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# 1 Introduction

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We are instructed by the Applicant, Yuba Company Limited to prepare this **Geotechnical Planning Review Report (GPRR)** in support of the Proposed Amendments to the Approved Wan Chai Outline Zoning Plan No. S/H5/31 from Comprehensive Development Area", "Residential (Group C)", "Open Space" and "Government, Institution or Community" zones and Areas shown as "Road" to "Other Specified Uses (Residential Development with Historic Building Conserved)" and "Other Specified Uses (Elevated Walkway)" at Nos. 1, 1A, 2 and 3 Hill Side Terrace, No. 55 Ship Street (a.k.a. Nam Koo Terrace), Nos. 1-5 Schooner Street, No. 53 Ship Street, No. 18 Sau Wa Fong, Inland Lot No. 9048 and adjoining Government Land, Wan Chai (collectively referred to as the "**Rezoning Site**" / the "**Site**").

The geotechnical feasibility of the Indicative Development Scheme in relation to the stability of man-made slopes/retaining walls and to address any potential natural terrain landslide hazards that may affect or be affected by the Site is assessed in the report. Please refer to Appendix 1 of supplementary planning statement for the architectural plans.

## 2 The Site

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### 2.1 Site Description

The Rezoning Site is located at southwestern part of Wan Chai. It is bounded by Schooner Street and Greenland House to the north, Ship Street to the east, St. Francis' Canossian College to the south and St. Francis' Canossian School to the west.

Majority of the Site is vacant except for **Nam Koo Terrace** (NKT) and No. 18 Sau Wa Fong. NKT is a vacant two-storey historic building built between 1915 and 1921 as a residential house which is listed by the Antiquities Advisory Board ("AAB") as a Grade I Historic Building. The Rezoning Site also includes the adjoining Government Land at the southwest and northwest edges of the Site

Piezometer	Ground Level (mPD)	Piezometer Tip Level (mPD)	Lowest Groundwater Level (mPD)	Highest Groundwater Level (mPD)
P3a	+43.65	+26.99	+21.941	+35.998
P4	+12.335	+5.235	+7.448	+12.308

Table 1: Summary Table of Measured Groundwater Levels (updated to 31 August 2021)

The groundwater contour plan approved under Site Formation Design submission for Main Site based on the groundwater monitoring readings showed that the groundwater level across the Ship Street Stair site dipping from +42 mPD in the south to +12 mPD in the north.

The layout out of the P3a and P4 indicates in Appendix D.

In borehole B1 installed in 1981, the highest measured groundwater level was at +9.47mPD.

## 2.4 Existing Geotechnical Features

There are ten numbers of GEO registered features in the vicinity of the Site. Three of the registered features are situated within the Site. The locations of these features are shown in Figure 4.

Desk study on previous stability assessment on these eight registered features has been carried out. The results revealed that among the 10 registered features, 4 registered features were assessed by GEO and 3 of which have been served with Dangerous Hillside Orders. A summary of the status of the registered features is presented below:

Feature No.	Maintenance Responsibility party	Status	DH Order	Status of DH Order
11SW-B/CR252	IL1940 (sub-division 1), IL2140 (subdivision 2), Lands D (sub-division 3)	GEO Stage 2 Study carried out in 2004. Advisory letter was issued to lot owner in 2004.	DH1/HK/84 DH1A/HK/84 DH2/HK/84	Sub-division 1: requested retaining wall portion stability.
11SW-B/CR253	IL8102(sub-division 1), IL1669(sub-division 2), IL1564(sub-division 3), IL2272 & EXT (sub-division 4), LandsD (sub-division 5)	No previous study.	Nil	Nil

11SW-B/CR235	IL8102 & EXT	Slope upgrading works were implemented by the responsible owner, and GEO advised BD on 28/9/2011 of no geotechnical objection to the acknowledgement of Form BA14.	IS1428	Upgrade Work for Shotcrete Fill, and Soil Nail and BA14 of DH Order was Acknowledged in September 2011.
11SW-B/CR349	IL2140 (sub-division 1), LandsD (sub-division 2), IL8102 & EXT (sub-division 3)	DH20/84/HK served on lot owner on 3/2011. Remedial works proposal approved by BD on 11/3/2013. The remedial works are completed in 11/2017.	DH20/84/HK	Remedial Mass Concrete Wall with Slope Face Check Cert approved on 26 Feb 2019.
11SW-B/C353	IL9048 (sub-division 1) IL199RP (sub-division 2)	No previous study.	Nil	Nil
11SW-B/R616	IL199 B4(sub-division 1), IL199 E3 (sub-division 2), IL199 CRP (sub-division 3), IL199 D3 (sub-division 4), IL199 A6 (sub-division 5), IL199 RP sub-division 6)	GEO Stage 2 Study carried out in 1995; feature found to be up to current geotechnical standards.	DH239/95/HK	Approval drawing for soil nail in 1998 and no information of acknowledgment.
11SW-B/R586	IL8102 & EXT	GEO Stage 2 Study carried out in January 1996.	DH365/75/HK	Nil
11SW-B/R617	IL199 RP	GEO Stage 2 Study carried out in 1988; feature found to be up to current geotechnical standards. GEO Stage 2 Study carried out in 2014. DH0038/HK/15/C served on lot owner on 6/6/2015. DH0005/HK/21/C served on lot owner on 10/3/2021.	DH0062/HK/20/C DH0005/HK/21/C DH32/80/HK(1)	Remedial Mass Concrete Wall with Slope Face and upgrading work of 300mm UC with cast iron grating at wall toe. The BA14 of DH Order was submitted on 14 December 2022.
11SW-B/R629	IL2140 & EXT	DH20/84/HK served on lot owner in 3/2011. Remedial works proposal approved by BD on 11/3/2013. The remedial works are completed in 11/2017. The latest remedial works approval drawings were attached in Appendix E for reference.	DH161/HK/98/C	Soil Nail Installation for remedial works on Check Cert approved on 26 Feb 2019.
11SW-B/R963	IL8102 & EXT (sub-division 1) IL199RP (sub-division 2)	No previous study.	Nil	Nil
11SW-B/R1023	IL2140 & EXT	New registration of Slope Feature, approved on 13 January 2024. Acknowledgement on 28 June 2023. (Under BD 6/3027/20(RD)).	Nil	Nil

Table 2: Status of Registered Features in the vicinity of the Site

The layout of the Existing Geotechnical Feature is shown on figure 5. And The findings of the desk study are summarised in Appendix B.

Feature No.	Existing Conditions	Anticipated Affected Extent of Features
11SW-B/CR252	Slope: 9m height & 21m long with 60° angle of slope. 10% Bare, 70% vegetated and 20% shotcrete Wall: 5m Height & 21m long with 90° angle of Concrete Wall	The retaining wall will modify based on Indicative Development Scheme. Adequate pipe pile and tie back soil nail and L shape retaining wall will be provided for the excavation that it requested monitoring to control the ground settlement, thus the effect on the features will be minimal.
11SW-B/CR253	Slope: 8.5m height & 18m long with 70° angle of slope. 100% vegetated. Wall: 2m Height & 10m long with 88° angle of Masonry Wall	The retaining wall will modification to Indicative Development Scheme. Adequate pipe pile and tie back soil nail and L shape retaining wall will be provided for the excavation that it requested monitoring to control the ground settlement, thus the effect on the features will be minimal.
11SW-B/CR349	Slope: 4m height & 15m long with 30° angle of slope. 60% Bare and 40% vegetated. Wall: 8m Height & 15m long with 80° angle of Masonry Wall	The retaining wall will modification to Indicative Development Scheme. Adequate shoring system will be provided for the excavation that it requested monitoring to control the ground settlement, thus the effect on the features will be minimal.
11SW-B/C353	Slope: 4m height & 5m long with 80° angle of slope. 100% Chunam.	The feature would need to be demolished to facilitate the construction of the proposed residential building.
11SW-B/R629	Wall: 10m Height & 45m long with 85° angle of Masonry Wall with soil nail.	The feature is to be maintained. Since the Indicative Development Scheme will be proposed the pipe pile and ELS for the lateral support for excavation.
11SW-B/R617	Wall: 11.8m Height & 25m long with 85° angle of Masonry Wall.	The feature would need to be demolished to facilitate the construction of the proposed residential building.
11SW-B/R1023	Wall: 5.6m Height & 12.2m long with 90° angle of Concrete Wall.	The feature is to be maintained. No adverse effect will be induced.

Table 3 Affected Geotechnical Features due to proposed development within the Site

Feature No.	Existing Conditions	Outside Lot Boundary	Anticipated Affected Extent of Features
11SW-B/CR235	Slope: 18m height & 80m long with 45° angle of slope. 30% vegetated and 70% other cover. Wall: 5.5m Height & 36m long with 90° angle of Concrete Wall with Soil Nail	Outside Lot Boundary Away with approximately ~1 m	The Slope boundary located ~1m from the site. The feature is to be maintained. Upgrade Work with Shotcrete, and Soil Nail under DH Order was Acknowledged in September 2011. And thus upto current standard. No proposed modification work for the slope and no adverse effect will be induced.
11SW-B/R586	Wall: 6m Height & 20m long with 80° angle of Concrete Wall	Outside Lot Boundary Away with approximately ~2 m	The feature is to be maintained. No proposed modification work for the slope and no adverse effect will be induced. If necessary, the slope may need to upgrade and review the stability to up to CEDD standard.
11SW-B/R963	Wall: 5.5m Height & 8m long with 85° angle of Wall with others material.	Outside Lot Boundary The slope boundary is abutting the site boundary.	The feature is to be maintained. No proposed modification work for the slope and no adverse effect will be induced.
11SW-B/R616	Wall: 8.3m Height & 26m long with 83° angle of Masonry Wall with soil nail.	Outside Lot Boundary The slope boundary is abutting with the site boundary.	The feature is to be maintained. No proposed modification work for the slope and no adverse effect will be induced.

Table 3A Effect on Geotechnical Features in the Vicinity of the Site

Stability of the existing geotechnical features will affect or be affected by the proposed works will be further investigated in the detailed design stage. If necessary, upgrading works will be carried out first for the features which cannot meet the current safety standard. All the man-made features are proposed to be maintained as far as possible.

a better friction capacity for vertical as well as lateral loadings. Inclined foundation piles may also be feasible to dissipate the lateral loadings to ground. Schematic foundations are presented in Appendix H.

Detailed design calculation with assessment should be carried out and submitted for approval in order to ensure no adverse impact induced on the adjacent slopes, foundation, etc.

#### Excavation for construction of pile caps and retaining wall

Since the building load is just catered for 28-storeys, pilecap is expected to be about 1.5m thick. By taking into account of 1m deep allowances for the proposed drainage system, maximum excavation height will be involved for about 2.5m deep from the proposed ground floor level.

For the level difference between the Site and adjacent ground, retaining wall with maximum 13m retaining height is feasible in terms of composite wall (solider pile wall integrated with L-shaped RC retaining structure)

As considered the limitation of working space, sheet pile/pipe pile, with strutting or soil nail, if necessary, is considered necessary for construction of the pilecap and permanent retaining wall. The maximum retaining height is approximately 13m. The method of dewatering will be considered in detail and designed so as to ensure no adverse impact on the adjacent properties. For the level difference between the Site and adjacent ground, permanent L-shaped retaining wall or composite wall with maximum 13m retaining height is proposed.

During excavation, close monitoring on the adjacent properties and groundwater level will be implemented. Detailed design with assessment will be carried out and submitted for approval in order to ensure no adverse impact induced on the adjacent properties, etc.

Schematic drawings for the captioned site formation works are attached Appendix H. All existing features affecting or being affected by the development will be investigated and, if necessary, upgrading works will be proposed and carried out. Relevant details will be designed and submitted to the Buildings Department for approval. For easy reference, layout with indicative existing features modification works are presented in Appendix H.

## 2.7 Construction Methods and Sequence of Works

Excavation will be generally feasible adopting strutted pipe piles wall or tied-backs pipe piles wall around the Site. The stability of the proposed shoring system will be checked. The Site will be flatted for construction of the socket H-pile. Platform will be considered if piling works are carried out prior to the excavation works. Upon completion of the ELS and piling works, the proposed pile caps and retaining wall will be constructed. Upon completion of the substructures, backfilling will be carried out up to the proposed finish level. Schematic sections of the proposed ELS works and superstructure works are attached at Appendix H.

## 2.8 Discussion on Potential Natural Terrain Hazards

The Indicative Development Scheme is surrounded by building structures and no natural terrain is located in the vicinity of the Site. Hence, no natural terrain hazards are anticipated for the Indicative Development Scheme.



## 3 Geotechnical Review on Proposed Works

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Majority of the Rezoning Site is vacant except Nam Koo Terrace (a Grade 1 Historic Building) and No. 18 Sau Wa Fong. The Indicative Development Scheme comprises of a 24 storey residential tower over a 3 storey podium with NKT preserved in-situ and an Open Space. Layout and cross-sections of the Indicative Development Scheme are attached at Appendix C.

The geotechnical aspects of the proposed works are presented below.

### 3.1 Proposed Ground Investigation Works

Site-specific ground investigation works will be proposed at the Site in order to obtain information on the subsurface profile and material characteristics, groundwater regimes and foundations of the existing building. The proposed ground investigation works will comprise the following:-

- Vertical drillholes (with piezometer/standpipe);
- Trial pits;
- Horizontal/inclined coreholes;
- Field tests;
- Laboratory tests.

The proposed ground investigation works will be carried out in compliance with the current geotechnical standards and the site supervision requirements as stipulated in the “Code of Practice for Site Supervision 2009” published by the Buildings Department (BD).

### 3.2 Effect on Existing GEO Registered Features

**Seven** registered features, namely Feature Nos. 11SW-B/CR252, 11SW-B/CR253, 11SW-B/CR349, 11SW-B/R629, **11SW-B/R617**, 11SW-B/C353, and 11SW-B/R1023 are located within the boundary of the Site.

**Four** other registered features, namely Feature Nos. 11SW-B/CR235, **11SW-B/R616**, **11SW-B/R586** and 11SW-B/R963 are located outside the boundary of the Site.

The Indicative Development Scheme is at close proximity to the crest of Feature Nos. 11SW-B/CR235, 11SW-B/R629 and 11SW-B/R963 and hence the impact on these existing slopes due to the additional loading from the Indicative Development Scheme and its foundation system shall be investigated and stabilization works shall be proposed if found necessary.

11SW-B/R617 and 11SW-B/C353 will be removed during excavation works to facilitate the construction of the proposed residential building.

Whereas Feature Nos. 11SW-B/CR252, 11SW-B/CR253 and 11SW-B/CR349 are located along the southern uphill side of the Indicative Development Scheme, those slope features involved the modification base on development. Those features will be removed during excavation with temporary strutted/tied-backs pipe pile wall and with permanent L shape retaining wall for level difference between the Site and platform for St. Francis's Canossian College.

11SW-B/R586, 11SW-B/R963 and 11SW-B/R616 were outside of the lot boundary, and the features are to be maintained.

And No. 11SW-B/R1023 was the new register feature for the level difference of Ship Street Staircase. Considering the founding levels of the foundation will be rationally well below the toe levels of these features, no adverse impact is likely to be induced to these features. These features will be modified to form the open space. A proposal for modifying or upgrading the features will be presented in the ELS plan or site formation plan to be submitted separately to the BD for approval.

Moreover, Dangerous Hillside Orders have been issued for Feature Nos. 11SW-B/CR349 (Sub-division 1) and 11SW-B/R629 by the Buildings Department (BD). Remedial work proposals, which include buttressing at Feature No. 11SW-B/CR349 (Sub-division 1) and soil nailing at Feature No. 11SW-B/R629, were submitted and approved by the BD in June 2011. The completion of these remedial works was achieved in November 2017.

It is essential to investigate the impact of the proposed works on these two features, particularly the potential effects on Feature No. 11SW-B/R629 due

to loading from the foundation of the Indicative Development Scheme. A thorough review will be conducted, and if necessary, further upgrading works will be proposed to mitigate any identified impacts.

For the Dangerous Hillside (DH) Order concerning Feature No. 11SW-B/R617, the proposed solution includes the construction of a mass concrete wall with a sloped face. Additionally, the upgrading works will involve the installation of a 300mm universal column (UC) with a cast iron grating at the toe of the wall. The Building Authority (BA) submission for the DH Order was made on 14 December 2022.

Design amendments to the remedial work proposals, which will incorporate an assessment of the impact on the features due to the development, shall be submitted to the BD for approval.

The upgrading works, which may include the installation of soil nails and the construction of reinforced concrete retaining walls or mass concrete walls, are considered feasible, subject to the actual site constraints associated with each individual feature.

### 3.3 Indicative Development Scheme

The Indicative Development Scheme within the Site consists of a 24 storeys over a 3 storey podium with NKT preserved in-situ and an Open Space from +19.92 mPD to +118.80 mPD (at Main Roof Level). The residential tower will be built at the same level as Nam Koo Terrace at +33.6 mPD. Layout and cross-sections of the Indicative Development Scheme are attached at Appendix C.

The existing ground level within the Site is at +19.76 mPD (Schooner Street), which is about the proposed G/F for shops and 2/F and 3/F for E/M. In designing the Proposed Comprehensive Development, consideration have been given to the type of foundation and the rockhead levels in the vicinity of the Site. Therefore, the new building is proposed to be supported by a combination of footing and pile foundations. In addition, as the Indicative

Development Scheme will be built adjacent to Nam Koo Terrace, the impact of the proposed foundation on the existing foundation of Nam Koo Terrace will be investigated and preventive measures, such as sleeving will be provided. Also, Feature No. 11SW-B/R629 (served with a Dangerous Hillside Order by the Buildings Department) supporting the building platform of Nam Koo Terrace was upgraded by soil nails in November 2017. Nonetheless, the building and ground movement of Nam Koo Terrace will be closely monitored during implementation of the proposed construction works.

Local excavation will be proposed to facilitate the construction of footing foundation or pile caps. Open excavation and ELS system are feasible options for the local excavation works.

In conclusion, no geotechnical difficulty is anticipated arising from the required excavation and foundation works of the Indicative Development Scheme.

### 3.4 Schematic Foundation, ELS and Site Formation Works.

For the Indicative Development Scheme, the primary construction plan involves utilizing pipe piles and tiebacks to effectively support the lateral loads from the school and other adjacent building structures. The excavation process will be carried out layer by layer until the final excavation profile is achieved for the platforms at elevations of +33.6 mPD and +19.5 mPD. In the case of land issues, strutted pipe piles are also feasible as temporary ELS works to facilitate the construction of substructures.

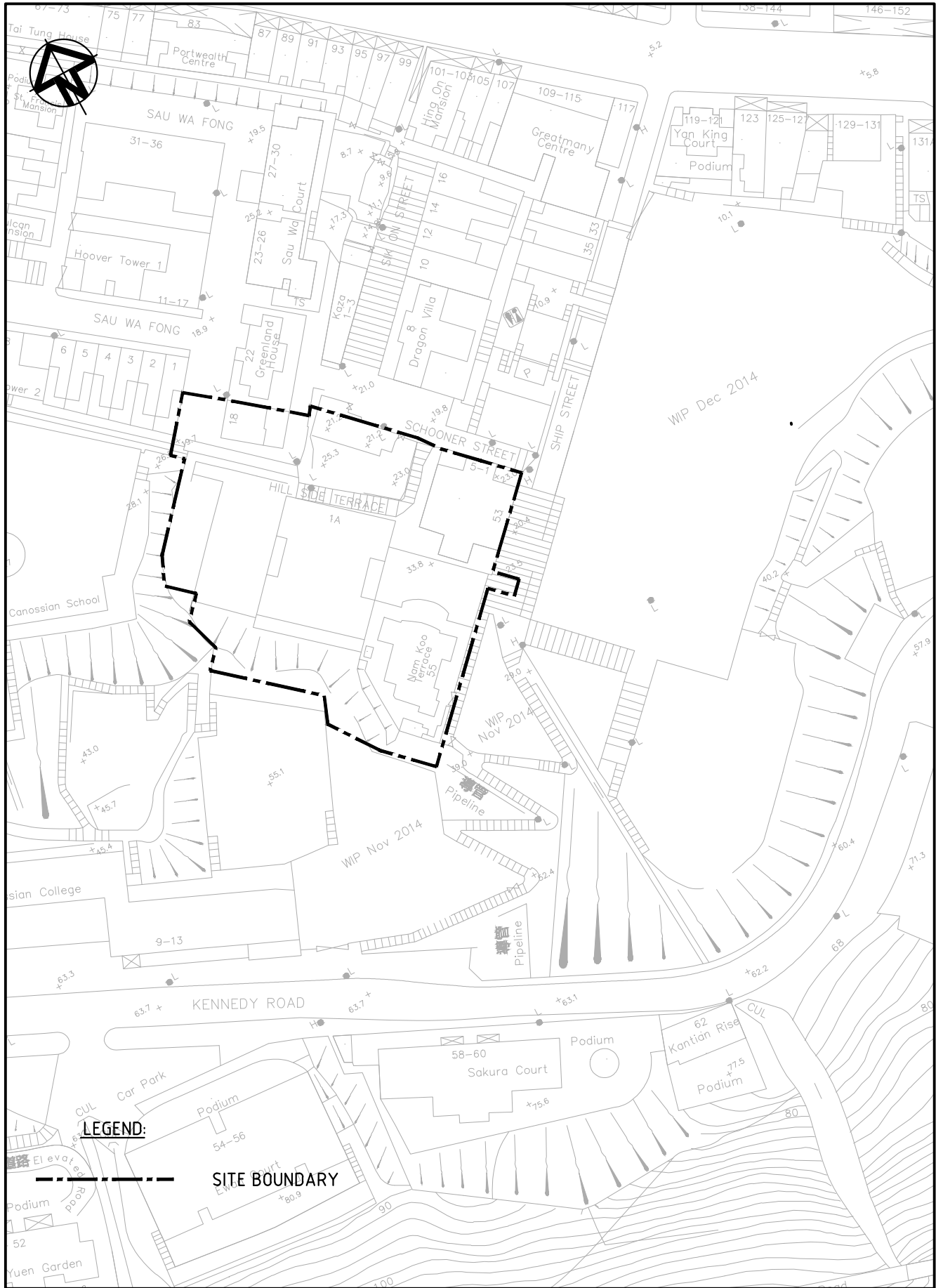
The proposed foundation will be constructed prior to the erection of any superstructure. This approach ensures that the foundation is adequately prepared to support the weight and lateral forces exerted by the buildings, thereby enhancing the overall stability and safety of the development.

In addition, the permanent L shape retaining wall or composite wall will be feasible to retain maximum 13m height for the level different between St Francis' Canossian College and the platform of +33.6 mPD. The proposed Schematic drawing is attached in Appendix H.

# Figures

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Plot Date: 29/Feb/2024 4:14:25 pm File Location: P:\EA01425 HOPEWELL MEGA HOTEL\E-OURDRAWINGS\GC-EA01425\CURRENT\DH ORDER\NAM KOO TERRACE\INSPECTION\2021-04-27 - COPY\FIGURE 1D.DWG



**LEGEND:**

--- SITE BOUNDARY

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Filename:	FIGURE 1D.dwg		
© Copyright reserved			

**Project**  
 PROPOSED AMENDMENT TO THE APPROVED WAN CHAI OUTLINE ZONING PLAN NO. S/H5/31 AT NOS. 1, 1A, 2 AND 3 HILL SIDE TERRACE, NO. 55 SHIP STREET (A.K.A. NAM KOO TERRACE), NOS 1-5 SCHOONER STREET, NO. 53 SHIP STREET, NO. 18 SAU WA FONG, INLAND LOT NO. 9048 AND ADJOINING GOVERNMENT LAND, WAN CHAI

**Title**  
 LOCATION PLAN

**asia infrastructure solutions**

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Drawing No. <b>FIGURE 1</b>	Project No. <b>EA01425</b>	Issue <b>D</b>
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Plot Date: 13/Sep/2024 2:54:04 pm File Location: P:\EA01425 HOPEWELL MEGA HOTEL\VE-OURDRAWINGS\GC-EA01425\CURRENT\DH ORDER\NAM KOO TERRACE\INSPECTION\2024-02-29\FIGURE 2D.DWG



**LEGEND:**

- SITE BOUNDARY
- PD1 PRE-DRILL HOLE
- FGS/BH1P EXISTING BOREHOLE
- BSG/TR1 EXISTING TRIAL PIT

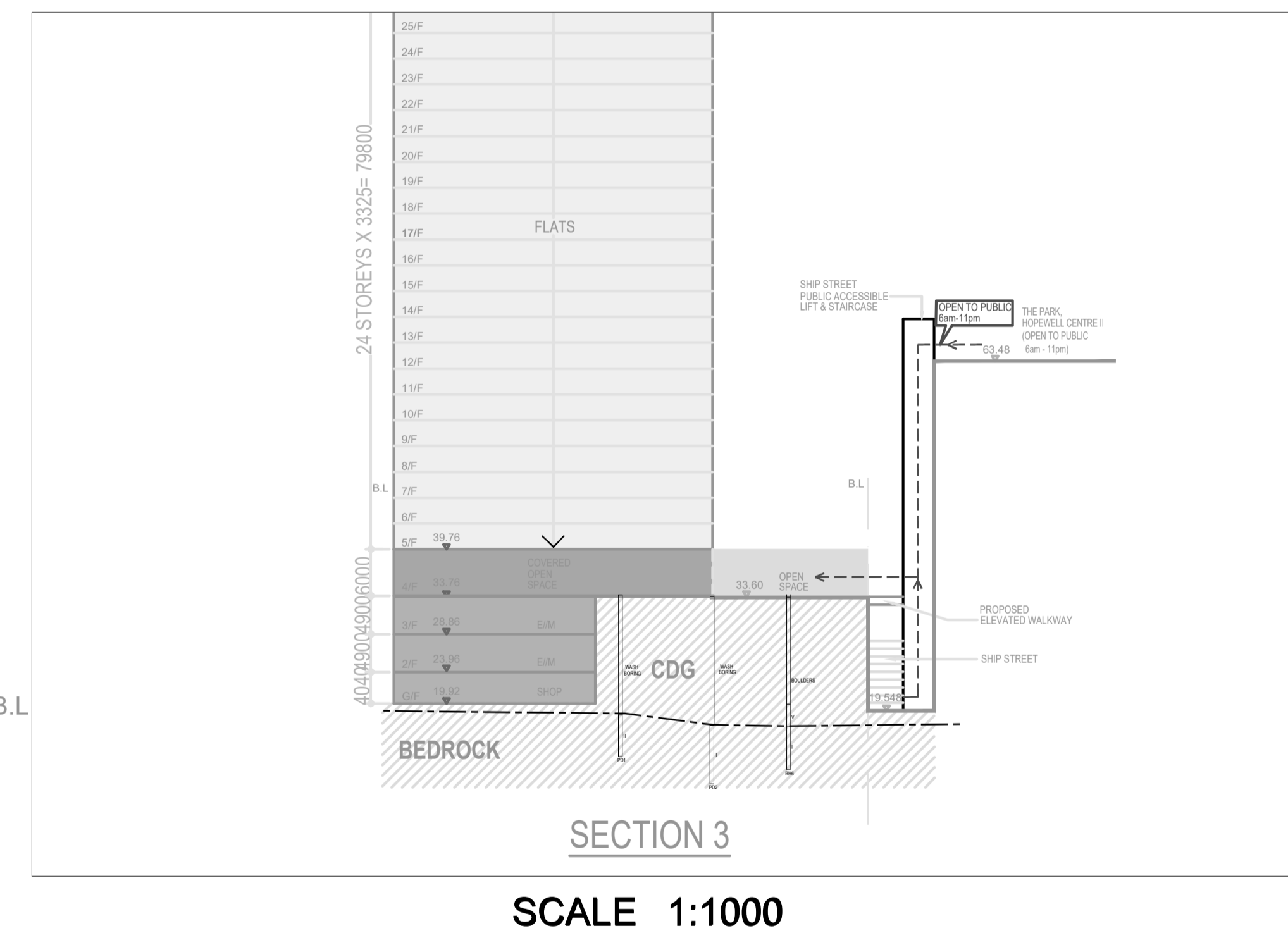
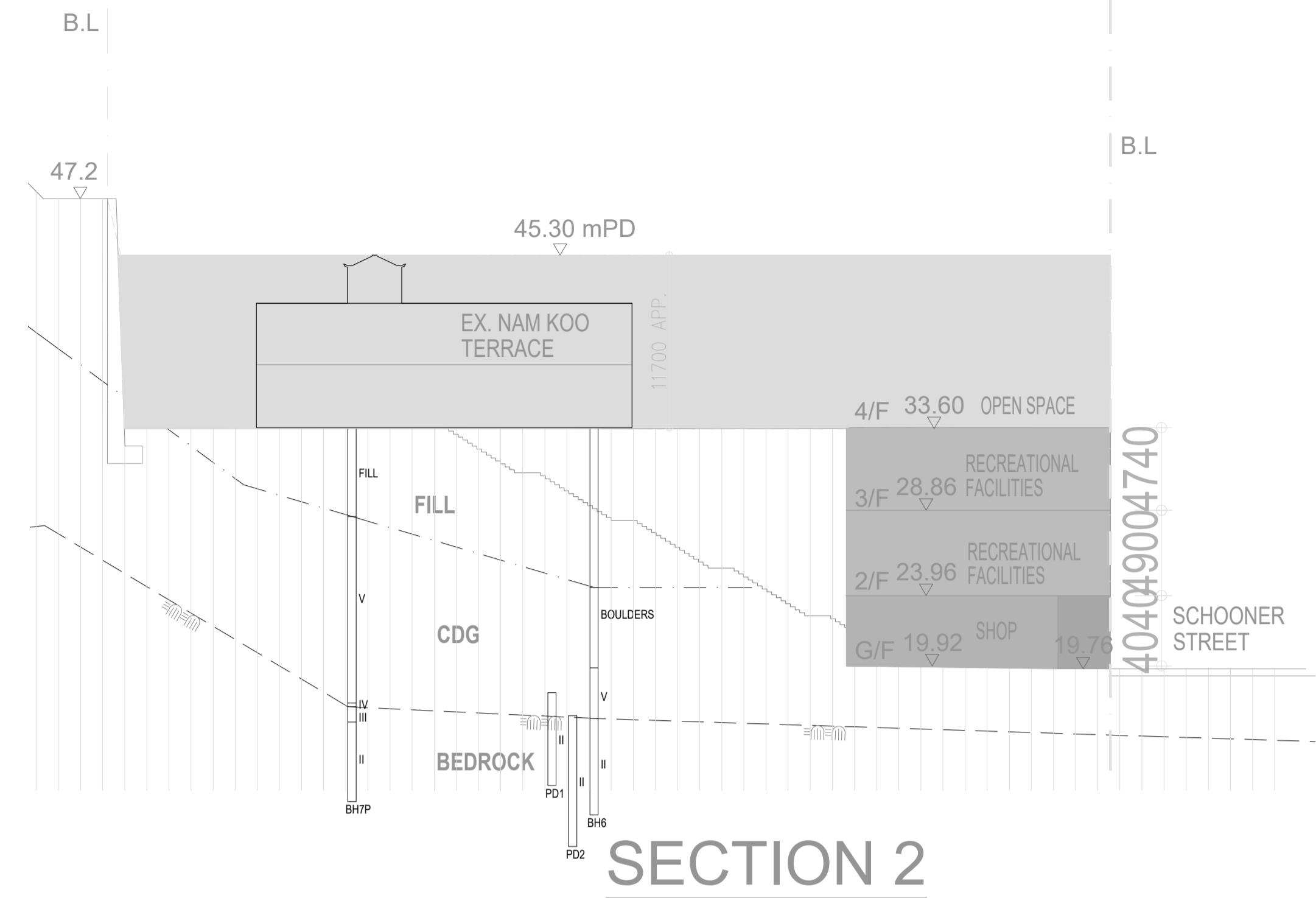
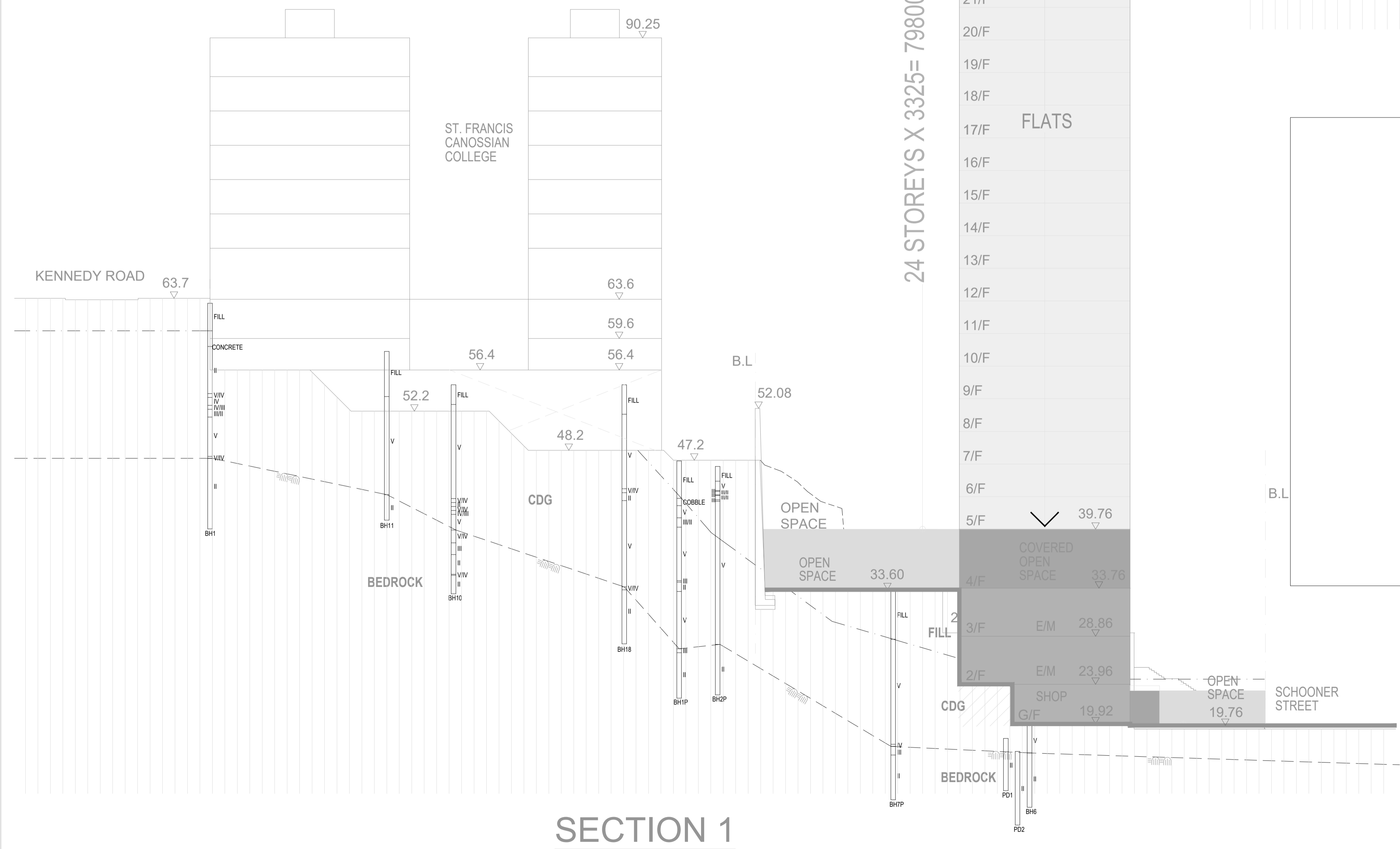
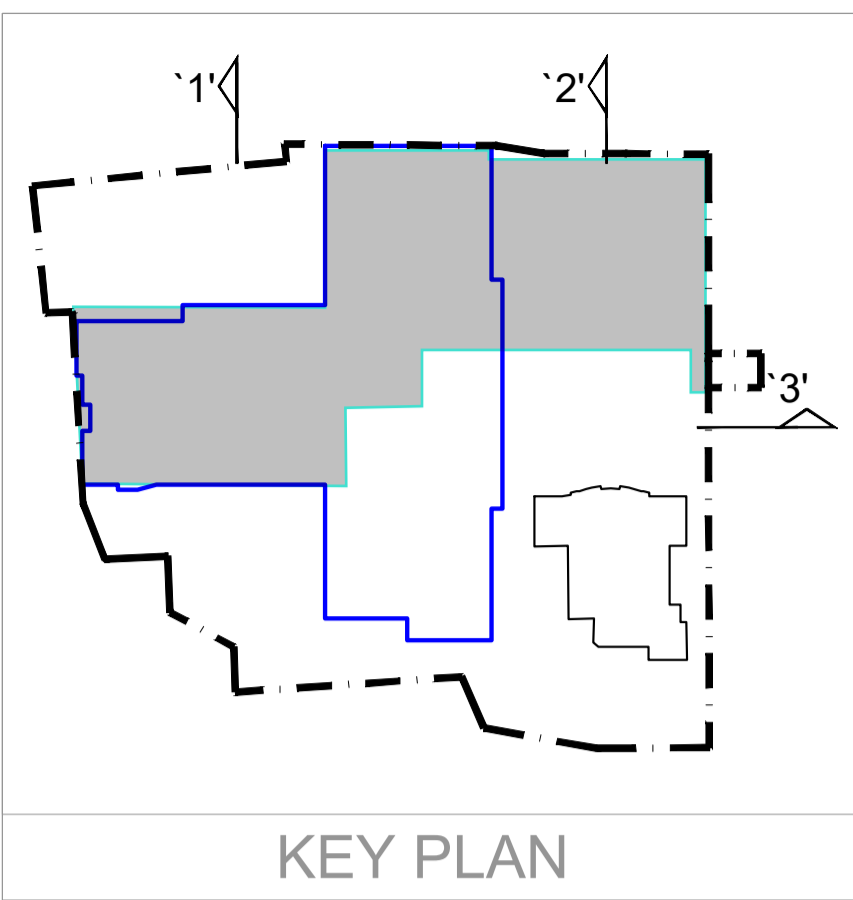
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Project  
 PROPOSED AMENDMENT TO THE APPROVED WAN CHAI OUTLINE ZONING PLAN NO. S/H5/31 AT NOS. 1, 1A, 2 AND 3 HILL SIDE TERRACE, NO. 55 SHIP STREET (AK.A. NAM KOO TERRACE), NOS 1-5 SCHOONER STREET, NO. 53 SHIP STREET, NO. 18 SAU WA FONG, INLAND LOT NO. 9048 AND ADJOINING GOVERNMENT LAND, WAN CHAI

Drawing No. **FIGURE 2**

Project No. **EA01425**

Issue **D**



P:\EA01425 HOPEWELL MEGA HOTEL\E-OurDrawings\GC-EA01425\Current\DH\_Order\Nam Koo Terrace\Inspection\2024-02-29\FIGURE\_3D.dwg

PROJECT : PROPOSED AMENDMENT TO THE APPROVED WAN CHAI OUTLINE ZONING PLAN NO. S/H5/31 AT NOS. 1, 1A, 2 AND 3 HILL SIDE TERRACE, NO. 55 SHIP STREET (A.K.A. NAM KOO TERRACE), NOS 1-5 SCHOONER STREET, NO. 53 SHIP STREET, NO. 18 SAU WA FONG, INLAND LOT NO. 9048 AND ADJOINING GOVERNMENT LAND, WAN CHAI

TITLE : Geological Section

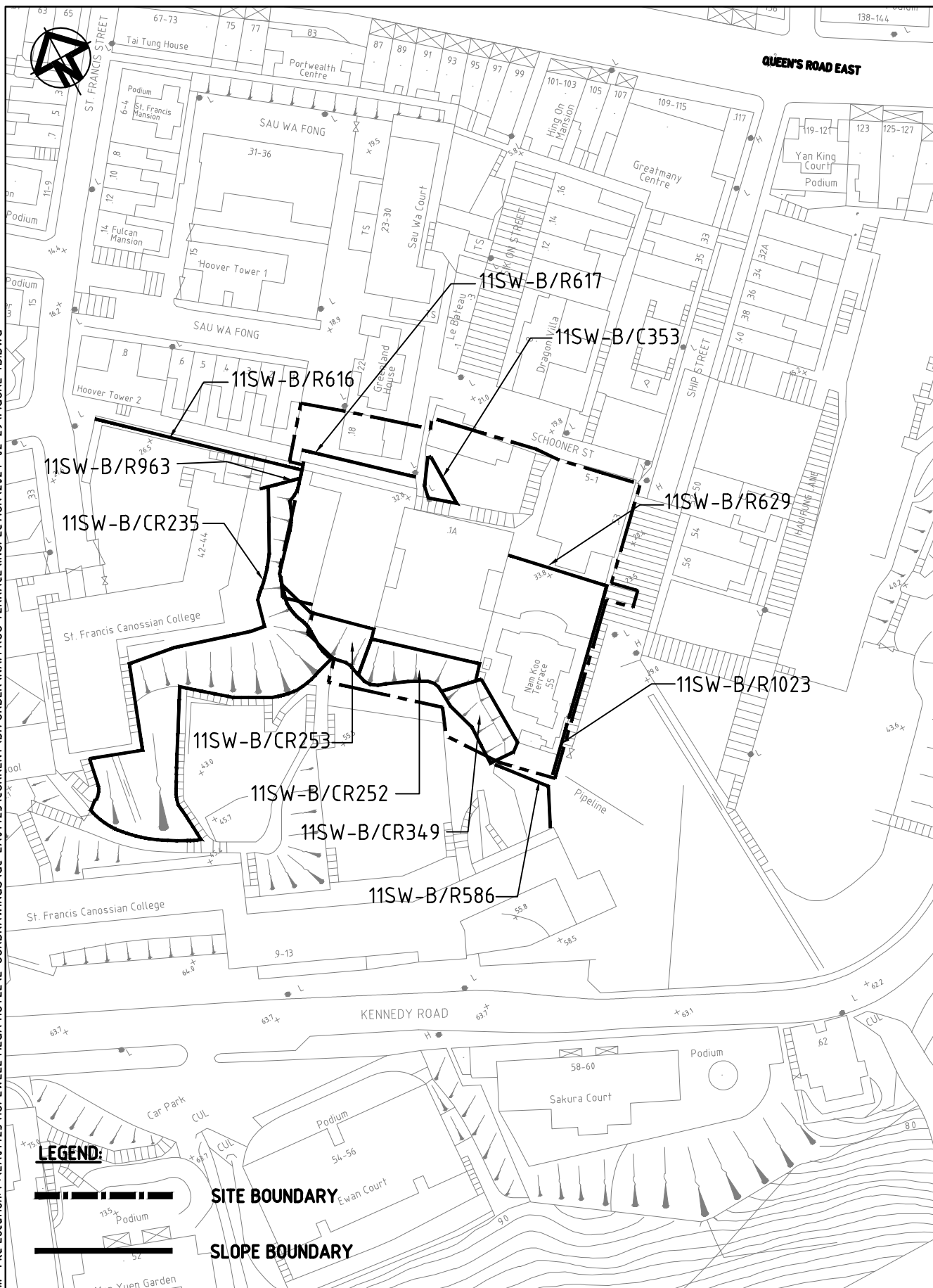
PROJECT NO : EA01425  
DRAWING NO : FIGURE 3  
ISSUE : D

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Status			
Scales	1 : 1000	Original Size	A4
Height Datum	-	Grid	-
Filename:	FIGURE 4D.dwg		
© Copyright reserved			

Project  
**PROPOSED AMENDMENT TO THE APPROVED WAN CHAI OUTLINE ZONING PLAN NO. S/H5/31 AT NOS. 1, 1A, 2 AND 3 HILL SIDE TERRACE, NO. 55 SHIP STREET (A.K.A. NAM KOO TERRACE), NOS 1-5 SCHOONER STREET, NO. 53 SHIP STREET, NO. 18 SAU WA FONG, INLAND LOT NO. 9048 AND ADJOINING GOVERNMENT LAND WAN CHAI**

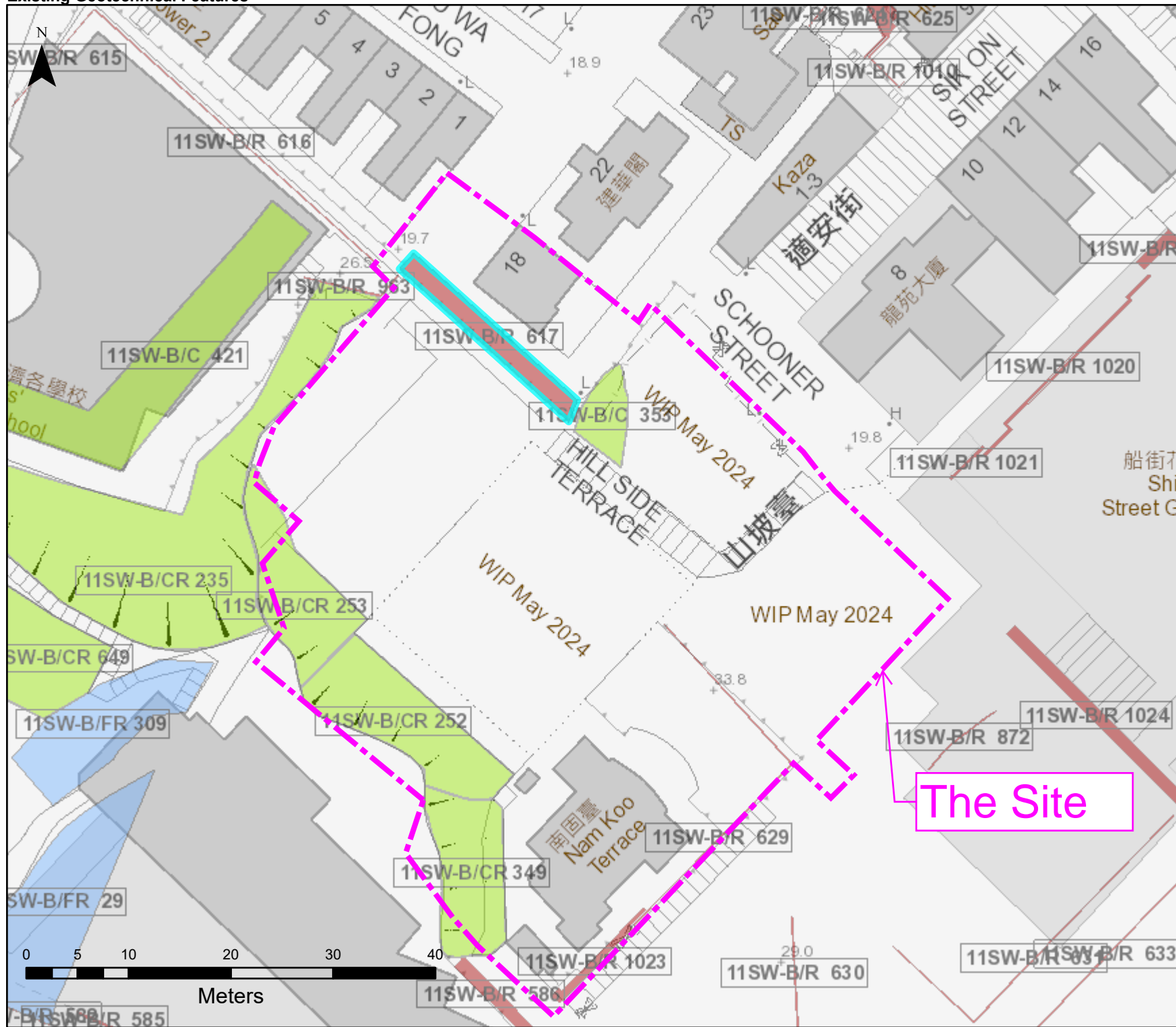
Title  
**LOCATION PLAN OF EXISTING REGISTERED SLOPES /RETAINING WALLS**

**asia infrastructure solutions**

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Drawing No. <b>FIGURE 4</b>	Project No. <b>EA01425</b>	Issue <b>D</b>
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Existing Geotechnical Features



Man Made Slope  
Man-made  
Features

- Cut slopes
  - Disturbed terrain
  - Fill slopes
  - NT defence measures
  - NT stabilisation measures
  - Retaining walls
- Slope Features

The Site

<b>Division</b>	
<b>Scale</b>	1:500
<b>Date</b>	
Figure 5 Layout of the Existing Geotechnical Feature	

# Appendix B

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## Summary of Existing Registered Features

## Appendix B – Summary of Existing Features

Feature No.	Maintenance Responsibility	Slope/Wall Dimension (Length x max. height), Angle and Material	Inside / Outside Lot Boundary	DH Order	Findings
11SW-B/CR252	IL 1940 (sub-division 1), IL 2140 (subdivision 2) Lands D (sub-division 3)	Slope: 9m height & 21m long with 60° angle of slope. 10% Bare, 70% vegetated and 20% shotcrete Wall: 5m Height & 21m long with 90° angle of Concrete Wall	Inside Lot Boundary	DH1/HK/84 DH1A/HK/84 DH2/HK/84	<ul style="list-style-type: none"> <li>- GEO Stage 2 Study carried out in 2004.</li> <li>- Advisory letter was issued to lot owner in 2004.</li> </ul>
11SW-B/CR253	IL 8102(sub-division 1), IL 1669(sub-division 2), IL 1564(sub-division 3), IL2272 & EXT(sub-division 4) Lands D (sub-division 5)	Slope: 8.5m height & 18m long with 70° angle of slope. 100% vegetated. Wall: 2m Height & 10m long with 88° angle of Masonry Wall	Inside Lot Boundary	Nil	<ul style="list-style-type: none"> <li>- No previous study.</li> </ul>
11SW-B/CR235	IL 8102 & EXT	Slope: 18m height & 80m long with 45° angle of slope. 30% vegetated and 70% other cover. Wall: 5.5m Height & 36m long with 90° angle of Concrete Wall	Outside Lot Boundary	IS1428	<ul style="list-style-type: none"> <li>- Slope upgrading works were implemented by the responsible owner</li> <li>- GEO advised BD on 28/9/2011 of no geotechnical objection to the acknowledgement of Form BA14.</li> </ul>
11SW-B/CR349	IL 2140 (sub-division 1), Lands D (sub-division 2) IL8102 & EXT (sub-division 3)	Slope: 4m height & 15m long with 30° angle of slope. 60% Bare and 40% vegetated. Wall: 8m Height & 15m long with 80° angle of Masonry Wall	Inside Lot Boundary	DH20/84/HK	<ul style="list-style-type: none"> <li>- DH20/84/HK served on lot owner on 3/2011.</li> <li>- Remedial works proposal approved by BD on 11/3/2013.</li> <li>- The remedial works are completed in 11/2017.</li> </ul>
11SW-B/C353	Private (IL 9048, IL199RP)	Slope: 4m height & 5m long with 80° angle of slope. 100% Chunam.	Inside Lot Boundary	Nil	<ul style="list-style-type: none"> <li>- No previous study.</li> </ul>
11SW-B/R616	IL 199 B4 (sub-division 1), IL 199 E3 (sub-division 2), IL 199 CRP sub-division 3), IL 199 D3 (sub-division 4) IL 199 A6 (sub-division 5) IL 199 RP sub-division 6)	Wall: 8.3m Height & 26m long with 83° angle of Masonry Wall.	Outside Lot Boundary	DH239/95/HK	<ul style="list-style-type: none"> <li>- GEO Stage 2 Study carried out in 1995.</li> <li>- Feature found to be up to current geotechnical standards.</li> </ul>

11SW-B/R586	IL 8102 &EXT	Wall: 6m Height & 20m long with 80° angle of Concrete Wall	Outside Lot Boundary	Nil	<ul style="list-style-type: none"> <li>- GEO Stage 2 Study carried out in January 1996</li> </ul>
11SW-B/R617	IL 199 RP	Wall: 11.8m Height & 25m long with 85° angle of Masonry Wall.	Inside Lot Boundary	DH0062/HK/20/C DH0005/HK/21/C DH32/80/HK(1)	<ul style="list-style-type: none"> <li>- GEO Stage 2 Study carried out in 1988; feature found to be up to current geotechnical standards.</li> <li>- GEO Stage 2 Study carried out in 2014. DH0038/HK/15/C served on lot owner on 6/6/2015.</li> <li>- DH0005/HK/21/C served on lot owner on 10/3/2021.</li> </ul>
11SW-B/R629	IL 2140 &EXT	Wall: 10m Height & 45m long with 85° angle of Masonry Wall.	Inside Lot Boundary	DH20/84/HK	<ul style="list-style-type: none"> <li>- DH20/84/HK served on lot owner in 3/2011.</li> <li>- Remedial works proposal approved by BD on 11/3/2013.</li> <li>- The remedial works are completed in 11/2017.</li> </ul>
11SW-B/R963	IL 8102 &EXT (sub-division 1) IL199RP (sub-division 2)	Wall: 5.5m Height & 8m long with 85° angle of Wall with others material.	Outside Lot Boundary	Nil	<ul style="list-style-type: none"> <li>- No previous study.</li> </ul>
11SW-B/R1023	IL 2140 &EXT	Wall: 5.6m Height & 12.2m long with 90° angle of Concrete Wall.	Inside Lot Boundary	Nil	<ul style="list-style-type: none"> <li>- New registration of Slope Feature, approved on 13 January 2024. Acknowledgement on 28 June 2023. (Under BD 6/3027/20(RD)).</li> </ul>



## BASIC INFORMATION

Location: North East of ST. Francis Canossian College, Kennedy Road, Wan Chai  
 Registration Date: 23-04-1998  
 Ranking Score (NPRS): 0 (LPMit)  
 Date of Formation: pre-1977  
 Date of Construction/ Modification:  
 Data Source: EI(Lands D)  
 Approximate Coordinates: Easting : 835512 Northing : 815129

## CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: Densely-used open area/facilities  
 Distance of Facility from Crest (m): 5  
 Facility at Toe: Residential building  
 Distance of Facility from Toe (m): 3  
 Consequence-to-life Category: 1  
 Remarks: N/A

## SLOPE PART

(1) Max. Height (m): 4 Length (m): 15 Average Angle (deg): 30

## WALL PART

(1) Max. Height (m): 8 Length (m): 15 Face Angle (deg): 80

## MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 1 Mixed Feature Party: IL2140 Agent: N/A Land Cat.: 1 Reason Code: 1 MR Endorsement Date: 11-11-2002  
 (2) Sub Div.: 2 Mixed Feature Party: Lands D Agent: Lands D Land Cat.: 5b(vi) Reason Code: 62 MR Endorsement Date: 11-11-2002  
 (3) Sub Div.: 3 Mixed Feature Party: IL8102&EXT Agent: N/A Land Cat.: 1 Reason Code: 1 MR Endorsement Date: 11-11-2002

## DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 18-10-2006  
 Data Source: EI(Lands D)  
 Slope Part Drainage: N/A  
 Wall Part Drainage: N/A

## SLOPE PART



**Slope Part (1)**

Surface Protection (%): Bare: 60 Vegetated: 40 Chunam: 0 Shotcrete: 0 Other Cover: 0  
 Material Description: Material type: Soil Geology: Decomposed granite  
 Berm: No. of Berms: N/A Min. Berm Width (m): N/A  
 Weepholes: Size (mm): N/A Spacing (m): N/A

**WALL PART**

**Wall Part (1)**

Type of Wall: Wall Material: Masonry Wall Location: Wall at toe  
 Berm: No. of Berms: N/A Min. Berm Width (m): N/A  
 Weepholes: Size (mm): 80 Spacing (m): 1

**SERVICES**

N/A

**CHECKING STATUS INFORMATION**

Tagmark: SCS\_18108 Part: 1 Checking Status: Feature modified/upgraded to current standard Checking Certificate No.: N/A

**BACKGROUND INFORMATION**

GIU Cell Ref.: 11SW14B8  
 Map Sheet Reference (1:1000): 11SW-14B  
 Aerial Photos: N/A  
 Nearest Rainguage Station (Station Number): 25 Borrett Road(H17)  
 Data Collected On: 18-10-2006  
 Date of Construction, Subsequent Modification and Demolition: N/A  
 Related Reports/Files or Documents: N/A  
 Remarks: DH Order DH 161/HK/98 Issued is for the wall part of the feature.  
 Follow Up Actions: N/A  
 DH-Order (To Be Confirmed with Buildings Department): Date of Recommendation to BD: 27/10/1997 File Reference: DH/020/84/HK  
 Date Served by BD: 30/03/2011 Notice No.: DH0035/HK/11/C  
 Date of Recommendation to BD: 27/10/1997 File Reference: DH/020/84/HK  
 Date Served by BD: 10/08/1998 Notice No.: DH161/HK/98/C  
 Advisory Letter (To Be Confirmed with Buildings Department): None

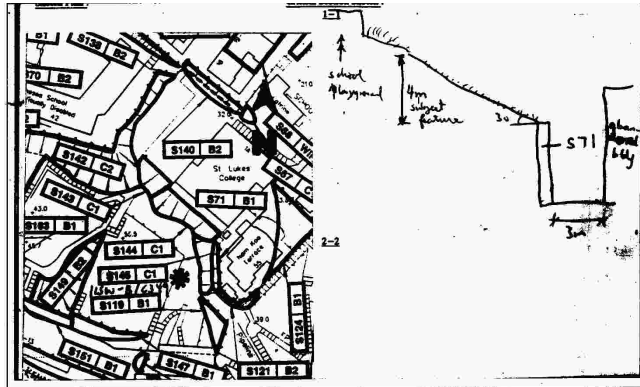
LPMIS: Agreement No.: CE15/2009 Report No.: S3R120/2011  
 Agreement No.: CE31/2005 Report No.: N/A  
 Agreement No.: CE33/93 Report No.: S2R 64/95

## ENHANCED MAINTENANCE INFORMATION

From Maintenance Department: (Last Updated Date: 08/10/2024)

## STAGE 1 STUDY REPORT

Inspected On: 03-12-1997  
 Weather: Mainly Fine  
 District: I



Section No: 1-1  
 Height(m): H1 : 12 , H2 : 8  
 Type of Toe Facility: Residential building  
 Distance from Toe(m): 3  
 Type of Crest Facility: Densely-used open area/facilities  
 Distance from Crest(m): 5  
 Consequence Category: 1  
 Engineering Judgement: P  
 Section No: 2-2  
 Type of Toe Facility: N/A  
 Distance from Toe(m): 0  
 Type of Crest Facility: N/A  
 Distance from Crest(m): 0  
 Consequence Category: 1  
 Engineering Judgement: P  
 Sign of Seepage: Slope : No signs of seepage  
 Wall : No sign of seepage  
 Criterion A satisfied: N  
 Sign of Distress: Slope : N/A  
 Wall : Moderate(near crest, mid-portion, at toe)  
 Criterion D satisfied: N  
 Non-routine maintenance required: N



Note: N/A  
Masonry wall/Masonry facing: Y  
Note: Dressed block toe wall.  
Consequence category (for critical section): 1  
Observations: N/A  
Emergency Action Required: N  
Action By: N/A

### ACTION TO INITIATE PREVENTIVE WORKS

Criterion A/Criterion D: N/A  
Action By: N/A  
Further Study: N  
Action By: N/A

### OTHER EXTERNAL ACTION

Check / repair Services: N  
Action By: N/A  
Non-routine Maintenance: N  
Action By: N/A

### eLPMIS

#### LPM/LPMit Details Report

LPM Study Feature No.: 11SW-B/CR 349  
Location: North East of ST. Francis Canossian College, Kennedy Road, Wan Chai  
District Council: Wanchai  
Maintenance Responsibility (At the Time of Selection): Mixed  
Responsible Party for Maintenance of Government Portion: Lands D  
Private Lot No.: IL2140, IL8102 and EXT

#### LPM/LPMit Study

Agreement No.: CE15/2009  
Study Type: Stage 3 Study Under Schedule of Rates Contract  
Consultant: AECOM Asia Co. Ltd.  
GEO Managing Section / Engineer: LPM3 / CM71  
Study Status: Study completed  
Design Approach: Prescriptive  
Option Assessment Accepted: Y  
Study Report No.: S3R120/2011

Programme / Actual Commencement: 21-12-2011  
Programme / Actual Completion: 01-01-2012  
Report Recommendation (For Stage 2 Study): Upgrading Works  
District Check Status: N/A  
Checking Certificate No.: GEO/LPM155/2012  
GEO Engineer's Remarks: N/A

**LPM/LPMit Works**

Works Contract No.: GE/2011/02  
GEO Managing Section / Engineer: LPM3 / CM71  
Contractor: Shun Yuen Construction Co Ltd  
Progress Status: Maintenance completed  
Reason of Study Termination / Works Deletion (If Necessary): N/A  
Forecast Commencement Date: 16-02-2012  
Forecast Completion Date: 01-09-2012  
Completion Cert. Issued: 14-09-2012  
Site Handed Over to Maintenance Department on: 28-10-2013  
Estimated Cost for Upgrading (HK\$M): 0.2587  
Maintenance Manual No.: MM155/2012  
Actual Works: Soil nail  
No. of Tree Felled: N/A  
No. of Tree Planted (Incl. Transplant): N/A  
% Bare of Slope Surfacing: N/A  
% Vegetated of Slope Surfacing: 30  
% Shotcrete of Slope Surfacing: N/A  
Other Hard Surface of Slope Surfacing: 70

**LPM/LPMit Details Report**

LPM Study Feature No.: 11SW-B/CR 349  
Location: North East of ST. Francis Canossian College, Kennedy Road, Wan Chai  
District Council: Wanchai  
Maintenance Responsibility (At the Time of Selection): Mixed  
Responsible Party for Maintenance of Government Portion: Lands D  
Private Lot No.: IL2140, IL8102 and Ext

**LPM/LPMit Study**

Agreement No.: CE31/2005  
Study Type: Stage 3 Study Under Schedule of Rates Contract  
Consultant: C M Wong & Associates Ltd.  
GEO Managing Section / Engineer: LPM2 / CM43  
Study Status: Study deferred - To be considered in other LPM/LPMit Agreement  
Design Approach: N/A  
Option Assessment Accepted: N/A  
Study Report No.: N/A

Programme / Actual Commencement:	N/A
Programme / Actual Completion:	N/A
Report Recommendation (For Stage 2 Study):	N/A
District Check Status:	N/A
Checking Certificate No.:	N/A
GEO Engineer's Remarks:	It is anticipated that it will take a long time to resolve the access and works area issue with the owner and inclusion of this feature into the Batch B SoR Contract is undesirable. {Deferred in LPMP due to Access}

**LPM/LPMit Works**

Works Contract No.:	N/A
GEO Managing Section / Engineer:	N/A / N/A
Contractor:	N/A
Progress Status:	N/A
Reason of Study Termination / Works Deletion (If Necessary):	N/A
Forecast Commencement Date:	N/A
Forecast Completion Date:	N/A
Completion Cert. Issued:	N/A
Site Handed Over to Maintenance Department on:	N/A
Estimated Cost for Upgrading (HK\$M):	N/A
Maintenance Manual No.:	N/A
Actual Works:	N/A
No. of Tree Felled:	N/A
No. of Tree Planted (Incl. Transplant):	N/A
% Bare of Slope Surfacing:	N/A
% Vegetated of Slope Surfacing:	N/A
% Shotcrete of Slope Surfacing:	N/A
Other Hard Surface of Slope Surfacing:	N/A

**LPM/LPMit Details Report**

LPM Study Feature No.:	11SW-B/R 628
Location:	{55 SHIP STREET, WANCHAI}
District Council:	Wanchai
Maintenance Responsibility (At the Time of Selection):	Private
Responsible Party for Maintenance of Government Portion:	N/A
Private Lot No.:	NA

**LPM/LPMit Study**

Agreement No.:	CE33/93
Study Type:	Stage 2 Study
Consultant:	Mott Connell Ltd.
GEO Managing Section / Engineer:	LPM3 / CM62
Study Status:	Study completed
Design Approach:	Otherwise
Option Assessment Accepted:	N/A



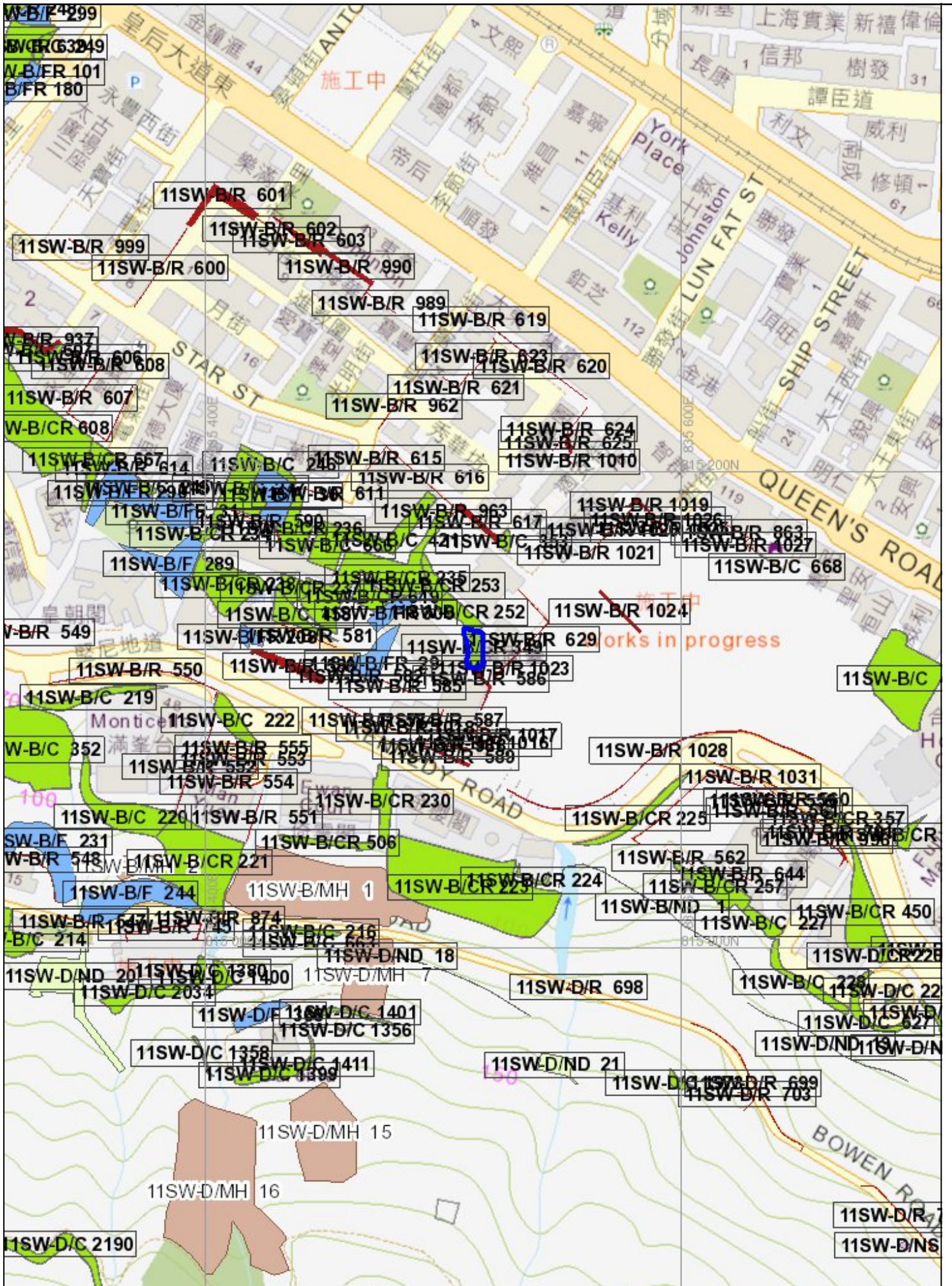
Study Report No.:	S2R 64/95
Programme / Actual Commencement:	01-06-1994
Programme / Actual Completion:	31-08-1998
Report Recommendation (For Stage 2 Study):	DH Order
District Check Status:	Checked
Checking Certificate No.:	N/A
GEO Engineer's Remarks:	N/A

LPM/LPMit Works

Works Contract No.:	N/A
GEO Managing Section / Engineer:	N/A / N/A
Contractor:	N/A
Progress Status:	N/A
Reason of Study Termination / Works Deletion (If Necessary):	N/A
Forecast Commencement Date:	N/A
Forecast Completion Date:	N/A
Completion Cert. Issued:	N/A
Site Handed Over to Maintenance Department on:	N/A
Estimated Cost for Upgrading (HK\$M):	N/A
Maintenance Manual No.:	N/A
Actual Works:	N/A
No. of Tree Felled:	N/A
No. of Tree Planted (Incl. Transplant):	N/A
% Bare of Slope Surfacing:	N/A
% Vegetated of Slope Surfacing:	N/A
% Shotcrete of Slope Surfacing:	N/A
Other Hard Surface of Slope Surfacing:	N/A

**PHOTO**







## BASIC INFORMATION

Location: Lot No.I.L. 8102 & Ext., 9-13 Kennedy Road, Wan Chai  
 Registration Date: 16-03-1998  
 Ranking Score (NPRS): 9 (LPMit)  
 Date of Formation: pre-1977  
 Date of Construction/ Modification: 30-07-2013  
 Data Source: AP  
 Approximate Coordinates: Easting : 835514 Northing : 815116

## CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: School  
 Distance of Facility from Crest (m): 0  
 Facility at Toe: Remote area or abandoned facilities  
 Distance of Facility from Toe (m): 4  
 Consequence-to-life Category: 1  
 Remarks: N/A

## SLOPE PART

N/A

## WALL PART

(1) Max. Height (m): 6 Length (m): 20 Face Angle (deg): 80

## MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 0 Private Feature Party: IL 8102 &EXT Agent: N/A Land Cat.: 1 Reason Code: 1 MR Endorsement Date: 22-12-2022

## DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 19-07-2019  
 Data Source: AP  
 Slope Part Drainage: N/A  
 Wall Part Drainage: (1) Position: Crest Size(mm): 225  
 (2) Position: Toe Size(mm): 300

## SLOPE PART

N/A

## WALL PART



Wall Part (1)  
 Type of Wall: Wall Material: Concrete Wall Location: Retaining wall with level platform  
 Berm: No. of Berms: N/A Min. Berm Width (m): N/A  
 Weepholes: Size (mm): N/A Spacing (m): N/A

**SERVICES**

N/A

**CHECKING STATUS INFORMATION**

Tagmark: SCS\_17800 Part: 0 Checking Status: Feature modified/upgraded to current standard Checking Certificate No.: N/A

**BACKGROUND INFORMATION**

GIU Cell Ref.: 11SW14B8  
 Map Sheet Reference (1:1000): 11SW-14B  
 Aerial Photos: N/A  
 Nearest Rainguage Station (Station Number): 25 Borrett Road(H17)  
 Data Collected On: 19-07-2019  
 Date of Construction, Subsequent Modification and Demolition: Modification: Constructed Before: 1963 After: N/A  
 Related Reports/Files or Documents: File/Report: DB or DH Ref. No.: GC13/4/DH365/75/HK  
 File/Report: DB or DH Ref. No.: GC13/4/DH365/75/HK  
 File/Report: Development Ref. No.: GC13/4/1259/79  
 File/Report: Development Ref. No.: GC13/4/1259/79  
 File/Report: GEO Ref. No.: Stage 1 report by design 05/94 prior group=2  
 File/Report: GEO Ref. No.: Stage 1 report by design 05/94 prior group=2  
 File/Report: Pre-SIRST Ref. No.: Field Sheet  
 File/Report: Pre-SIRST Ref. No.: Field Sheet  
 Remarks: N/A  
 Follow Up Actions: N/A  
 DH-Order (To Be Confirmed with Buildings Department): None  
 Advisory Letter (To Be Confirmed with Buildings Department): Date of Recommendation to BD: 17/04/1996 File Reference: DH365/75/HK  
 Date Served by BD: 13/05/1996  
 LPMIS: Agreement No.: CE9/95 Report No.: S2R 128/95

**ENHANCED MAINTENANCE INFORMATION**





From Maintenance Department: (Last Updated Date: 08/10/2024)

## STAGE 1 STUDY REPORT

Inspected On:

Weather:

District: 1

Section No: 1-1

Height(m):

Type of Toe Facility: Remote area or abandoned facilities

Distance from Toe(m): 4

Type of Crest Facility: School

Distance from Crest(m): 0

Consequence Category:

Engineering Judgement:

Section No: 2-2

Type of Toe Facility:

Distance from Toe(m):

Type of Crest Facility:

Distance from Crest(m):

Consequence Category:

Engineering Judgement:

Sign of Seepage:

Criterion A satisfied:

Sign of Distress:

Criterion D satisfied:

Non-routine maintenance required:

Note:

Masonry wall/Masonry facing:

Note:

Consequence category (for critical section):

Observations: N/A

Emergency Action Required:

Action By: N/A

## ACTION TO INITIATE PREVENTIVE WORKS

Criterion A/Criterion D: N/A

Action By: N/A

Further Study:

Action By: N/A

## OTHER EXTERNAL ACTION

### Check / repair Services:

Action By: N/A

### Non-routine Maintenance:

Action By: N/A

## eLPMIS

### LPM/LPMit Details Report

LPM Study Feature No.: 11SW-B/R 586  
Location: {BEHIND ST. FRANCIS CANOSSIAN COLLEGE, KENNEDY ROAD}  
District Council: Wanchai  
Maintenance Responsibility (At the Time of Selection): Private  
Responsible Party for Maintenance of Government Portion: N/A  
Private Lot No.: NA

### LPM/LPMit Study

Agreement No.: CE9/95  
Study Type: Stage 2 Study  
Consultant: Halcrow Asia Partnership Ltd.  
GEO Managing Section / Engineer: LPM3 / CM61  
Study Status: Study completed  
Design Approach: Otherwise  
Option Assessment Accepted: N/A  
Study Report No.: S2R 128/95  
Programme / Actual Commencement: 01-06-1995  
Programme / Actual Completion: 31-12-1998  
Report Recommendation (For Stage 2 Study): Advisory Letter  
District Check Status: Checked  
Checking Certificate No.: N/A  
GEO Engineer's Remarks: N/A

### LPM/LPMit Works

Works Contract No.: N/A  
GEO Managing Section / Engineer: N/A / N/A  
Contractor: N/A  
Progress Status: N/A  
Reason of Study Termination / Works Deletion (If Necessary): N/A  
Forecast Commencement Date: N/A  
Forecast Completion Date: N/A



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Completion Cert. Issued:	N/A
Site Handed Over to Maintenance Department on:	N/A
Estimated Cost for Upgrading (HK\$M):	N/A
Maintenance Manual No.:	N/A
Actual Works:	N/A
No. of Tree Felled:	N/A
No. of Tree Planted (Incl. Transplant):	N/A
% Bare of Slope Surfacing:	N/A
% Vegetated of Slope Surfacing:	N/A
% Shotcrete of Slope Surfacing:	N/A
Other Hard Surface of Slope Surfacing:	N/A

**PHOTO**





## BASIC INFORMATION

Location: North East of No. 55 Ship Street, Wan Chai  
Registration Date: 16-03-1998  
Ranking Score (NPRS): 7 (Notional)  
Date of Formation: pre-1977  
Date of Construction/ Modification: 20-11-2017  
Data Source: AP  
Approximate Coordinates: Easting : 835543 Northing : 815136

## CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: Residential building  
Distance of Facility from Crest (m): 2  
Facility at Toe: Residential building  
Distance of Facility from Toe (m): 1  
Consequence-to-life Category: 1  
Remarks: N/A

## SLOPE PART

N/A

## WALL PART

(1) Max. Height (m): 10 Length (m): 45 Face Angle (deg): 85

## MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 0 Private Feature Party: IL 2140 Agent: N/A Land Cat.: 1 Reason Code: 1 MR Endorsement Date: 02-06-1997

## DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 28-12-2018  
Data Source: AP  
Slope Part Drainage: N/A  
Wall Part Drainage: (1) Position: Crest Size(mm): 150  
(2) Position: Downpipe Size(mm): 150

## SLOPE PART

N/A

## WALL PART



Wall Part (1)  
 Type of Wall: Wall Material: Masonry Wall Location: Retaining wall with level platform  
 Berm: No. of Berms: N/A Min. Berm Width (m): N/A  
 Weepholes: Size (mm): 65 Spacing (m): 1.2

**SERVICES**

N/A

**CHECKING STATUS INFORMATION**

Tagmark: SCS\_18107 Part: 0 Checking Status: Feature modified/upgraded to current standard Checking Certificate No.: N/A

**BACKGROUND INFORMATION**

GIU Cell Ref.: 11SW14B8  
 Map Sheet Reference (1:1000): 11SW-14B  
 Aerial Photos: 6122-3 (1949),  
 Nearest Rainguage Station (Station Number): 25 Borrett Road(H17)  
 Data Collected On: 28-12-2018  
 Date of Construction, Subsequent Modification and Demolition: Modification: Constructed Before: 1949 After: N/A  
 Related Reports/Files or Documents: File/Report: GCC Ref. No.: GC14/1A/RA6E f(75,77A)  
 File/Report: GCC Ref. No.: GC14/1A/RA6E f(75,77A)  
 File/Report: GEO Ref. No.: Stage 1 report by existing slope  
 File/Report: GEO Ref. No.: Stage 1 report by existing slope  
 File/Report: Pre-SIRST Ref. No.: Field Sheet  
 File/Report: Pre-SIRST Ref. No.: Field Sheet  
 Remarks: N/A  
 Follow Up Actions: N/A  
 DH-Order (To Be Confirmed with Buildings Department): Date of Recommendation to BD: 27/10/1997 File Reference: DH/020/84/HK  
 Date Served by BD: 10/08/1998 Notice No.: DH161/HK/98/C  
 Date of Recommendation to BD: 27/10/1997 File Reference: DH/020/84/HK  
 Date Served by BD: 10/08/1998 Notice No.: DH161/HK/98/C  
 Date of Recommendation to BD: 27/10/1997 File Reference: DH/020/84/HK  
 Date Served by BD: 30/03/2011 Notice No.: DH0035/HK/11/C  
 Date of Recommendation to BD: 27/10/1997 File Reference: DH/020/84/HK  
 Date Served by BD: 10/08/1998 Notice No.: DH161/HK/98/C  
 Advisory Letter (To Be Confirmed with Buildings Department): Date of Recommendation to BD: 12/01/1984 File Reference: DH020/84/HK  
 Date Served by BD: 08/02/1984  
 LPMIS: Agreement No.: CE33/93 Report No.: S2R 226/96



## ENHANCED MAINTENANCE INFORMATION

From Maintenance Department: (Last Updated Date: 08/10/2024)

### STAGE 1 STUDY REPORT

Inspected On:

Weather:

District: 1

Section No: 1-1

Height(m):

Type of Toe Facility: Residential building

Distance from Toe(m): 1

Type of Crest Facility: Residential building

Distance from Crest(m): 2

Consequence Category:

Engineering Judgement:

Section No: 2-2

Type of Toe Facility:

Distance from Toe(m):

Type of Crest Facility:

Distance from Crest(m):

Consequence Category:

Engineering Judgement:

Sign of Seepage:

Criterion A satisfied:

Sign of Distress:

Criterion D satisfied:

Non-routine maintenance required:

Note:

Masonry wall/Masonry facing:

Note:

Consequence category (for critical section):

Observations: N/A

Emergency Action Required:

Action By: N/A

### ACTION TO INITIATE PREVENTIVE WORKS

Criterion A/Criterion D: N/A

Action By: N/A



Further Study:

Action By: N/A

**OTHER EXTERNAL ACTION**

Check / repair Services:

Action By: N/A

Non-routine Maintenance:

Action By: N/A

**eLPMIS**

LPM/LPMit Details Report

LPM Study Feature No.: 11SW-B/R 629  
Location: {55 SHIP STREET, WAN CHAI}  
District Council: Wanchai  
Maintenance Responsibility (At the Time of Selection): Private  
Responsible Party for Maintenance of Government Portion: N/A  
Private Lot No.: NA

LPM/LPMit Study

Agreement No.: CE33/93  
Study Type: Stage 2 Study  
Consultant: Mott Connell Ltd.  
GEO Managing Section / Engineer: LPM3 / CM62  
Study Status: Study completed  
Design Approach: Otherwise  
Option Assessment Accepted: N/A  
Study Report No.: S2R 226/96  
Programme / Actual Commencement: 01-05-1994  
Programme / Actual Completion: 31-08-1998  
Report Recommendation (For Stage 2 Study): DH Order  
District Check Status: Checked  
Checking Certificate No.: N/A  
GEO Engineer's Remarks: N/A

LPM/LPMit Works

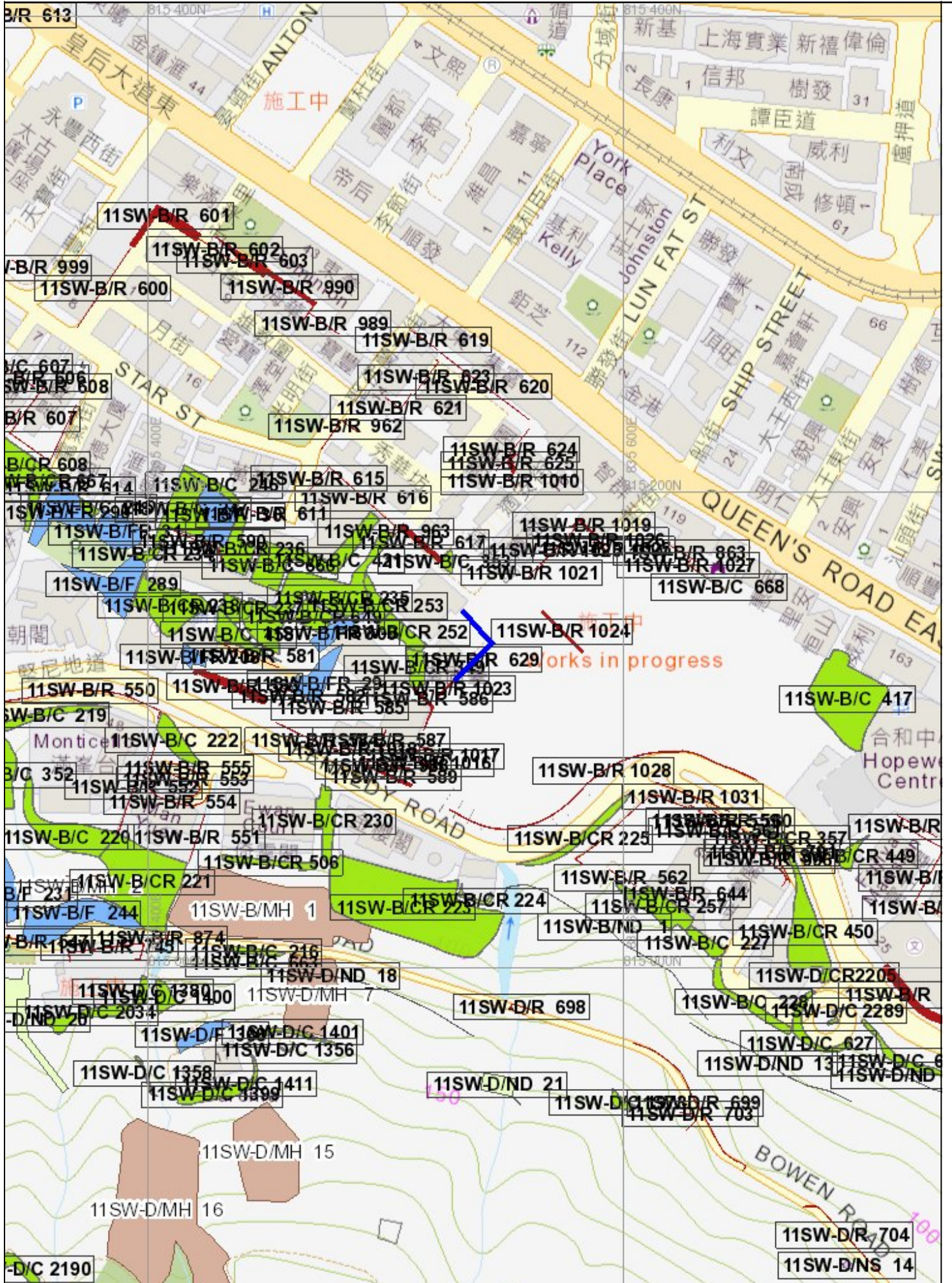
Works Contract No.: N/A  
GEO Managing Section / Engineer: N/A / N/A  
Contractor: N/A  
Progress Status: N/A



Reason of Study Termination / Works Deletion (If Necessary):	N/A
Forecast Commencement Date:	N/A
Forecast Completion Date:	N/A
Completion Cert. Issued:	N/A
Site Handed Over to Maintenance Department on:	N/A
Estimated Cost for Upgrading (HK\$M):	N/A
Maintenance Manual No.:	N/A
Actual Works:	N/A
No. of Tree Felled:	N/A
No. of Tree Planted (Incl. Transplant):	N/A
% Bare of Slope Surfacing:	N/A
% Vegetated of Slope Surfacing:	N/A
% Shotcrete of Slope Surfacing:	N/A
Other Hard Surface of Slope Surfacing:	N/A

PHOTO





## BASIC INFORMATION

Location: 66 Schooner Street, Wan Chai  
Registration Date: 16-03-1998  
Ranking Score (NPRS): 0 (EI)  
Date of Formation: pre-1977  
Date of Construction/ Modification:  
Data Source: EI(Lands D)  
Approximate Coordinates: Easting : 835527 Northing : 815168

## CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: Residential building  
Distance of Facility from Crest (m): 0  
Facility at Toe: Road/footpath with moderate traffic density  
Distance of Facility from Toe (m): 0  
Consequence-to-life Category: 1  
Remarks: N/A

## SLOPE PART

(1) Max. Height (m): 4 Length (m): 5 Average Angle (deg): 80

## WALL PART

N/A

## MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 1 Private Feature Party: IL 9048 Agent: N/A Land Cat.: 1 Reason Code: 1 MR Endorsement Date: 04-06-2018  
(2) Sub Div.: 2 Private Feature Party: IL 199 RP Agent: N/A Land Cat.: 1 Reason Code: 1 MR Endorsement Date: 04-06-2018

## DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 11-11-2016  
Data Source: EI(Lands D)  
Slope Part Drainage: N/A  
Wall Part Drainage: N/A

## SLOPE PART

Slope Part (1)  
Surface Protection (%): Bare: 0 Vegetated: 0 Chunam: 100 Shotcrete: 0 Other Cover: 0  
Material Description: Material type: Soil Geology: N/A  
Berm: No. of Berms: N/A Min. Berm Width (m): N/A  
Weepholes: Size (mm): 50 Spacing (m): 1



## WALL PART

N/A

## SERVICES

N/A

## CHECKING STATUS INFORMATION

N/A

## BACKGROUND INFORMATION

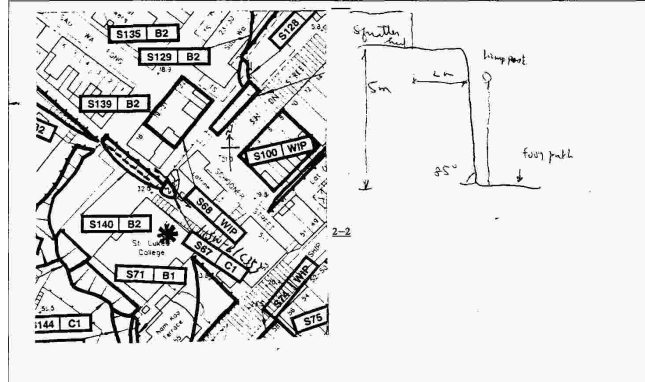
GIU Cell Ref.:	11SW14B8
Map Sheet Reference (1:1000):	11SW-14B
Aerial Photos:	N/A
Nearest Rainguage Station (Station Number):	25 Borrett Road(H17)
Data Collected On:	11-11-2016
Date of Construction, Subsequent Modification and Demolition:	N/A
Related Reports/Files or Documents:	N/A
Remarks:	FILE GCI 3/4/DH32/80/HK QUOTED ON THE DISTRICT OVERLAY RELATES ONLY TO ANOTHER FEATURE AT THE SAME PREMISES
Follow Up Actions:	N/A
DH-Order (To Be Confirmed with Buildings Department):	None
Advisory Letter (To Be Confirmed with Buildings Department):	None
LPMIS:	Agreement No.: CE79/95    Report No.: N/A

## ENHANCED MAINTENANCE INFORMATION

From Maintenance Department: (Last Updated Date: 08/10/2024)

**STAGE 1 STUDY REPORT**

Inspected On: 23-04-1996  
 Weather: Mainly Fine  
 District: I



Section No: 1-1  
 Height(m): H1 : 3 , H2 : 0  
 Type of Toe Facility: Road/footpath with moderate traffic density  
 Distance from Toe(m): 0  
 Type of Crest Facility: Residential building  
 Distance from Crest(m): 0  
 Consequence Category: 1  
 Engineering Judgement: P  
 Section No: 2-2  
 Type of Toe Facility: Licensed and squatter area  
 Distance from Toe(m): 0  
 Type of Crest Facility: Road with very low traffic  
 Distance from Crest(m): 0  
 Consequence Category: 1  
 Engineering Judgement: P  
 Sign of Seepage: Slope : No signs of seepage  
 Wall : N/A  
 Criterion A satisfied: N  
 Sign of Distress: Slope : Reasonable (near crest, mid-portion, at toe)  
 Wall : N/A  
 Criterion D satisfied: N  
 Non-routine maintenance required: N  
 Note: N/A  
 Masonry wall/Masonry facing: N  
 Note: N/A  
 Consequence category (for critical section): 1  
 Observations: N/A  
 Emergency Action Required: N  
 Action By: N/A

## ACTION TO INITIATE PREVENTIVE WORKS

Criterion A/Criterion D:	N/A
Action By:	N/A
Further Study:	Y
Action By:	Mixed

## OTHER EXTERNAL ACTION

Check / repair Services:	N
Action By:	N/A
Non-routine Maintenance:	N
Action By:	N/A

## eLPMIS

### LPM/LPMit Details Report

LPM Study Feature No.:	11SW-B/C 251
Location:	SCHOONER STREET
District Council:	Wanchai
Maintenance Responsibility (At the Time of Selection):	Government
Responsible Party for Maintenance of Government Portion:	FEHD
Private Lot No.:	N/A

### LPM/LPMit Study

Agreement No.:	CE79/95
Study Type:	Stage 2 Study
Consultant:	Binnie Consultants Ltd.
GEO Managing Section / Engineer:	LPM1 / CM11
Study Status:	Stage 2 study suspended as MR found to rest with GOVERNMENT
Design Approach:	N/A
Option Assessment Accepted:	N/A
Study Report No.:	N/A
Programme / Actual Commencement:	N/A
Programme / Actual Completion:	N/A
Report Recommendation (For Stage 2 Study):	N/A
District Check Status:	N/A
Checking Certificate No.:	N/A
GEO Engineer's Remarks:	FEATURE IS NOT PRIVATE.

### LPM/LPMit Works

Works Contract No.:	N/A
GEO Managing Section / Engineer:	N/A / N/A





Contractor:	N/A
Progress Status:	N/A
Reason of Study Termination / Works Deletion (If Necessary):	N/A
Forecast Commencement Date:	N/A
Forecast Completion Date:	N/A
Completion Cert. Issued:	N/A
Site Handed Over to Maintenance Department on:	N/A
Estimated Cost for Upgrading (HK\$M):	N/A
Maintenance Manual No.:	N/A
Actual Works:	N/A
No. of Tree Felled:	N/A
No. of Tree Planted (Incl. Transplant):	N/A
% Bare of Slope Surfacing:	N/A
% Vegetated of Slope Surfacing:	N/A
% Shotcrete of Slope Surfacing:	N/A
Other Hard Surface of Slope Surfacing:	N/A

**PHOTO**







## BASIC INFORMATION

Location: ST. FRANCIS CANOSSIAN SCHOOL, ST. FRANCIS STREET, WAN CHAI  
 Registration Date: 16-03-1998  
 Ranking Score (NPRS): 608 (Notional)  
 Date of Formation: post-1977  
 Date of Construction/ Modification: 18-03-2011  
 Data Source: AP  
 Approximate Coordinates: Easting : 835462 Northing : 815162

## CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: Road/footpath with low traffic density  
 Distance of Facility from Crest (m): 1  
 Facility at Toe: School  
 Distance of Facility from Toe (m): 3  
 Consequence-to-life Category: 1  
 Remarks: N/A

## SLOPE PART

(1) Max. Height (m): 18 Length (m): 80 Average Angle (deg): 45

## WALL PART

(1) Max. Height (m): 5.5 Length (m): 36 Face Angle (deg): 90

## MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 0 Private Feature Party: IL8102 & EXT Agent: N/A Land Cat.: 1 Reason Code: 1 MR Endorsement Date: 22-07-2005

## DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 27-02-2012  
 Data Source: AP  
 Slope Part Drainage:  
 (1) Position: Crest Size(mm): 260  
 (2) Position: Downpipe Size(mm): 150  
 (3) Position: Downpipe Size(mm): 600  
 (4) Position: On slope Size(mm): 400  
 (5) Position: On slope Size(mm): 300  
 (6) Position: On slope Size(mm): 225  
 (7) Position: Toe Size(mm): 800  
 (8) Position: Toe Size(mm): 300



Wall Part Drainage:

(1)	Position: Crest	Size(mm): 225
(2)	Position: Crest	Size(mm): 300
(3)	Position: Downpipe	Size(mm): 275
(4)	Position: Toe	Size(mm): 150
(5)	Position: Toe	Size(mm): 300

### SLOPE PART

Slope Part (1)  
 Surface Protection (%): Bare: 0 Vegetated: 30 Chunam: 0 Shotcrete: 0 Other Cover: 70  
 Material Description: Material type: Soil Geology: N/A  
 Berm: No. of Berms: N/A Min. Berm Width (m): N/A  
 Weepholes: Size (mm): 65 Spacing (m): 1.2

### WALL PART

Wall Part (1)  
 Type of Wall: Wall Material: Concrete Wall Location: Wall at toe  
 Berm: No. of Berms: N/A Min. Berm Width (m): N/A  
 Weepholes: Size (mm): 95 Spacing (m): 1.2

### SERVICES

N/A

### CHECKING STATUS INFORMATION

Tagmark: SCS\_13923 Part: 0 Checking Status: Feature modified/upgraded to current standard Checking Certificate No.: N/A

### BACKGROUND INFORMATION

GIU Cell Ref.: 11SW14B7  
 Map Sheet Reference (1:1000): 11SW-14B  
 Aerial Photos: 23897 (1978), 23882 (1978)  
 Nearest Rainguage Station (Station Number): 25 Borrett Road(H17)  
 Data Collected On: 27-02-2012  
 Date of Construction, Subsequent Modification and Demolition: Modification: Constructed Before: 1978 After: 1978

Related Reports/Files or Documents: File/Report: Development Ref. No.: GCI3/4/1152/78, 1077/82, 2140/72, 1259/29  
 File/Report: Development Ref. No.: GCI3/4/1152/78, 1077/82, 2140/72, 1259/29  
 File/Report: GEO Ref. No.: Stage 1 report by design 04/93  
 File/Report: GEO Ref. No.: Stage 1 report by design 04/93  
 File/Report: Ground Anchors Ref. No.: No.24 1/2140/74  
 File/Report: Ground Anchors Ref. No.: No.24 1/2140/74  
 File/Report: LRDC Ref. No.: D346/66/HK  
 File/Report: LRDC Ref. No.: D346/66/HK  
 File/Report: LSR Ref. No.: LSR 6/2001 (HK2000/08/021)  
 File/Report: LSR Ref. No.: LSR 6/2001 (HK2000/08/021)  
 File/Report: Other Ref. No.: SIRST Field Sheet  
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 File/Report: Pre-SIRST Ref. No.: Field Sheet  
 File/Report: Pre-SIRST Ref. No.: Field Sheet

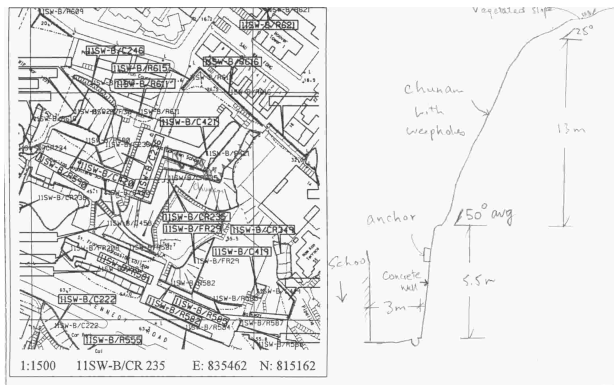
Remarks: N/A  
 Follow Up Actions: N/A  
 DH-Order (To Be Confirmed with Buildings Department): Date of Recommendation to BD: 05/10/2007 File Reference: N/A  
 Date Served by BD: N/A Notice No.: N/A  
 Advisory Letter (To Be Confirmed with Buildings Department): Date of Recommendation to BD: N/A File Reference: N/A  
 Date Served by BD: 20/06/2007  
 LPMIS: None

### ENHANCED MAINTENANCE INFORMATION

From Maintenance Department: (Last Updated Date: 08/10/2024)

### STAGE 1 STUDY REPORT

Inspected On: 11-01-2000  
 Weather: Mainly Fine  
 District: I



Section No: I-I  
 Height(m): H1 : 19 , H2 : 6  
 Type of Toe Facility: School  
 Distance from Toe(m): 3  
 Type of Crest Facility: Road/footpath with low traffic density  
 Distance from Crest(m): 1



Consequence Category:	1
Engineering Judgement:	P
Section No:	2-2
Type of Toe Facility:	N/A
Distance from Toe(m):	0
Type of Crest Facility:	N/A
Distance from Crest(m):	0
Consequence Category:	1
Engineering Judgement:	P
Sign of Seepage:	Slope : No signs of seepage Wall : No sign of seepage
Criterion A satisfied:	N
Sign of Distress:	Slope : N/A Wall : N/A
Criterion D satisfied:	N
Non-routine maintenance required:	N
Note:	N/A
Masonry wall/Masonry facing:	N
Note:	N/A
Consequence category (for critical section):	1
Observations:	N/A
Emergency Action Required:	N
Action By:	N/A

### ACTION TO INITIATE PREVENTIVE WORKS

Criterion A/Criterion D:	N/A
Action By:	N/A
Further Study:	Y
Action By:	Private

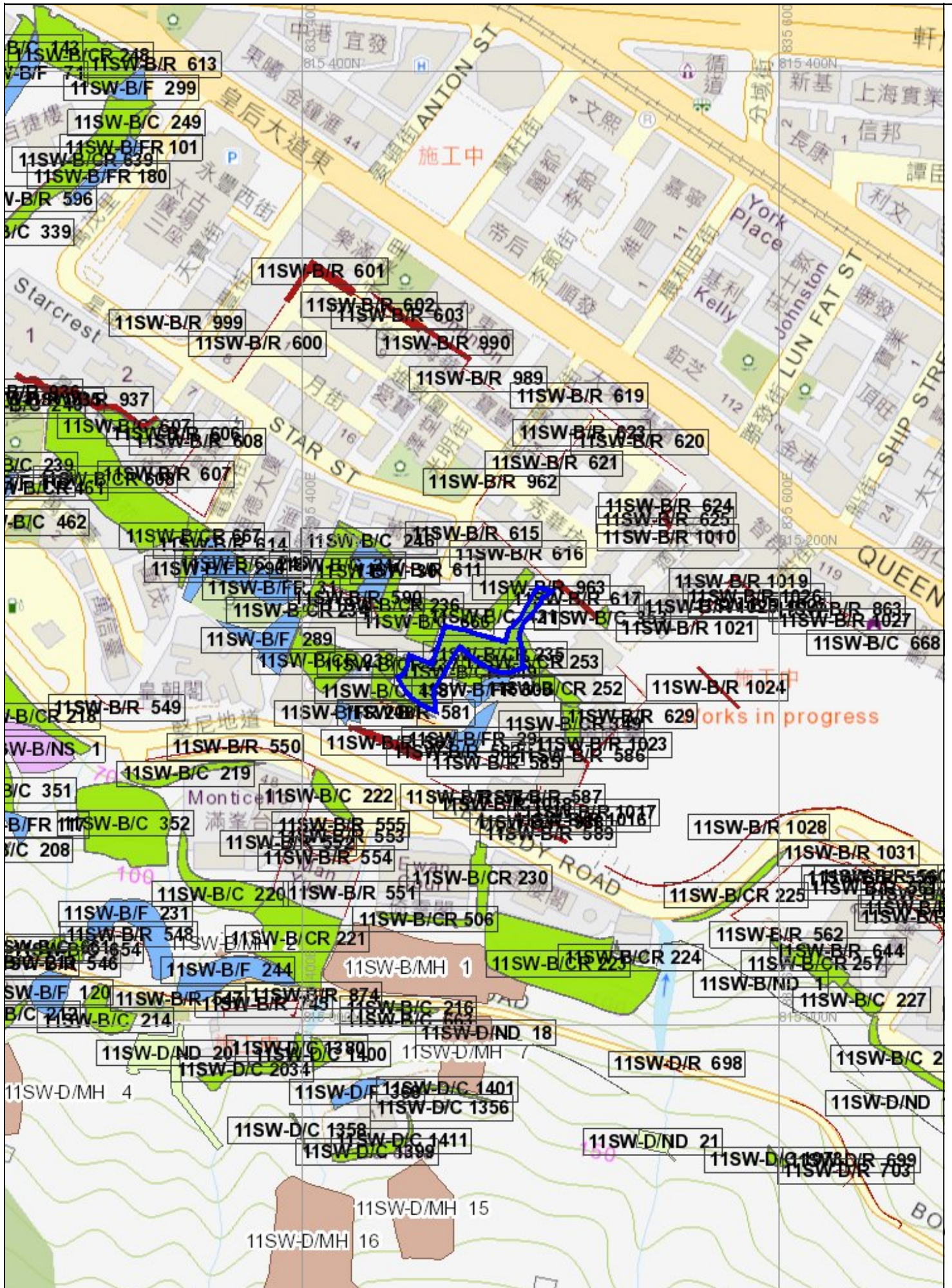
### OTHER EXTERNAL ACTION

Check / repair Services:	N
Action By:	N/A
Non-routine Maintenance:	N
Action By:	N/A

**PHOTO**







## BASIC INFORMATION

Location: Behind 55 Ship Street, Wan Chai South, Hong Kong  
Registration Date: 10-12-1999  
Ranking Score (NPRS): 0 (LPMit)  
Date of Formation: pre-1977  
Date of Construction/ Modification:  
Data Source: LPM  
Approximate Coordinates: Easting : 835507 Northing : 815141

## CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: School  
Distance of Facility from Crest (m): 5  
Facility at Toe: Remote area or abandoned facilities  
Distance of Facility from Toe (m): 2  
Consequence-to-life Category: 1  
Remarks: N/A

## SLOPE PART

(1) Max. Height (m): 9 Length (m): 21 Average Angle (deg): 60

## WALL PART

(1) Max. Height (m): 5 Length (m): 21 Face Angle (deg): 90

## MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 1 Mixed Feature Party: IL1940 Agent: N/A Land Cat.: 1 Reason Code: 1 MR Endorsement Date: 22-05-2000  
(2) Sub Div.: 2 Mixed Feature Party: IL2140 Agent: N/A Land Cat.: 1 Reason Code: 1 MR Endorsement Date: 22-05-2000  
(3) Sub Div.: 3 Mixed Feature Party: Lands D Agent: Lands D Land Cat.: 5b(vi) Reason Code: 62 MR Endorsement Date: 22-05-2000

## DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 01-08-2016  
Data Source: LPM  
Slope Part Drainage: (1) Position: Crest Size(mm): 200  
Wall Part Drainage: N/A

## SLOPE PART



**Slope Part (1)**

Surface Protection (%): Bare: 10 Vegetated: 70 Chunam: 0 Shotcrete: 20 Other Cover: 0  
 Material Description: Material type: Soil Geology: N/A  
 Berm: No. of Berms: N/A Min. Berm Width (m): N/A  
 Weepholes: Size (mm): N/A Spacing (m): N/A

**WALL PART**

**Wall Part (1)**

Type of Wall: Wall Material: Concrete Wall Location: Wall at toe  
 Berm: No. of Berms: N/A Min. Berm Width (m): N/A  
 Weepholes: Size (mm): 50 Spacing (m): 1.8

**SERVICES**

N/A

**CHECKING STATUS INFORMATION**

N/A

**BACKGROUND INFORMATION**

GIU Cell Ref.: 11SW14B8  
 Map Sheet Reference (1:1000): 11SW-14B  
 Aerial Photos: N/A  
 Nearest Rainguage Station (Station Number): 25 Borrett Road(H17)  
 Data Collected On: 01-08-2016  
 Date of Construction, Subsequent Modification and Demolition: Modification: Constructed Before: 1978 After: N/A  
 Related Reports/Files or Documents: File/Report: GEO Ref. No.: SIR097/86(9/86)  
 File/Report: GEO Ref. No.: SIR097/86(9/86)  
 File/Report: Pre-SIRST Ref. No.: Field Sheet  
 File/Report: Pre-SIRST Ref. No.: Field Sheet  
 Remarks: N/A  
 Follow Up Actions: N/A

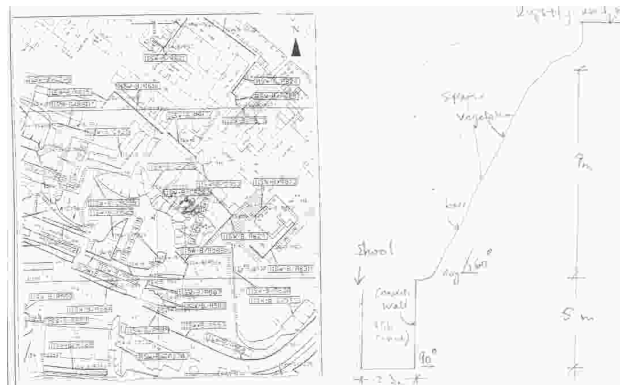
DH-Order (To Be Confirmed with Buildings Department):	Date of Recommendation to BD: 27/07/1983	File Reference: DH/0346/66/HK
	Date Served by BD: 16/02/1984	Notice No.: DH1/HK/84
	Date of Recommendation to BD: 27/07/1983	File Reference: DH/0346/66/HK
	Date Served by BD: 06/04/1984	Notice No.: DH1A/HK/84
	Date of Recommendation to BD: 27/07/1983	File Reference: DH/0002/84/HK
	Date Served by BD: 16/02/1984	Notice No.: DH2/HK/84
Advisory Letter (To Be Confirmed with Buildings Department):	Date of Recommendation to BD: N/A	File Reference: N/A
	Date Served by BD: 21/05/2004	
LPMIS:	Agreement No.: CE62/2001	Report No.: S2R220/2003

## ENHANCED MAINTENANCE INFORMATION

From Maintenance Department: (Last Updated Date: 08/10/2024)

## STAGE 1 STUDY REPORT

Inspected On: 22-02-2000  
 Weather: Some Rain  
 District: I



Section No:	1-1
Height(m):	H1 : 14 , H2 : 5
Type of Toe Facility:	Remote area or abandoned facilities
Distance from Toe(m):	2
Type of Crest Facility:	School
Distance from Crest(m):	5
Consequence Category:	1
Engineering Judgement:	HP
Section No:	2-2
Type of Toe Facility:	N/A
Distance from Toe(m):	0
Type of Crest Facility:	N/A
Distance from Crest(m):	0
Consequence Category:	1
Engineering Judgement:	HP

Sign of Seepage:	Slope : No signs of seepage Wall : No sign of seepage
Criterion A satisfied:	N
Sign of Distress:	Slope : N/A Wall : N/A
Criterion D satisfied:	N
Non-routine maintenance required:	N
Note:	N/A
Masonry wall/Masonry facing:	N
Note:	N/A
Consequence category (for critical section):	1
Observations:	N/A
Emergency Action Required:	N
Action By:	N/A

### ACTION TO INITIATE PREVENTIVE WORKS

Criterion A/Criterion D:	N/A
Action By:	N/A
Further Study:	Y
Action By:	Private

### OTHER EXTERNAL ACTION

Check / repair Services:	N
Action By:	N/A
Non-routine Maintenance:	N
Action By:	N/A

### eLPMIS

#### LPM/LPMit Details Report

LPM Study Feature No.:	11SW-B/CR 252
Location:	BEHIND 55 SHIP STREET, WAN CHAI SOUTH
District Council:	Wanchai
Maintenance Responsibility (At the Time of Selection):	Mixed
Responsible Party for Maintenance of Government Portion:	Lands D
Private Lot No.:	IL1940, IL2140

#### LPM/LPMit Study

Agreement No.:	CE62/2001
Study Type:	Stage 2 Study



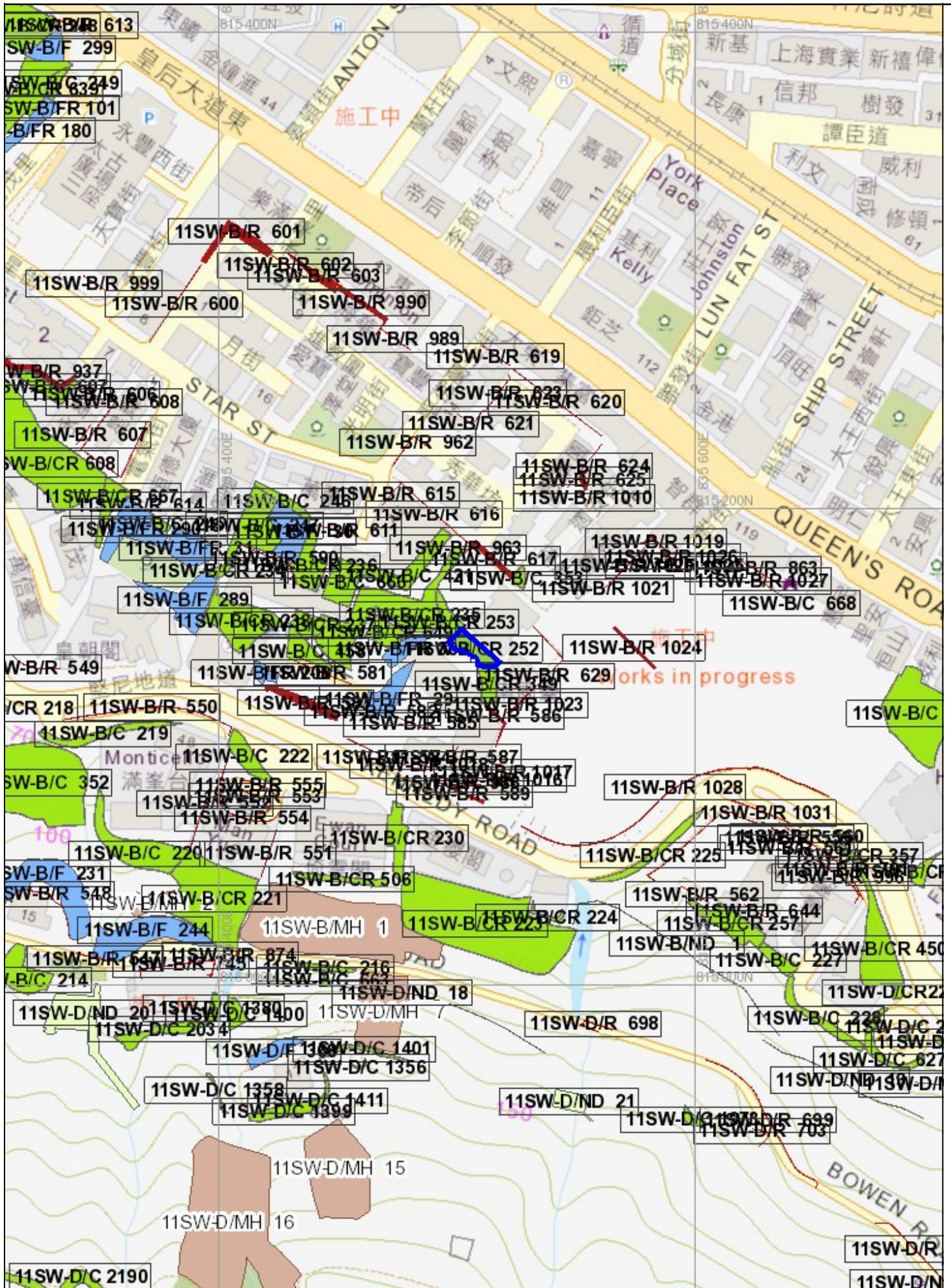
Consultant:	Maunsell Geotechnical Services Ltd.
GEO Managing Section / Engineer:	SS / SS3
Study Status:	Study completed
Design Approach:	N/A
Option Assessment Accepted:	N/A
Study Report No.:	S2R220/2003
Programme / Actual Commencement:	05-06-2003
Programme / Actual Completion:	06-03-2004
Report Recommendation (For Stage 2 Study):	Advisory Letter, No action required
District Check Status:	Checked
Checking Certificate No.:	N/A
GEO Engineer's Remarks:	N/A

**LPM/LPMit Works**

Works Contract No.:	N/A
GEO Managing Section / Engineer:	N/A / N/A
Contractor:	N/A
Progress Status:	N/A
Reason of Study Termination / Works Deletion (If Necessary):	N/A
Forecast Commencement Date:	N/A
Forecast Completion Date:	N/A
Completion Cert. Issued:	N/A
Site Handed Over to Maintenance Department on:	N/A
Estimated Cost for Upgrading (HK\$M):	N/A
Maintenance Manual No.:	N/A
Actual Works:	N/A
No. of Tree Felled:	N/A
No. of Tree Planted (Incl. Transplant):	N/A
% Bare of Slope Surfacing:	N/A
% Vegetated of Slope Surfacing:	N/A
% Shotcrete of Slope Surfacing:	N/A
Other Hard Surface of Slope Surfacing:	N/A

PHOTO









## BASIC INFORMATION

Location: Below St.Franeis Canoossian College, 9-13 Kennedy Road  
 Registration Date: 10-12-1999  
 Ranking Score (NPRS): 0 (N/A)  
 Date of Formation: post-1977  
 Date of Construction/ Modification:  
 Data Source: EI(Lands D)  
 Approximate Coordinates: Easting : 835497 Northing : 815153

## CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: Undeveloped green belt  
 Distance of Facility from Crest (m): 0  
 Facility at Toe: Lightly-used open area/facilities  
 Distance of Facility from Toe (m): 0  
 Consequence-to-life Category: 3  
 Remarks: N/A

## SLOPE PART

(1) Max. Height (m): 8.5 Length (m): 18 Average Angle (deg): 70

## WALL PART

(1) Max. Height (m): 2 Length (m): 10 Face Angle (deg): 88

## MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 1 Mixed Feature Party: IL8102 & EXT Agent: N/A Land Cat.: 1 Reason Code: 1 MR Endorsement Date: 22-05-2000  
 (2) Sub Div.: 2 Mixed Feature Party: IL1669 Agent: N/A Land Cat.: 1 Reason Code: 1 MR Endorsement Date: 22-05-2000  
 (3) Sub Div.: 3 Mixed Feature Party: IL1564 Agent: N/A Land Cat.: 1,5b(vi),7 Reason Code: 1 MR Endorsement Date: 22-05-2000  
 (4) Sub Div.: 4 Mixed Feature Party: IL2272 & EXT Agent: N/A Land Cat.: 1 Reason Code: 1 MR Endorsement Date: 22-05-2000  
 (5) Sub Div.: 5 Mixed Feature Party: Lands D Agent: Lands D Land Cat.: 5b(vi) Reason Code: 62 MR Endorsement Date: 22-05-2000

## DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 15-06-2006  
 Data Source: EI(Lands D)  
 Slope Part Drainage: (1) Position: On slope Size(mm): 150  
 Wall Part Drainage: (1) Position: Downpipe Size(mm): 100

## SLOPE PART



**Slope Part (1)**

Surface Protection (%): Bare: 0 Vegetated: 100 Chunam: 0 Shotcrete: 0 Other Cover: 0  
 Material Description: Material type: Soil Geology: N/A  
 Berm: No. of Berms: 1 Min. Berm Width (m): 2.8  
 Weepholes: Size (mm): N/A Spacing (m): N/A

**WALL PART**

**Wall Part (1)**

Type of Wall: Wall Material: Masonry Wall Location: Retaining wall with level platform  
 Berm: No. of Berms: N/A Min. Berm Width (m): N/A  
 Weepholes: Size (mm): 50 Spacing (m): 1.8

**SERVICES**

(1) Utilities Type: Water Main Size(mm): 50 Location: On slope Remark: N/A

**CHECKING STATUS INFORMATION**

Tagmark: 7636\_0\_1 Part: 0 Checking Status: No checking records Checking Certificate No.: N/A

**BACKGROUND INFORMATION**

GIU Cell Ref.: 11SW14B7  
 Map Sheet Reference (1:1000): 11SW-14B  
 Aerial Photos: 23882-97 (1978),  
 Nearest Rainuage Station (Station Number): 25 Borrett Road(H17)  
 Data Collected On: 15-06-2006  
 Date of Construction, Subsequent Modification and Demolition: Modification: Constructed Before: 1978 After: N/A  
 Related Reports/Files or Documents: File/Report: DB or DH Ref. No.: DH 2/HK/184  
 File/Report: DB or DH Ref. No.: DH 2/HK/184  
 File/Report: DB or DH Ref. No.: DH1/HK/184  
 File/Report: DB or DH Ref. No.: DH1/HK/184  
 File/Report: GEO Ref. No.: STAGE 1 (1991/09/20) (NFA)  
 File/Report: GEO Ref. No.: STAGE 1 (1991/09/20) (NFA)  
 File/Report: Previous Instability Ref. No.: 18/6/83  
 File/Report: Previous Instability Ref. No.: 18/6/83  
 Remarks: N/A  
 Follow Up Actions: N/A



DH-Order (To Be Confirmed with Buildings Department): None  
 Advisory Letter (To Be Confirmed with Buildings Department): None  
 LPMIS: None

## ENHANCED MAINTENANCE INFORMATION

From Maintenance Department: (Last Updated Date: 08/10/2024)

## STAGE 1 STUDY REPORT

Inspected On:

Weather:

District: I

Section No: 1-1

Height(m):

Type of Toe Facility: Lightly-used open area/facilities

Distance from Toe(m): 0

Type of Crest Facility: Undeveloped green belt

Distance from Crest(m): 0

Consequence Category:

Engineering Judgement:

Section No: 2-2

Type of Toe Facility:

Distance from Toe(m):

Type of Crest Facility:

Distance from Crest(m):

Consequence Category:

Engineering Judgement:

Sign of Seepage:

Criterion A satisfied:

Sign of Distress:

Criterion D satisfied:

Non-routine maintenance required:

Note:

Masonry wall/Masonry facing:

Note:

Consequence category (for critical section):

Observations: N/A

Emergency Action Required:

Action By: N/A



### ACTION TO INITIATE PREVENTIVE WORKS

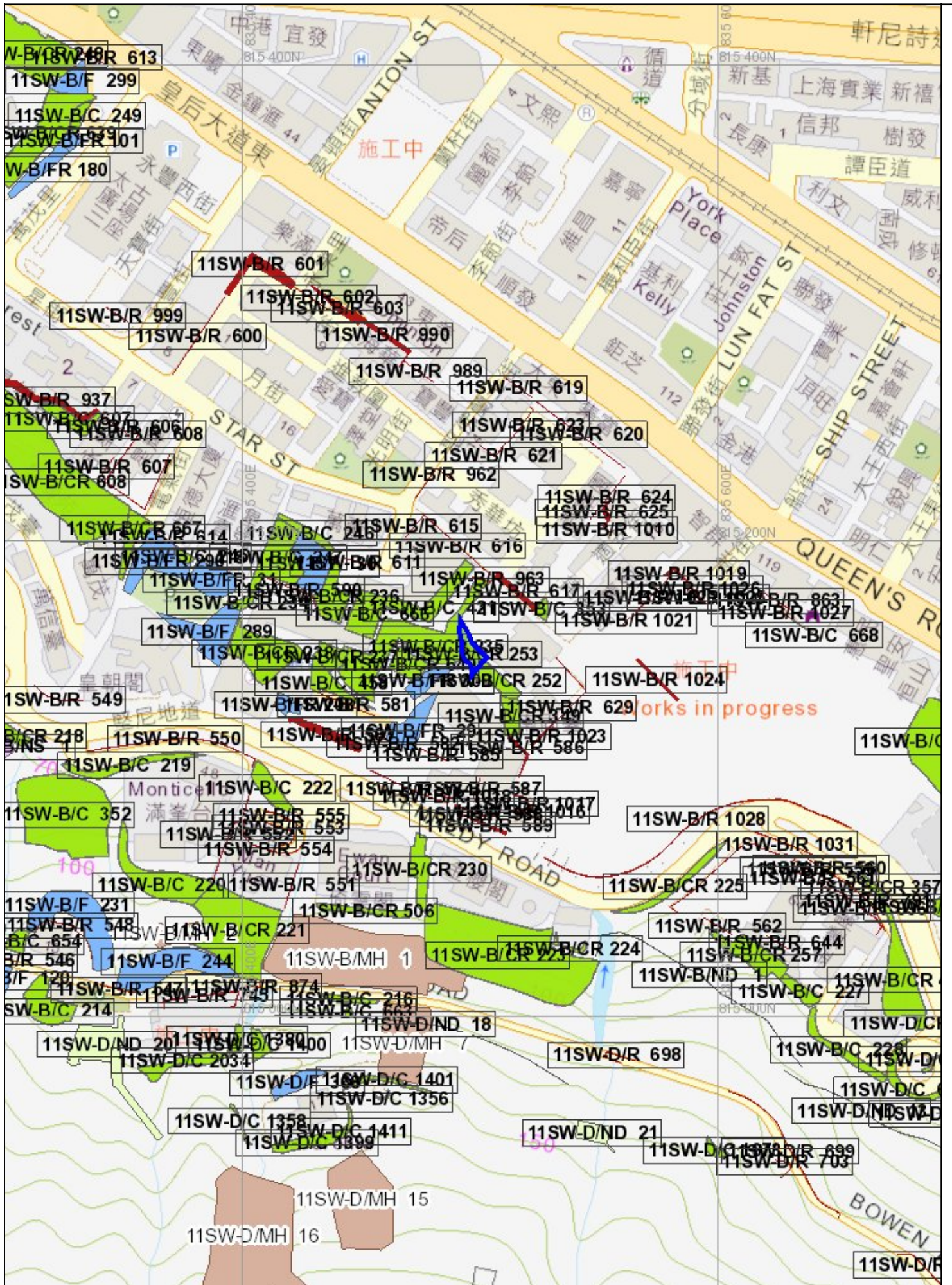
Criterion A/Criterion D: N/A  
Action By: N/A  
Further Study:  
Action By: N/A

### OTHER EXTERNAL ACTION

Check / repair Services:  
Action By: N/A  
Non-routine Maintenance:  
Action By: N/A

**PHOTO**





## BASIC INFORMATION

Location: 1-6 SAU WAH FONG, WANCHAI, HK.  
Registration Date: 16-03-1998  
Ranking Score (NPRS): 43565 (Notional)  
Date of Formation: post-1977  
Date of Construction/ Modification:  
Data Source: EI  
Approximate Coordinates: Easting : 835489 Northing : 815199

## CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: School  
Distance of Facility from Crest (m): 7  
Facility at Toe: Residential building  
Distance of Facility from Toe (m): 2  
Consequence-to-life Category: 1  
Remarks: N/A

## SLOPE PART

N/A

## WALL PART

(1) Max. Height (m): 8.3 Length (m): 26 Face Angle (deg): 83

## MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 1	Private Feature	Party: IL199B4	Agent: N/A	Land Cat.: 1	Reason Code: 1	MR Endorsement Date: 30-08-2005
(2) Sub Div.: 2	Private Feature	Party: IL199E3	Agent: N/A	Land Cat.: 1	Reason Code: 1	MR Endorsement Date: 30-08-2005
(3) Sub Div.: 3	Private Feature	Party: IL199CRP	Agent: N/A	Land Cat.: 1	Reason Code: 1	MR Endorsement Date: 30-08-2005
(4) Sub Div.: 4	Private Feature	Party: IL199D3	Agent: N/A	Land Cat.: 1	Reason Code: 1	MR Endorsement Date: 30-08-2005
(5) Sub Div.: 5	Private Feature	Party: IL199A6	Agent: N/A	Land Cat.: 1	Reason Code: 1	MR Endorsement Date: 30-08-2005
(6) Sub Div.: 6	Private Feature	Party: IL199RP	Agent: N/A	Land Cat.: 1	Reason Code: 1	MR Endorsement Date: 30-08-2005

## DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 01-09-1999  
Data Source: EI  
Slope Part Drainage: N/A  
Wall Part Drainage: (1) Position: Crest Size(mm): 275

## SLOPE PART

N/A



**WALL PART**

Wall Part (1)  
 Type of Wall: Wall Material: Masonry Wall Location: Retaining wall with level platform  
 Berm: No. of Berms: N/A Min. Berm Width (m): N/A  
 Weepholes: Size (mm): 65 Spacing (m): 2.2

**SERVICES**

N/A

**CHECKING STATUS INFORMATION**

N/A

**BACKGROUND INFORMATION**

GIU Cell Ref.: 11SW14B7  
 Map Sheet Reference (1:1000): 11SW-14B  
 Aerial Photos: 7054-5 (1963),  
 Nearest Rainguage Station (Station Number): 25 Borrett Road(H17)  
 Data Collected On: 01-09-1999  
 Date of Construction, Subsequent Modification and Demolition: Modification: Constructed Before: 1963 After: N/A  
 Related Reports/Files or Documents: File/Report: DB or DH Ref. No.: GC13/4/DH239/95/HK, GC13/4/DH483/79/HK  
 File/Report: DB or DH Ref. No.: GC13/4/DH239/95/HK, GC13/4/DH483/79/HK  
 File/Report: GCC Ref. No.: GCC paper No.355  
 File/Report: GCC Ref. No.: GCC paper No.355  
 File/Report: GEO Ref. No.: DH Order issued on 20/5/96 rpt ref: S2R 31/95  
 File/Report: GEO Ref. No.: DH Order issued on 20/5/96 rpt ref: S2R 31/95  
 File/Report: GEO Ref. No.: Stage 2 report S2R 31/95  
 File/Report: GEO Ref. No.: Stage 2 report S2R 31/95  
 File/Report: Pre-SIRST Ref. No.: Field Sheet  
 File/Report: Pre-SIRST Ref. No.: Field Sheet  
 Remarks: FILE GC13/4/DH483/79/HK QUOTED ON THE DISTRICT OVERLAY DOES NOT RELATE TO THIS FEATURE.  
 Follow Up Actions: N/A





DH-Order (To Be Confirmed with Buildings Department):  
 Date of Recommendation to BD: 23/11/1995    File Reference: DH/0239/95/HK  
 Date Served by BD: 29/01/1997    Notice No.: DH027/HK/97/C  
 Date of Recommendation to BD: 23/11/1995    File Reference: DH/0239/95/HK  
 Date Served by BD: 29/01/1997    Notice No.: DH028/HK/97/C  
 Date of Recommendation to BD: 23/11/1995    File Reference: DH/0239/95/HK  
 Date Served by BD: 20/05/1996    Notice No.: DH051/HK/96/C

Advisory Letter (To Be Confirmed with Buildings Department):    None

LPMIS:    Agreement No.: CE33/93    Report No.: S2R 31/95

**ENHANCED MAINTENANCE INFORMATION**

From Maintenance Department: (Last Updated Date: 08/10/2024)

**STAGE 1 STUDY REPORT**

Inspected On:  
 Weather:  
 District:    1  
 Section No:    1-1  
 Height(m):  
 Type of Toe Facility:    Residential building  
 Distance from Toe(m):    2  
 Type of Crest Facility:    School  
 Distance from Crest(m):    7  
 Consequence Category:  
 Engineering Judgement:  
 Section No:    2-2  
 Type of Toe Facility:  
 Distance from Toe(m):  
 Type of Crest Facility:  
 Distance from Crest(m):  
 Consequence Category:  
 Engineering Judgement:  
 Sign of Seepage:  
 Criterion A satisfied:  
 Sign of Distress:  
 Criterion D satisfied:  
 Non-routine maintenance required:  
 Note:  
 Masonry wall/Masonry facing:  
 Note:  
 Consequence category (for critical section):

Observations: N/A  
Emergency Action Required:  
Action By: N/A

### ACTION TO INITIATE PREVENTIVE WORKS

Criterion A/Criterion D: N/A  
Action By: N/A  
Further Study:  
Action By: N/A

### OTHER EXTERNAL ACTION

Check / repair Services:  
Action By: N/A  
Non-routine Maintenance:  
Action By: N/A

### eLPMIS

#### LPM/LPMit Details Report

LPM Study Feature No.: 11SW-B/R 616  
Location: {1-10 SAU WA FONG, WANCHAI}  
District Council: Wanchai  
Maintenance Responsibility (At the Time of Selection): Private  
Responsible Party for Maintenance of Government Portion: N/A  
Private Lot No.: NA

#### LPM/LPMit Study

Agreement No.: CE33/93  
Study Type: Stage 2 Study  
Consultant: Mott Connell Ltd.  
GEO Managing Section / Engineer: LPM3 / CM62  
Study Status: Study completed  
Design Approach: Otherwise  
Option Assessment Accepted: N/A  
Study Report No.: S2R 31/95  
Programme / Actual Commencement: 01-06-1994  
Programme / Actual Completion: 31-08-1998  
Report Recommendation (For Stage 2 Study): DH Order  
District Check Status: Checked  
Checking Certificate No.: N/A



GEO Engineer's Remarks: N/A

LPM/LPMit Works

Works Contract No.: N/A

GEO Managing Section / Engineer: N/A / N/A

Contractor: N/A

Progress Status: N/A

Reason of Study Termination / Works Deletion (If Necessary): N/A

Forecast Commencement Date: N/A

Forecast Completion Date: N/A

Completion Cert. Issued: N/A

Site Handed Over to Maintenance Department on: N/A

Estimated Cost for Upgrading (HK\$M): N/A

Maintenance Manual No.: N/A

Actual Works: N/A

No. of Tree Felled: N/A

No. of Tree Planted (Incl. Transplant): N/A

% Bare of Slope Surfacing: N/A

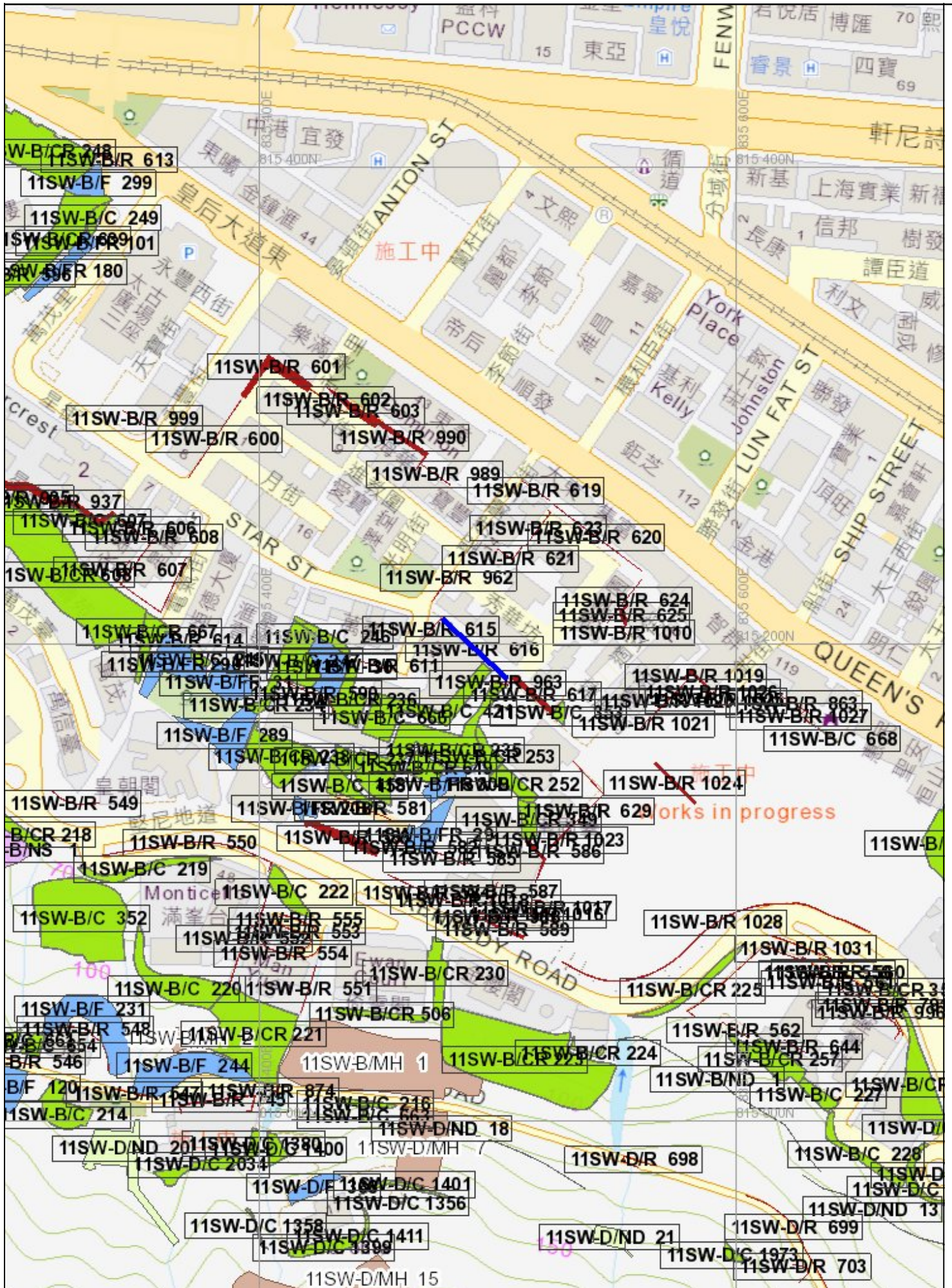
% Vegetated of Slope Surfacing: N/A

% Shotcrete of Slope Surfacing: N/A

Other Hard Surface of Slope Surfacing: N/A

**PHOTO**





## BASIC INFORMATION

Location: No. 18 Sau Wa Fong, Hong Kong - Lot No. I.L. 199 R.P.  
Registration Date: 16-03-1998  
Ranking Score (NPRS): 73 (LPMit)  
Date of Formation: post-1977  
Date of Construction/ Modification: 24-07-2022  
Data Source: AP  
Approximate Coordinates: Easting : 835515 Northing : 815179

## CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: Cottage, licensed and squatter area  
Distance of Facility from Crest (m): 0  
Facility at Toe: Residential building  
Distance of Facility from Toe (m): 0  
Consequence-to-life Category: 1  
Remarks: N/A

## SLOPE PART

N/A

## WALL PART

(1) Max. Height (m): 11.8 Length (m): 25 Face Angle (deg): 85

## MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 0 Private Feature Party: IL199 RP Agent: N/A Land Cat.: 1 Reason Code: 1 MR Endorsement Date: 25-09-2013

## DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 28-08-2022  
Data Source: AP  
Slope Part Drainage: N/A  
Wall Part Drainage: (1) Position: Toe Size(mm): 300

## SLOPE PART

N/A

## WALL PART



Wall Part (1)  
 Type of Wall: Wall Material: Masonry Wall Location: Retaining wall with level platform  
 Berm: No. of Berms: N/A Min. Berm Width (m): N/A  
 Weepholes: Size (mm): 90 Spacing (m): 1.2

**SERVICES**

(1) Utilities Type: Water Main Size(mm): 45 Location: On slope Remark: N/A

**CHECKING STATUS INFORMATION**

Tagmark: SCS\_20036 Part: 0 Checking Status: Feature modified/upgraded to current standard Checking Certificate No.: N/A

**BACKGROUND INFORMATION**

GIU Cell Ref.: 11SW14B8  
 Map Sheet Reference (1:1000): 11SW-14B  
 Aerial Photos: 6122-3 (1949),  
 Nearest Rainguage Station (Station Number): 25 Borrett Road(H17)  
 Data Collected On: 28-08-2022  
 Date of Construction, Subsequent Modification and Demolition: Modification: Constructed Before: 1949 After: N/A  
 Modification: Substantially Modified Before: N/A After: 1981  
 Related Reports/Files or Documents: File/Report: DB or DH Ref. No.: GCI3/4/DH32/82/HK  
 File/Report: DB or DH Ref. No.: GCI3/4/DH32/82/HK  
 File/Report: Development Ref. No.: GCI3/4/1152/78  
 File/Report: Development Ref. No.: GCI3/4/1152/78  
 File/Report: GEO Ref. No.: Stage 1 report by planning  
 File/Report: GEO Ref. No.: Stage 1 report by planning  
 File/Report: GEO Ref. No.: Stage 2 report 4/88, File closed.  
 File/Report: GEO Ref. No.: Stage 2 report 4/88, File closed.  
 File/Report: LRDC Ref. No.: D346/66/HK  
 File/Report: LRDC Ref. No.: D346/66/HK  
 File/Report: Pre-SIRST Ref. No.: Field Sheet  
 File/Report: Pre-SIRST Ref. No.: Field Sheet  
 File/Report: Previous Instability Ref. No.: 9/3/92 92/3/3  
 File/Report: Previous Instability Ref. No.: 9/3/92 92/3/3  
 Remarks: N/A  
 Follow Up Actions: N/A



DH-Order (To Be Confirmed with Buildings Department):	Date of Recommendation to BD: 13/08/2014	File Reference: DH/0032/80/HK
	Date Served by BD: 05/03/2021	Notice No.: DH0005/HK/21/C
	Date of Recommendation to BD: 13/08/2014	File Reference: DH/0032/80/HK
	Date Served by BD: 06/03/2015	Notice No.: DH0038/HK/15/C
Advisory Letter (To Be Confirmed with Buildings Department):	Date of Recommendation to BD: 13/08/2014	File Reference: DH/0032/80/HK
	Date Served by BD: 11/11/2020	Notice No.: DH0062/HK/20/C
	Date of Recommendation to BD: 16/03/1992	File Reference: DH032/80/HK
	Date Served by BD: 26/10/1992	
LPMIS:	Date of Recommendation to BD: 16/03/1992	File Reference: D 365/75/HK
	Date Served by BD: 25/01/1996	
	Date of Recommendation to BD: 14/02/2012	File Reference: DH032/80/HK
	Date Served by BD: 04/06/2012	
	Agreement No.: CE58/2009	Report No.: S2R 23/2012
	Agreement No.: In-house Design	Report No.: S2R 4/88

## ENHANCED MAINTENANCE INFORMATION

From Maintenance Department: (Last Updated Date: 08/10/2024)

## STAGE 1 STUDY REPORT

Inspected On:  
 Weather:  
 District: I  
 Section No: 1-1  
 Height(m):  
 Type of Toe Facility: Residential building  
 Distance from Toe(m): 0  
 Type of Crest Facility: Cottage, licensed and squatter area  
 Distance from Crest(m): 0  
 Consequence Category:  
 Engineering Judgement:  
 Section No: 2-2  
 Type of Toe Facility:  
 Distance from Toe(m):  
 Type of Crest Facility:  
 Distance from Crest(m):  
 Consequence Category:  
 Engineering Judgement:  
 Sign of Seepage:  
 Criterion A satisfied:  
 Sign of Distress:  
 Criterion D satisfied:  
 Non-routine maintenance required:  
 Note:



Masonry wall/Masonry facing:

Note:

Consequence category (for critical section):

Observations: N/A

Emergency Action Required:

Action By: N/A

### ACTION TO INITIATE PREVENTIVE WORKS

Criterion A/Criterion D: N/A

Action By: N/A

Further Study:

Action By: N/A

### OTHER EXTERNAL ACTION

Check / repair Services:

Action By: N/A

Non-routine Maintenance:

Action By: N/A

### eLPMIS

#### LPM/LPMit Details Report

LPM Study Feature No.:	11SW-B/R 617
Location:	SOUTH OF NO.18 SAN WAH FONG
District Council:	Wanchai
Maintenance Responsibility (At the Time of Selection):	Private
Responsible Party for Maintenance of Government Portion:	N/A
Private Lot No.:	IL199 RP

#### LPM/LPMit Study

Agreement No.:	CE58/2009
Study Type:	Stage 2 Study
Consultant:	Atkins China Ltd.
GEO Managing Section / Engineer:	SS / SS3
Study Status:	Study completed
Design Approach:	N/A
Option Assessment Accepted:	N/A
Study Report No.:	S2R 23/2012
Programme / Actual Commencement:	20-02-2012

Programme / Actual Completion: 27-10-2012  
Report Recommendation (For Stage 2 Study): DH Order  
District Check Status: Exempted from checking  
Checking Certificate No.: N/A  
GEO Engineer's Remarks: N/A

**LPM/LPMit Works**

Works Contract No.: N/A  
GEO Managing Section / Engineer: N/A / N/A  
Contractor: N/A  
Progress Status: N/A  
Reason of Study Termination / Works Deletion (If Necessary): N/A  
Forecast Commencement Date: N/A  
Forecast Completion Date: N/A  
Completion Cert. Issued: N/A  
Site Handed Over to Maintenance Department on: N/A  
Estimated Cost for Upgrading (HK\$M): N/A  
Maintenance Manual No.: N/A  
Actual Works: N/A  
No. of Tree Felled: N/A  
No. of Tree Planted (Incl. Transplant): N/A  
% Bare of Slope Surfacing: N/A  
% Vegetated of Slope Surfacing: N/A  
% Shotcrete of Slope Surfacing: N/A  
Other Hard Surface of Slope Surfacing: N/A

**LPM/LPMit Details Report**

LPM Study Feature No.: 11SW-B/R 617  
Location: SOUTH OF NO.18 SAN WAH FONG  
District Council: Wanchai  
Maintenance Responsibility (At the Time of Selection): Private  
Responsible Party for Maintenance of Government Portion: N/A  
Private Lot No.: NA

**LPM/LPMit Study**

Agreement No.: In-house Design  
Study Type: Stage 2 Study  
Consultant: N/A  
GEO Managing Section / Engineer: LPM2 / N/A  
Study Status: Study completed  
Design Approach: Conventional (G1 + Analysis)  
Option Assessment Accepted: N/A  
Study Report No.: S2R 4/88  
Programme / Actual Commencement: N/A

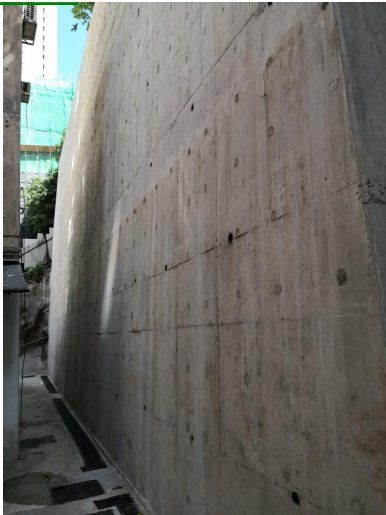


Programme / Actual Completion: N/A  
Report Recommendation (For Stage 2 Study): No action required  
District Check Status: Not checked  
Checking Certificate No.: N/A  
GEO Engineer's Remarks: NO FURTHER ACTION

**LPM/LPMit Works**

Works Contract No.: N/A  
GEO Managing Section / Engineer: N/A / N/A  
Contractor: N/A  
Progress Status: N/A  
Reason of Study Termination / Works Deletion (If Necessary): N/A  
Forecast Commencement Date: N/A  
Forecast Completion Date: N/A  
Completion Cert. Issued: N/A  
Site Handed Over to Maintenance Department on: N/A  
Estimated Cost for Upgrading (HK\$M): N/A  
Maintenance Manual No.: N/A  
Actual Works: N/A  
No. of Tree Felled: N/A  
No. of Tree Planted (Incl. Transplant): N/A  
% Bare of Slope Surfacing: N/A  
% Vegetated of Slope Surfacing: N/A  
% Shotcrete of Slope Surfacing: N/A  
Other Hard Surface of Slope Surfacing: N/A

**PHOTO**







**BASIC INFORMATION**

Location: CARTAS LOK KAN SCHOOL, NO. 4 ST. FRANCIS STREET, WAN CHAI  
 Registration Date: 22-05-2003  
 Ranking Score (NPRS): 0 (Notional)  
 Date of Formation: pre-1977  
 Date of Construction/ Modification:  
 Data Source: Agreement CE 60/2002 (GE)  
 Approximate Coordinates: Easting : 835501 Northing : 815184

**CONSEQUENCE-TO-LIFE CATEGORY**

Facility at Crest: Remote area or abandoned facilities  
 Distance of Facility from Crest (m): 0  
 Facility at Toe: Non-dangerous goods storage site  
 Distance of Facility from Toe (m): 0  
 Consequence-to-life Category: 3  
 Remarks: N/A

**SLOPE PART**

N/A

**WALL PART**

(1) Max. Height (m): 5.5 Length (m): 8 Face Angle (deg): 85

**MAINTENANCE RESPONSIBILITY**

(1) Sub Div.: 1 Private Feature Party: IL8102&EXT Agent: N/A Land Cat.: 1 Reason Code: 1 MR Endorsement Date: 19-01-2004  
 (2) Sub Div.: 2 Private Feature Party: IL199RP Agent: N/A Land Cat.: 1 Reason Code: 1 MR Endorsement Date: 19-01-2004

**DETAILS OF SLOPE / RETAINING WALL**

Date of Inspection: 13-11-2002  
 Data Source: Agreement CE 60/2002 (GE)  
 Slope Part Drainage: N/A  
 Wall Part Drainage: (1) Position: Stepped Size(mm): 325

**SLOPE PART**

N/A

**WALL PART**



Wall Part (1)  
 Type of Wall: Wall Material: Others Wall Location: Wall at toe  
 Berm: No. of Berms: 1 Min. Berm Width (m): 0.5  
 Weepholes: Size (mm): N/A Spacing (m): N/A

**SERVICES**

(1) Utilities Type: Water Main Size(mm): 30 Location: On slope Remark: N/A

**CHECKING STATUS INFORMATION**

N/A

**BACKGROUND INFORMATION**

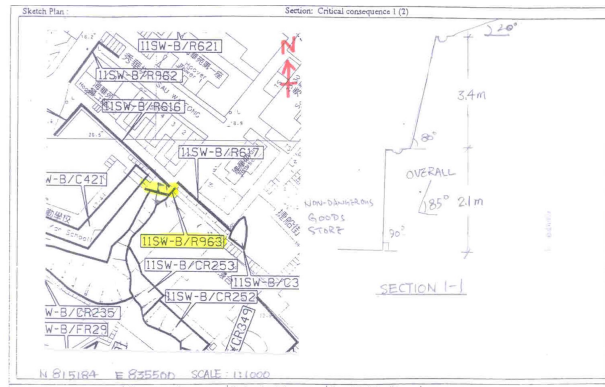
GIU Cell Ref.: 11SW14B8  
 Map Sheet Reference (1:1000): 11SW-14B  
 Aerial Photos: 18431-32 (1977),  
 Nearest Rainguage Station (Station Number): 25 Borrett Road(H17)  
 Data Collected On: 13-11-2002  
 Date of Construction, Subsequent Modification and Demolition: Modification: Constructed Before: 1978 After: 1977  
 Related Reports/Files or Documents: File/Report: Development Ref. No.: GCI 3085/01  
 File/Report: Development Ref. No.: GCI 3085/01  
 File/Report: LWC Ref. No.: GC 4/1/2-3 f(5) PT. IV  
 File/Report: LWC Ref. No.: GC 4/1/2-3 f(5) PT. IV  
 File/Report: PWDC Ref. No.: GCN 1/1/19  
 File/Report: PWDC Ref. No.: GCN 1/1/19  
 Remarks: N/A  
 Follow Up Actions: N/A  
 DH-Order (To Be Confirmed with Buildings Department): None  
 Advisory Letter (To Be Confirmed with Buildings Department): None  
 LPMIS: None

**ENHANCED MAINTENANCE INFORMATION**

From Maintenance Department: (Last Updated Date: 08/10/2024)

## STAGE 1 STUDY REPORT

Inspected On: 13-11-2002  
 Weather: Mainly Fine  
 District: I



Section No: 1-1  
 Height(m): H1 : 6 , H2 : 6  
 Type of Toe Facility: Non-dangerous goods storage site  
 Distance from Toe(m): 0  
 Type of Crest Facility: Remote area or abandoned facilities  
 Distance from Crest(m): 0  
 Consequence Category: 3  
 Engineering Judgement: P  
 Section No: 2-2  
 Type of Toe Facility:  
 Distance from Toe(m):  
 Type of Crest Facility:  
 Distance from Crest(m):  
 Consequence Category: 3  
 Engineering Judgement: P  
 Sign of Seepage: Slope : N/A  
 Wall : No sign of seepage  
 Criterion A satisfied: N  
 Sign of Distress: Slope : N/A  
 Wall : N/A  
 Criterion D satisfied: N  
 Non-routine maintenance required: N  
 Note: N/A  
 Masonry wall/Masonry facing: Y  
 Note: SQUARE RUBBLE WITH POINTING WALL  
 Consequence category (for critical section): 3  
 Observations: N/A





Emergency Action Required: N  
Action By: N/A

### ACTION TO INITIATE PREVENTIVE WORKS

Criterion A/Criterion D: N/A  
Action By: N/A  
Further Study: Y  
Action By: Government

### OTHER EXTERNAL ACTION

Check / repair Services: N  
Action By: N/A  
Non-routine Maintenance: N  
Action By: N/A

**PHOTO**





## BASIC INFORMATION

Location: No. 55, Ship Street, Wan Chai  
Registration Date: 10-03-2023  
Ranking Score (NPRS): N/A (N/A)  
Date of Formation: N/A  
Date of Construction/ Modification: 19-07-2021  
Data Source: Districts  
Approximate Coordinates: Easting : 835525 Northing : 815118

## CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: Road/footpath with very low traffic density  
Distance of Facility from Crest (m): 0  
Facility at Toe: Residential building  
Distance of Facility from Toe (m): 0  
Consequence-to-life Category: 1  
Remarks: N/A

## SLOPE PART

N/A

## WALL PART

(1) Max. Height (m): 5.6 Length (m): 12.2 Face Angle (deg): 90

## MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 0 Private Feature Party: IL 2140 Agent: N/A Land Cat.: 1 Reason Code: 1 MR Endorsement Date: 31-07-2023

## DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 13-12-2022  
Data Source: Districts  
Slope Part Drainage: N/A  
Wall Part Drainage: (1) Position: Toe Size(mm): 150

## SLOPE PART

N/A

## WALL PART



Wall Part (1)  
 Type of Wall: Wall Material: Concrete Wall Location: Wall at toe  
 Berm: No. of Berms: N/A Min. Berm Width (m): N/A  
 Weepholes: Size (mm): N/A Spacing (m): N/A

**SERVICES**

N/A

**CHECKING STATUS INFORMATION**

N/A

**BACKGROUND INFORMATION**

GIU Cell Ref.:  
 Map Sheet Reference (1:1000):  
 Aerial Photos:  
 Nearest Rainguage Station (Station Number):  
 Data Collected On: 13-12-2022  
 Date of Construction, Subsequent Modification and Demolition: N/A  
 Related Reports/Files or Documents: N/A  
 Remarks:  
 Follow Up Actions:  
 DH-Order (To Be Confirmed with Buildings Department): None  
 Advisory Letter (To Be Confirmed with Buildings Department): None  
 LPMIS: None

**ENHANCED MAINTENANCE INFORMATION**

## STAGE 1 STUDY REPORT

Inspected On:  
Weather:  
District:  
Section No: 1-1  
Height(m):  
Type of Toe Facility: Residential building  
Distance from Toe(m): 0  
Type of Crest Facility: Road/footpath with very low traffic density  
Distance from Crest(m): 0  
Consequence Category:  
Engineering Judgement:  
Section No: 2-2  
Type of Toe Facility:  
Distance from Toe(m):  
Type of Crest Facility:  
Distance from Crest(m):  
Consequence Category:  
Engineering Judgement:  
Sign of Seepage:  
Criterion A satisfied:  
Sign of Distress:  
Criterion D satisfied:  
Non-routine maintenance required:  
Note:  
Masonry wall/Masonry facing:  
Note:  
Consequence category (for critical section):  
Observations: N/A  
Emergency Action Required:  
Action By: N/A

## ACTION TO INITIATE PREVENTIVE WORKS

Criterion A/Criterion D: N/A  
Action By: N/A  
Further Study:  
Action By: N/A

## OTHER EXTERNAL ACTION

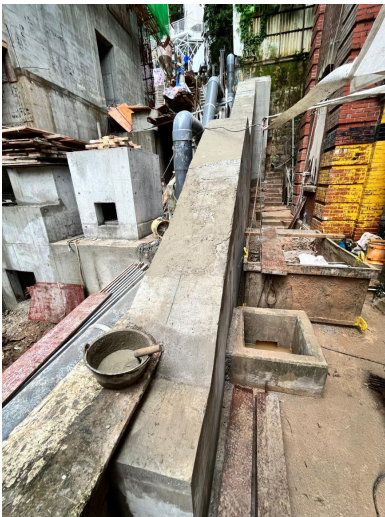
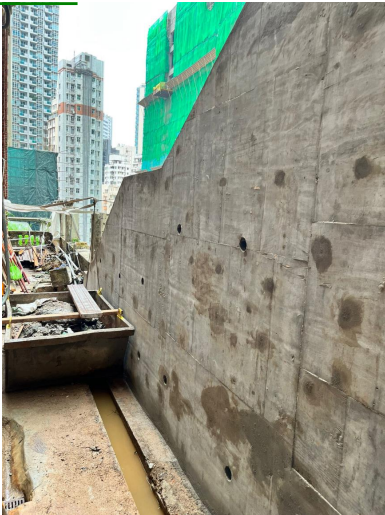
Check / repair Services:  
Action By: N/A  
Non-routine Maintenance:



Action By:

N/A

**PHOTO**



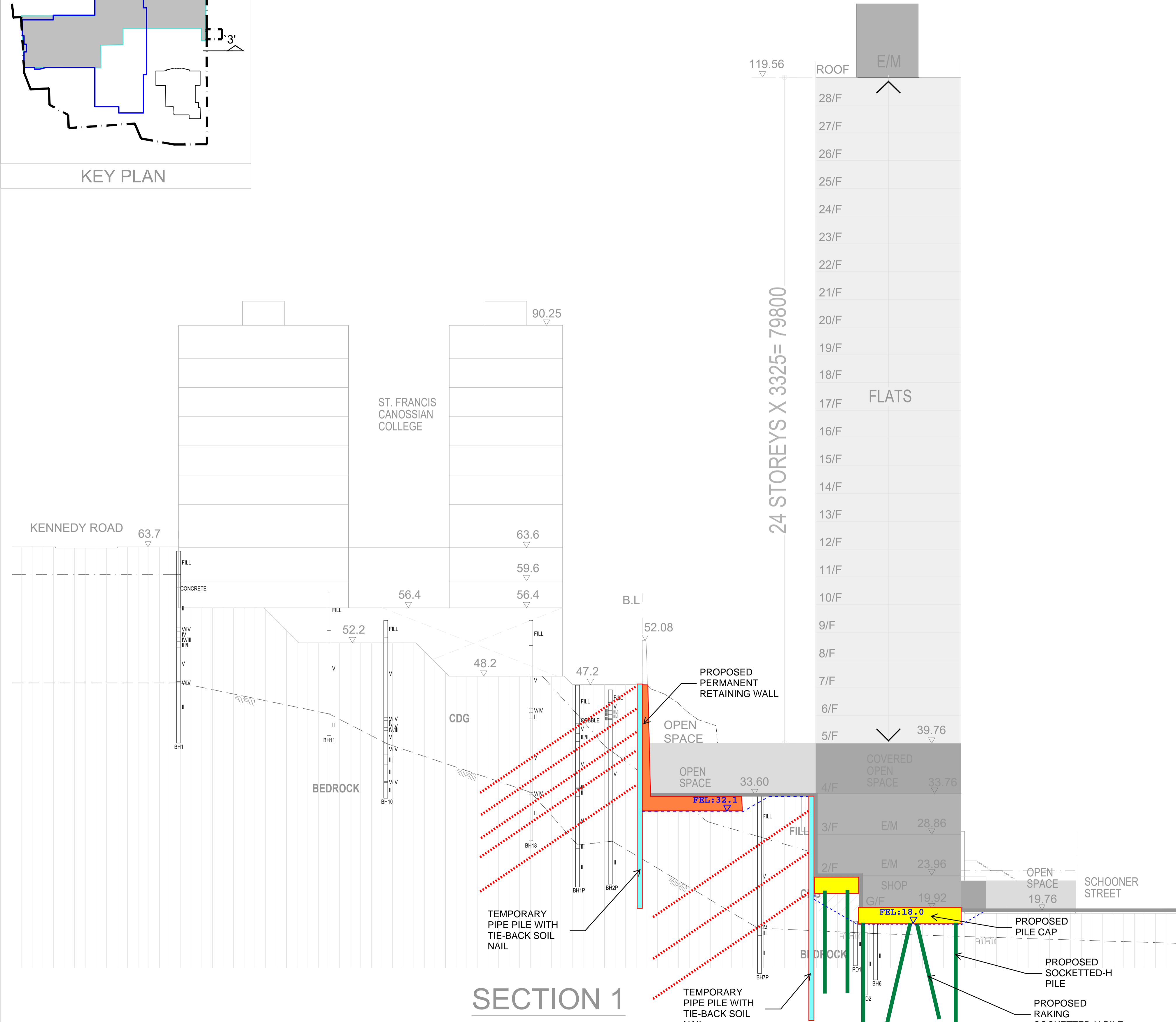
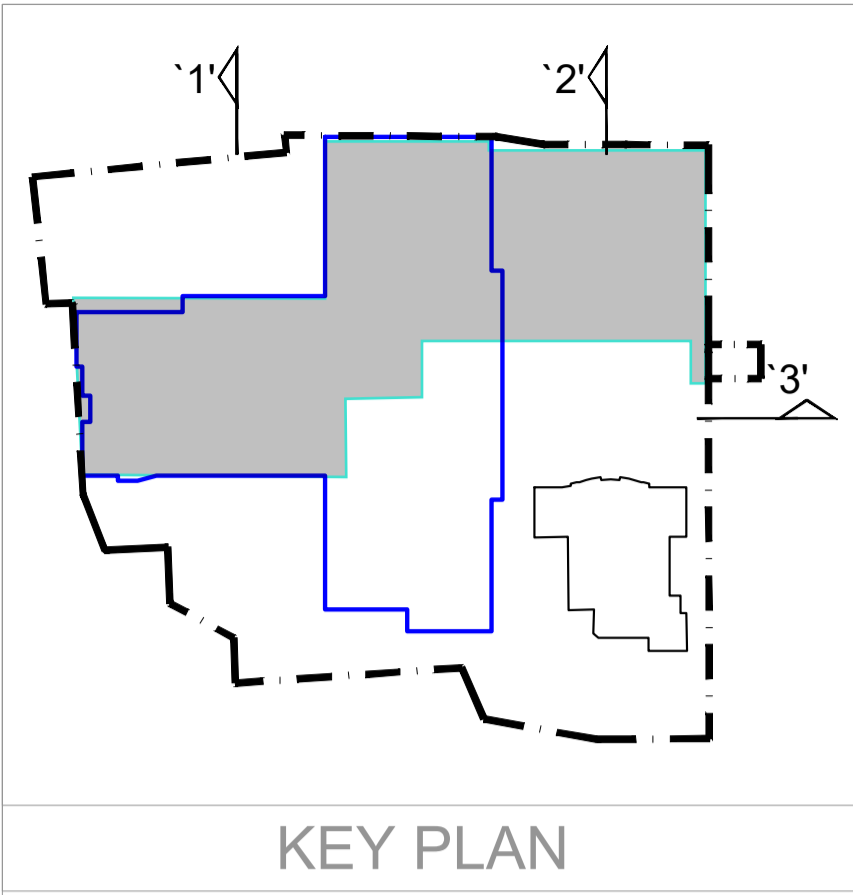




# Appendix H

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## Schematic Foundation, ELS and Site Formation Works

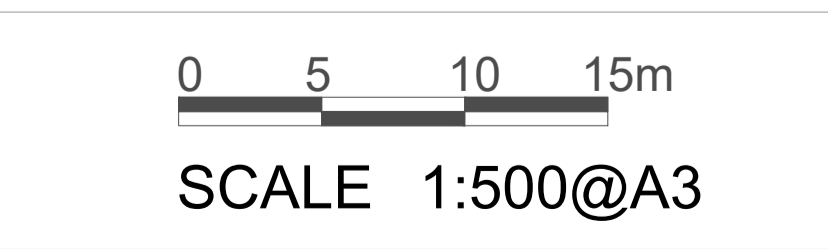


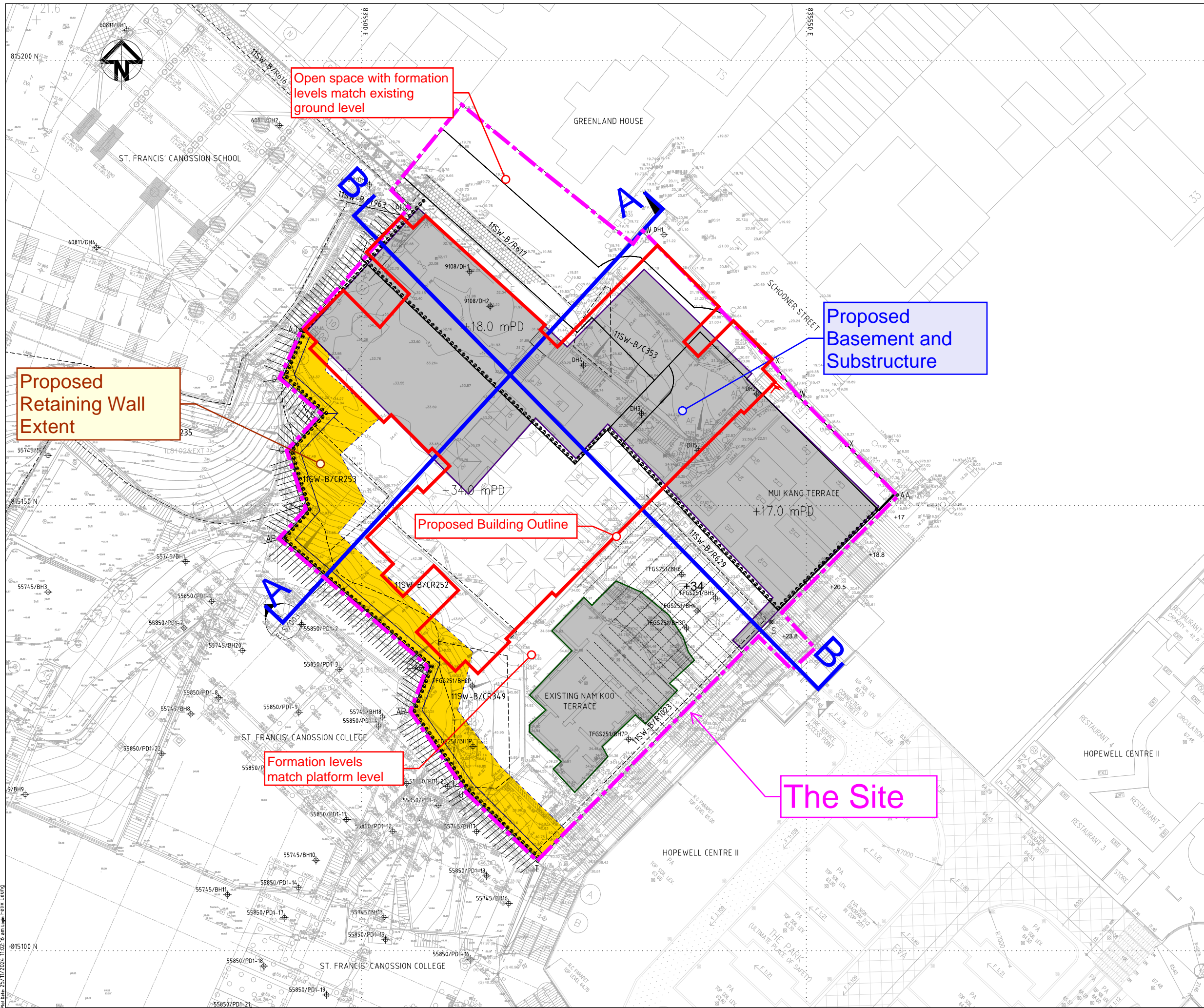
P:\EA01425 HOPEWELL MEGA HOTEL\E-OurDrawings\GC-EA01425\Current\DH\_Order\Nam\_Koo\_Terrace\Inspection\2024-02-29\FIGURE\_3D.dwg

**PROJECT :** PROPOSED AMENDMENT TO THE APPROVED WAN CHAI OUTLINE ZONING PLAN NO. S/H5/31 AT NOS. 1, 1A, 2 AND 3 HILL SIDE TERRACE, NO. 55 SHIP STREET (A.K.A. NAM KOO TERRACE), NOS 1-5 SCHOONER STREET, NO. 53 SHIP STREET, NO. 18 SAU WA FONG, INLAND LOT NO. 9048 AND ADJOINING GOVERNMENT LAND, WAN CHAI




**TITLE** Schematic Foundation Works

**PROJECT NO :** EA01425  
**DRAWING NO** Schematic  
**ISSUE :**





**Legend:**

-  PROPOSED SOIL NAIL
-  +18mPD PROPOSED FINAL EXCAVATION LEVEL
-  PROPOSED 355 DIA. PIPE PILE

REV.	DATE	DESCRIPTION	CHKD.	APPD.
-	NOV-2024	FIRST ISSUE	SC	AL
REVISION				
DESIGNED	F. LEUNG	CHECKED	S. CHAN	
DRAWN	T. KWAN	CHECKED	F. LEUNG	
APPROVED	A. LAI	© Copyright Reserved		
DATE	13-NOV-2024			
SCALE	1: 200 (A1)			
CAD REF.	All dimensions are in mm unless shown otherwise. No measurement should be taken from drawing directly.			

PROJECT TITLE  
**NAM KOO TERRACE  
 HONG KONG**

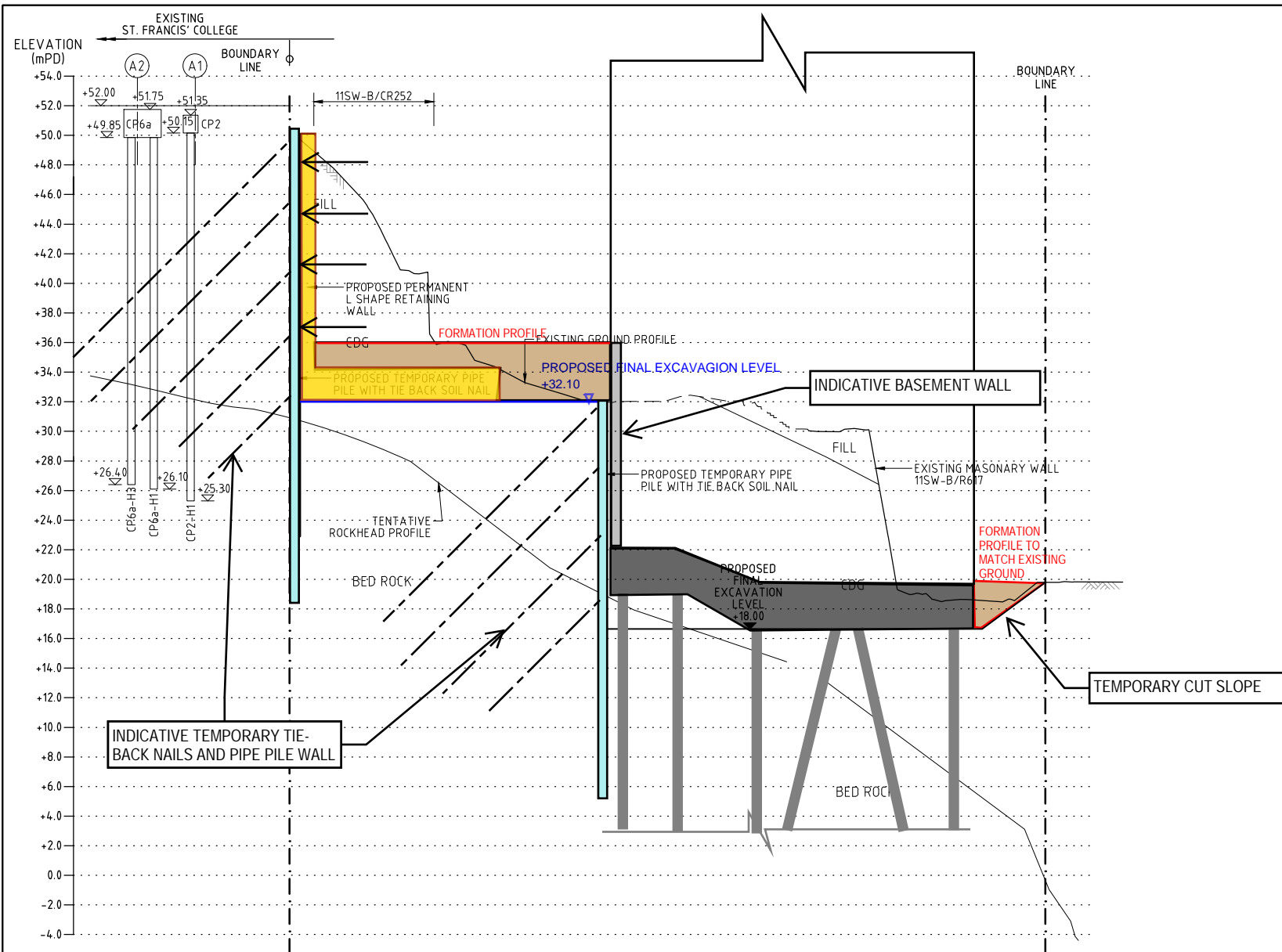
CLIENT  
**HH HOPEWELL CONSTRUCTION  
 COMPANY LIMITED**

CIVIL, STRUCTURAL & GEOTECHNICAL CONSULTANT  
  
 23/F, Two Harbour Square,  
 180 Wal Yip Street, Kwun Tong, Kowloon, Hong Kong

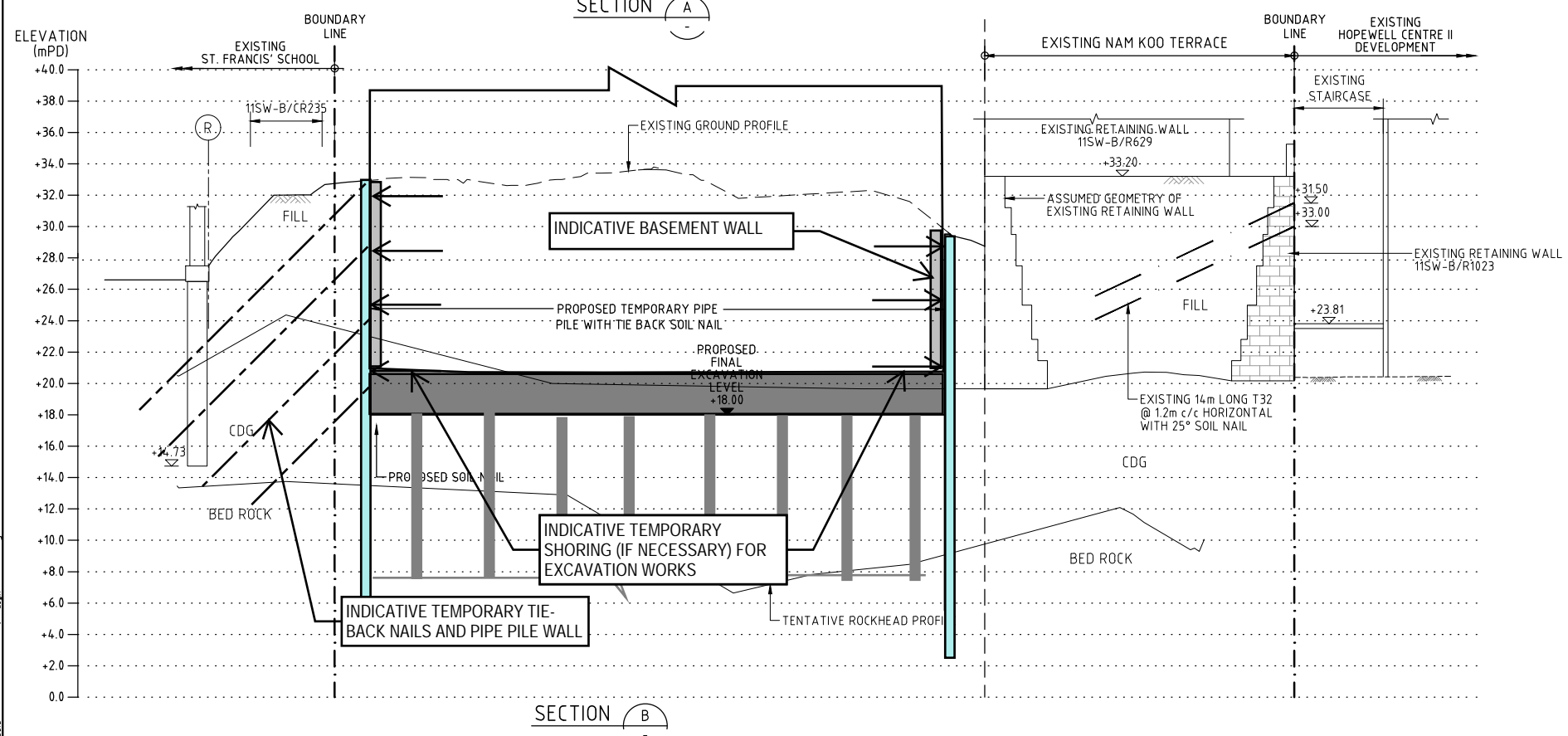
DRAWING TITLE  
**Schematic Site  
 Formation Works**

DRAWING NO.  
**SF/001**

Date: 25/11/2024, 11:02:16 am, Felix Leung



SECTION A



SECTION B

REV.	DATE	DESCRIPTION	CHKD.	APPD.
-	NOV-2024	FIRST ISSUE	SC	AL

DESIGNED		CHECKED	
F. LEUNG		S. CHAN	
DRAWN		CHECKED	
T. KWAN		F. LEUNG	
APPROVED		A. LAI	
DATE		13-NOV-2024	
SCALE		1: 200 (A1)	
CAD REF.			

PROJECT TITLE  
**NAM KOO TERRACE  
HONG KONG**

CLIENT  
**HH HOPEWELL CONSTRUCTION  
COMPANY LIMITED**

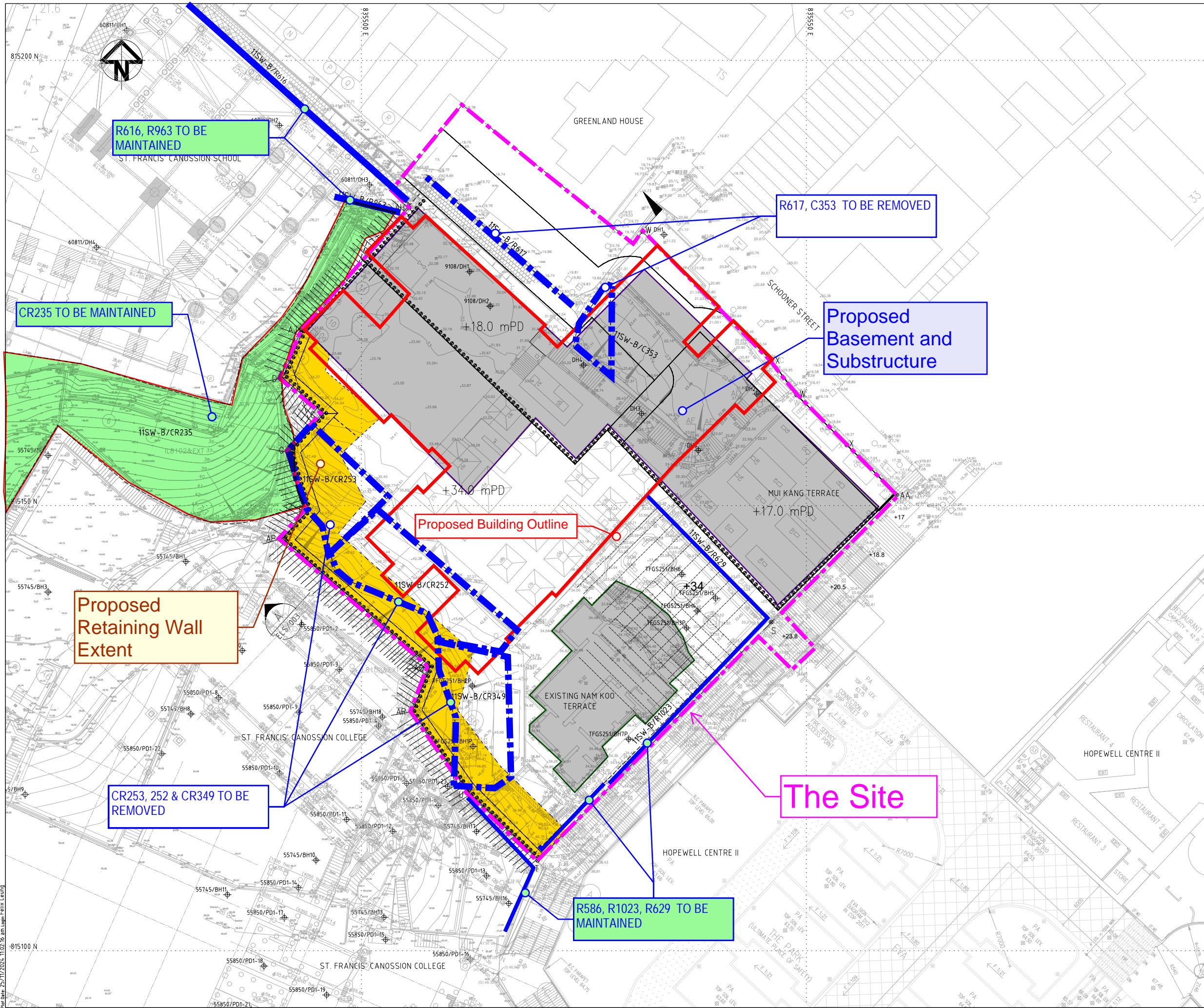
CIVIL, STRUCTURAL & GEOTECHNICAL CONSULTANT  
**asia infrastructure solutions**  
瀚雲(亞細亞)工程顧問有限公司  
23/F, Two Harbour Square,  
180 Wai Yip Street, Kwun Tong, Kowloon, Hong Kong

DRAWING TITLE  
**Schematic SF/ ELS Works -  
Preliminary Sections**

DRAWING NO. <b>ELS/001</b>	REV. -
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File Date: 25/11/2024, 4:32:39 pm, User: Felix Leung

25mm ON ORIGINAL



**Legend:**

- PROPOSED SOIL NAIL
- +18mPD PROPOSED FINAL EXCAVATION LEVEL
- ⊗ PROPOSED 355 DIA. PIPE PILE

REV.	DATE	DESCRIPTION	CHKD.	APPD.
-	NOV-2024	FIRST ISSUE	SC	AL
REVISION				
DESIGNED	F. LEUNG	CHECKED	S. CHAN	
DRAWN	T. KWAN	CHECKED	F. LEUNG	
APPROVED	A. LAI	© Copyright Reserved		
DATE	13-NOV-2024			
SCALE	1: 200 (A1)			
CAD REF.	All dimensions are in mm unless shown otherwise. No measurement should be taken from drawing directly.			

PROJECT TITLE  
**NAM KOO TERRACE HONG KONG**

CLIENT  
**HH HOPEWELL CONSTRUCTION COMPANY LIMITED**

CIVIL, STRUCTURAL & GEOTECHNICAL CONSULTANT  
  
 匯豐(建築)工程顧問有限公司

23/F, Two Harbour Square, 180 Wal Yip Street, Kwun Tong, Kowloon, Hong Kong

DRAWING TITLE  
**Layout for Existing Features with Modificaiotn Works**

DRAWING NO.  
**SF/002**

Plot Date: 25/11/2024, 11:02:16 am, Felix Leung