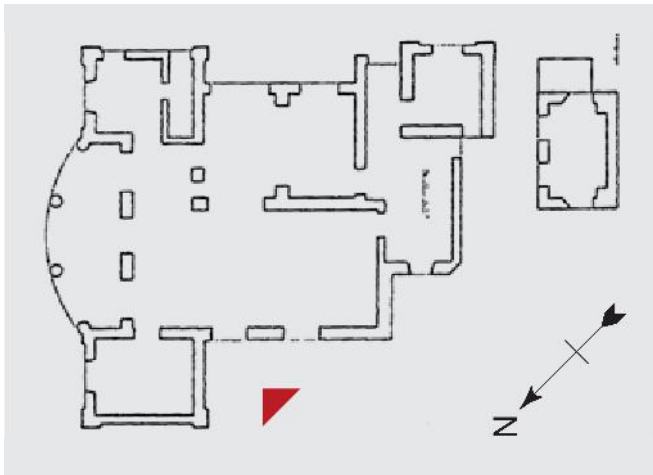


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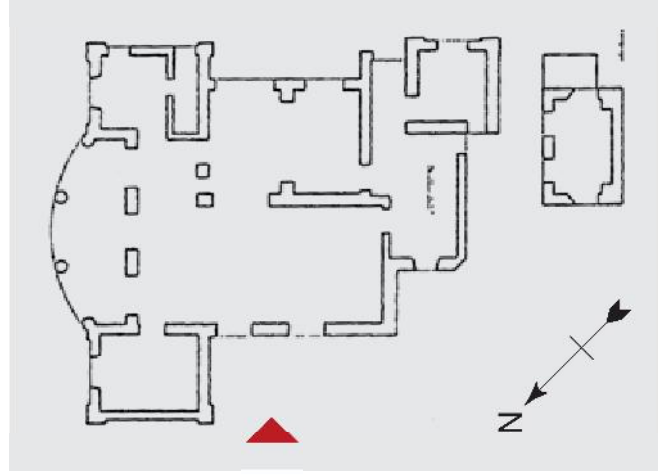


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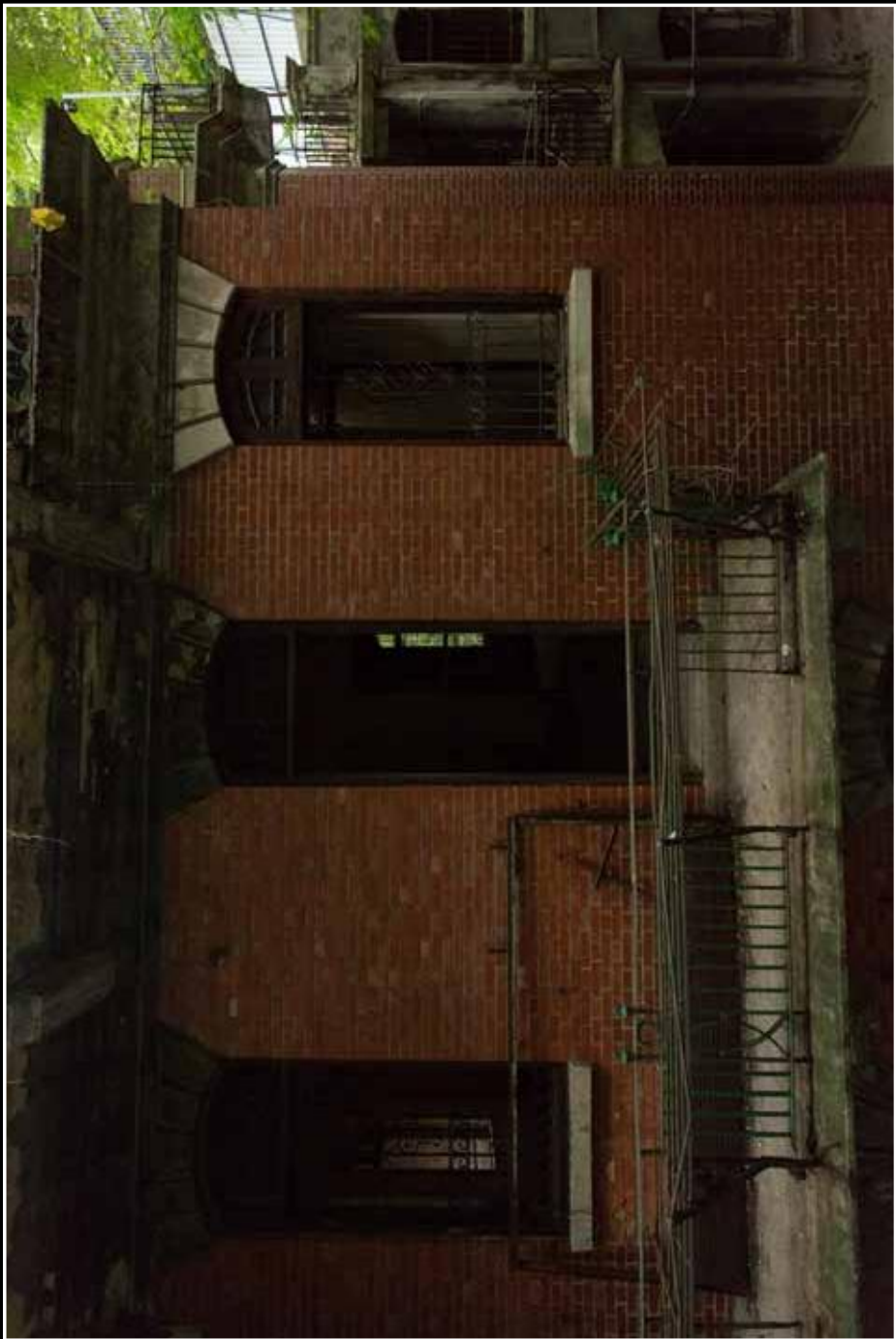
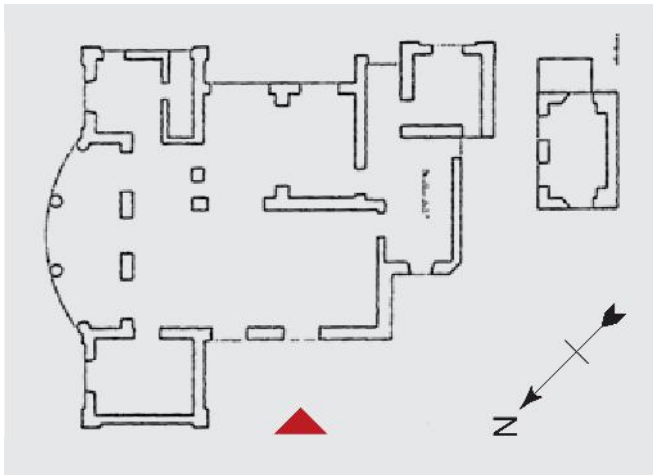




圖片：V23



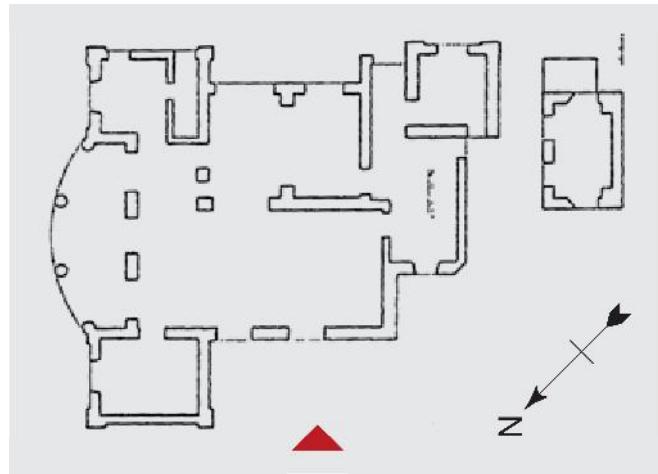
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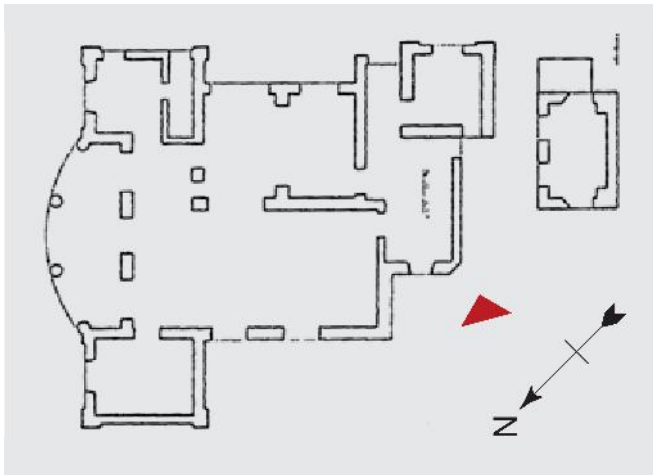


圖片：V25



圖片：V26

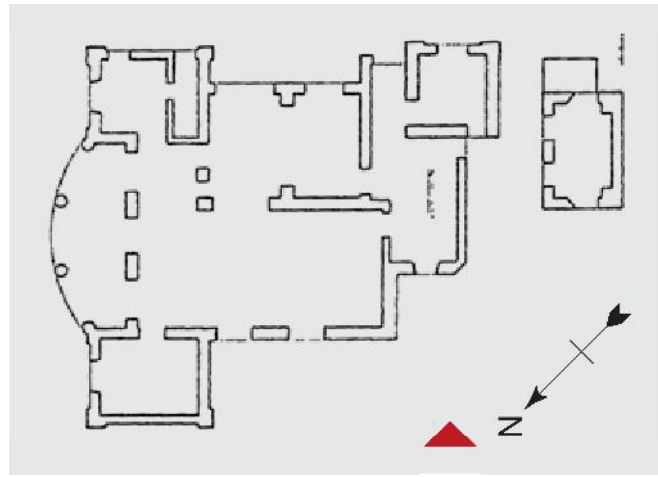


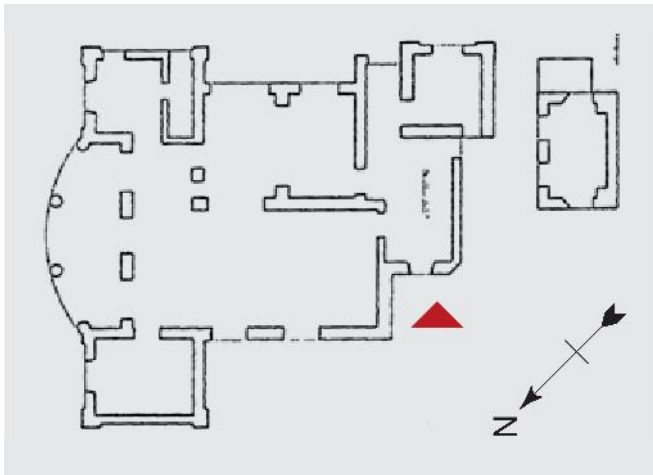


圖片：V27



圖片：V28

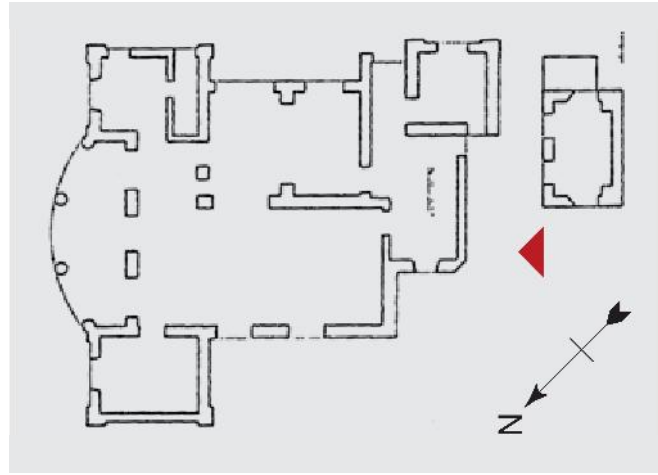


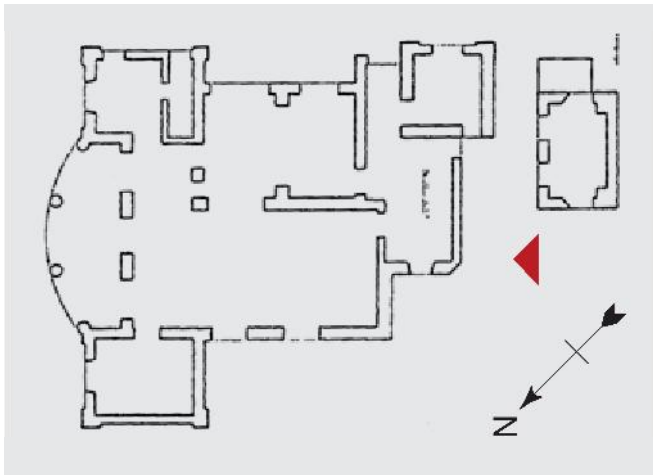


圖片：V29



圖片：V30

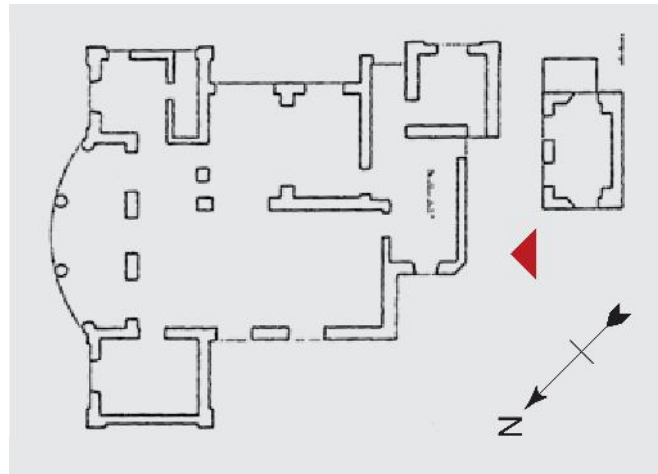


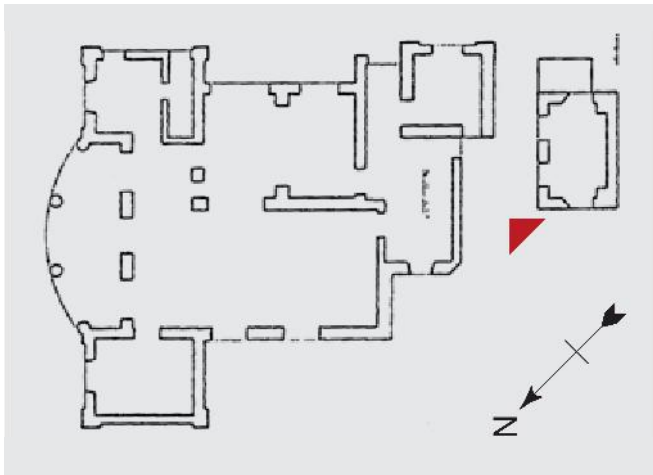


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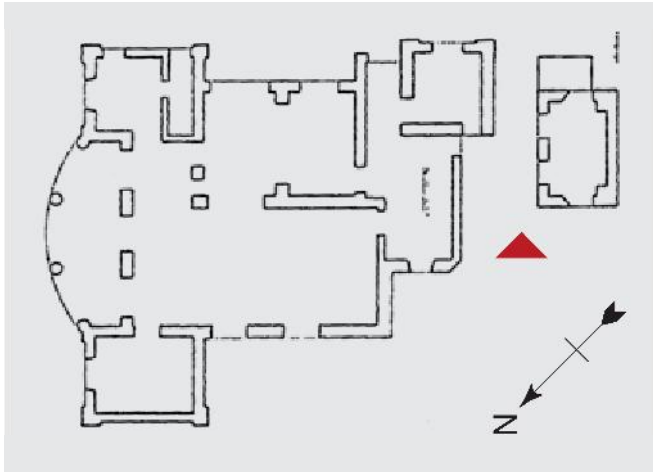


圖片：V32

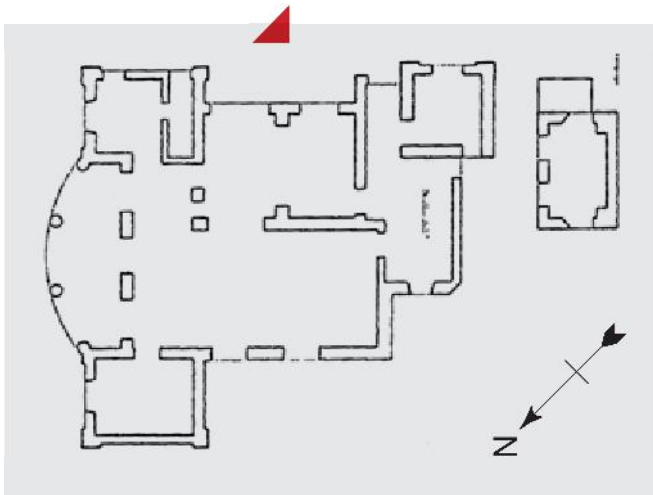




圖片：V33



圖片：V34



圖片：V35

第六章

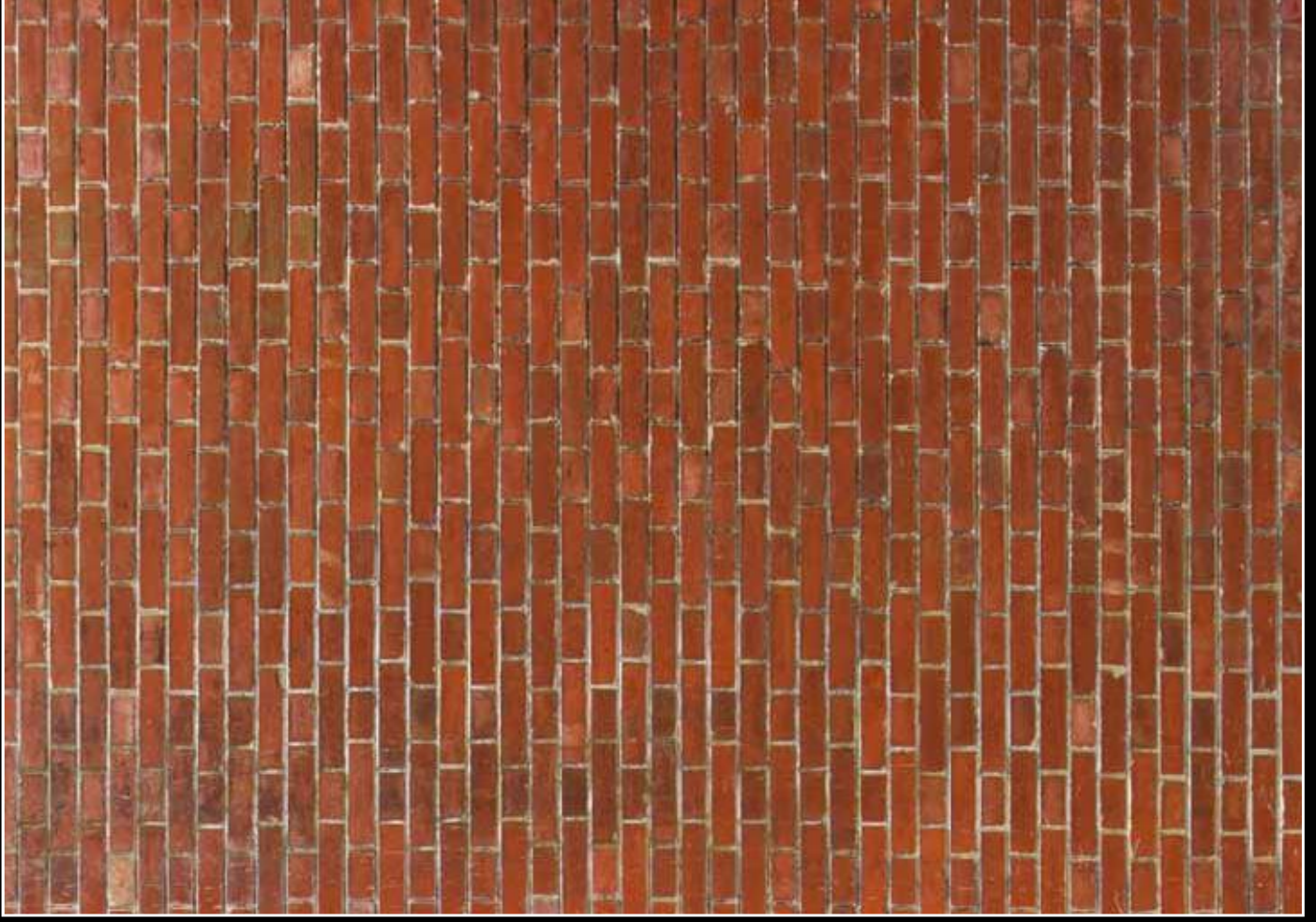
細節

南固臺





圖片：W01



圖片：W02



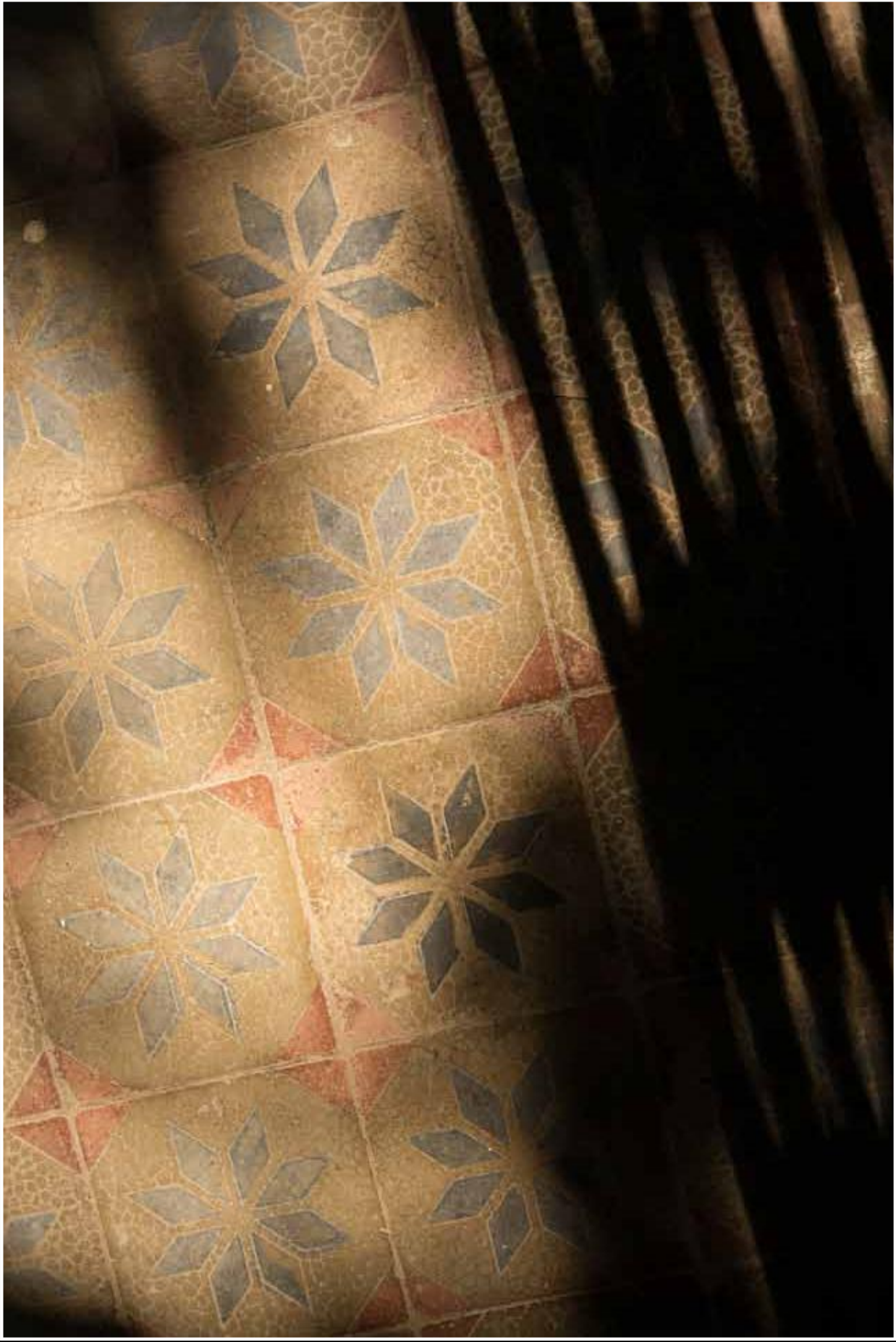
圖片：W03



圖片：W04



圖片：W05



圖片：W06





圖片：W08



圖片：W09

